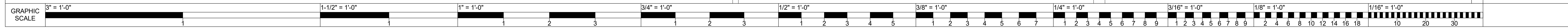
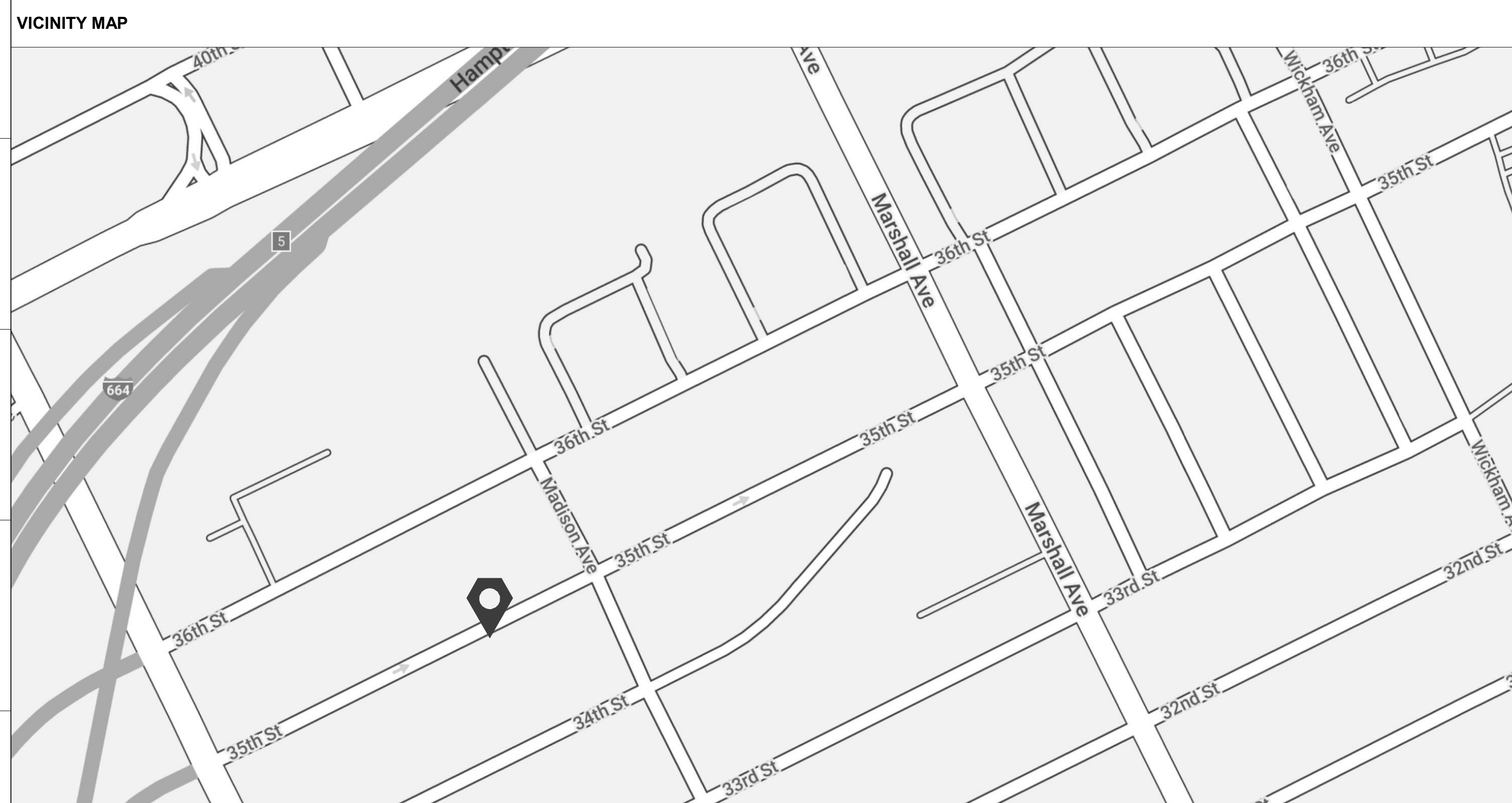
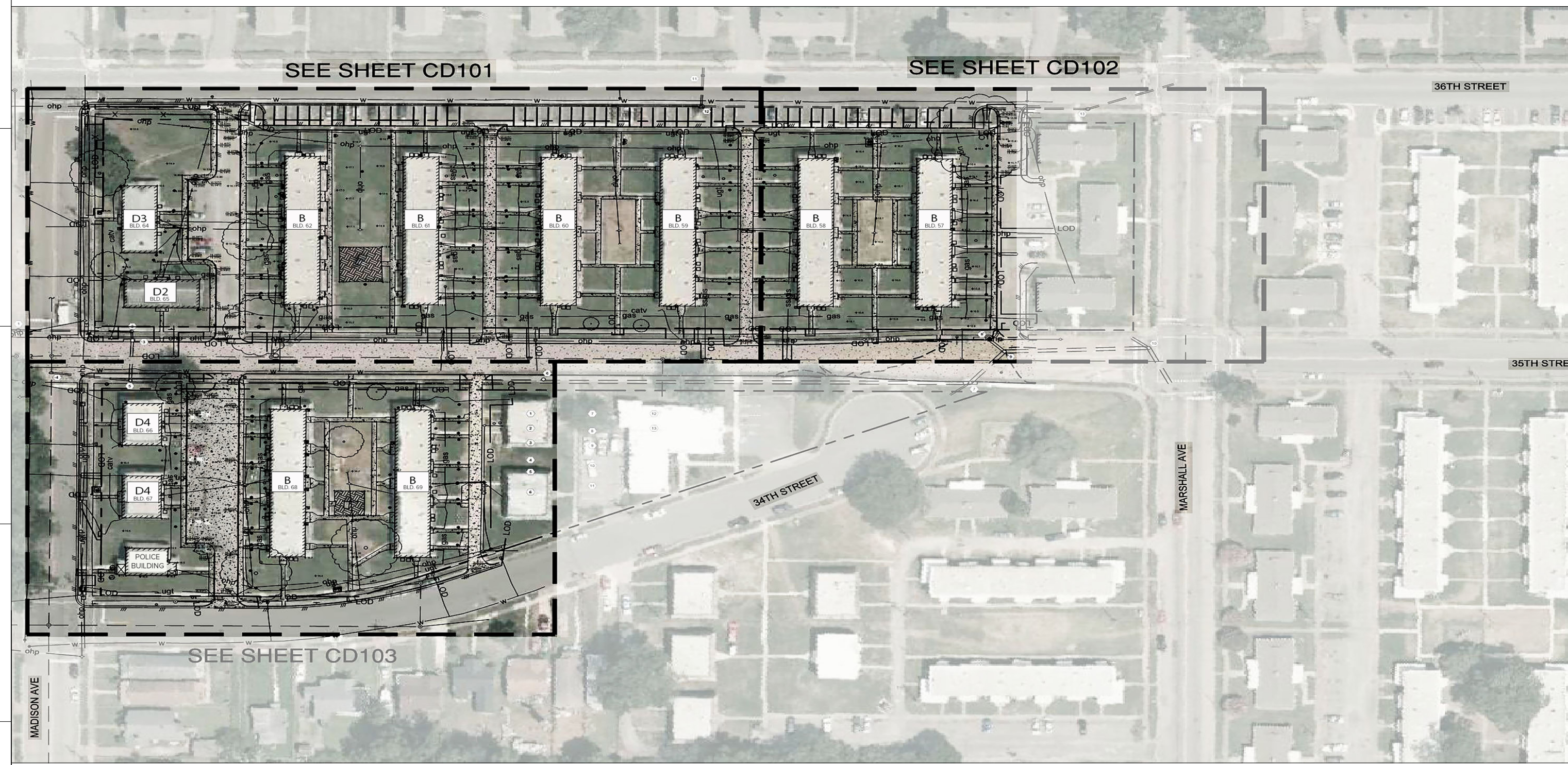


# NEWPORT NEWS REDEVELOPMENT and HOUSING AUTHORITY

## MARSHALL CT. APT. PHASE VII

741 34th STREET  
NEWPORT NEWS, VA 23607



### GENERAL CONTRACT NOTES

**PROJECT DESCRIPTION**  
PROPOSED DEMOLITION OF TWELVE APARTMENT BUILDINGS AND THE FORMER POLICE SUBSTATION THAT WERE ORIGINALLY CONSTRUCTED CA. 1940, AND SUBSEQUENTLY RENOVATED IN 1984 AND 1992. SIDEWALKS AND PARKING AREAS WITHIN THE IDENTIFIED SITE AREA ARE ALSO TO BE DEMOLISHED. THESE MARSHALL COURTS PHASE VII SITE FEATURES AND BUILDINGS ARE IN THE NORTHWEST CORNER OF THE COMPLEX ALONG 36TH STREET AND MADISON AVENUE. ONCE THE BUILDINGS, WALKWAYS AND PARKING AREAS HAVE BEEN DEMOLISHED, THE AREA WILL BE GRADED, SEEDED, AND SOME NEW SITEWORK FOR DRIVEWAY, DUMPSTER ACCESS, AND TO REESTABLISH CONTINUOUS SIDEWALKS ALONG THE AFFECTED STREETS.

**PROJECT TEAM**  
**ARCHITECT:** VIA DESIGN ARCHITECTS, PC  
319 E PLUME STREET  
NORFOLK, VA 23510  
**CIVIL ENGINEER:** TRC COMPANIES  
2 BAYPORT WAY, NEWPORT NEWS,  
VA 23606

### SHEET INDEX: DEMOLITION SITE PLAN

| PHASE VII DEMOLITION PLAN |                                       |           |      |
|---------------------------|---------------------------------------|-----------|------|
| Sheet Number              | Sheet Name                            | Revisions | Date |
| T100                      | TITLE SHEET                           |           |      |
| G-001                     | COVER SHEET                           |           |      |
| G-002                     | GENERAL NOTES ABBREVIATION AND LEGEND |           |      |
| G-003                     | EROSION AND SEDIMENT CONTROL NOTES    |           |      |
| V-101                     | TOPOGRAPHIC SURVEY                    |           |      |
| V-102                     | TOPOGRAPHIC SURVEY                    |           |      |
| V-103                     | TOPOGRAPHIC SURVEY                    |           |      |
| C-100                     | OVERALL LAYOUT AND SHEET INDEX        |           |      |
| CD101                     | DEMOLITION AND E&S PHASE I PLAN       |           |      |
| CD102                     | DEMOLITION AND E&S PHASE I PLAN       |           |      |
| CD103                     | DEMOLITION AND E&S PHASE I PLAN       |           |      |
| CS101                     | LAYOUT AND GRADING PLAN               |           |      |
| CS102                     | LAYOUT AND GRADING PLAN               |           |      |
| CS103                     | LAYOUT AND GRADING PLAN               |           |      |
| C-500                     | DETAILS                               |           |      |
| C-501                     | NEWPORT NEWS STORMWATER SUMMARY       |           |      |
| C-502                     | DRAINAGE AREA PROPOSED CONDITION      |           |      |
| C-503                     | DRAINAGE AREA PROPOSED CONDITION      |           |      |

### SHEET INDEX NOTES FOR REFERENCE DOCUMENTATION SCHEDULES

**1940 ORIGINAL CONSTRUCTION DRAWING SET:**  
This drawing set provides all available documentation of the original construction for buildings B, D2, D3, & D4. All construction that has occurred on the site after the 1940 has been built over this structure and therefore these drawings will provide insight into what the phase IIIV project will encounter throughout the demolition process.

**1984 STRUCTURAL RENOVATIONS SET:**  
This set provides information from the 1984 structural renovations that were completed on buildings B, D2, D3, & D4 and includes only the relevant CDs from the original set.

**1992 COMPREHENSIVE RENOVATION - INTERIORS SET:**  
This set of CDs provide detailed drawings of all interior updates that occurred in the overall renovation that underwent in 1992.

### SHEET INDEX: REFERENCE PLANS

| 1940 ORIGINAL CONSTRUCTION DRAWING REF. SET 1 |   |
|---|---|
| Sheet Number                                  | Sheet Name  |
| A-201   | ARCHITECTURAL SITE PLAN - NO.5 (40')                                |
| A-202   | PLAN OF BLOCK 1 - NO.6 (40')  |
| A-203   | PLAN OF BLOCK 2 - NO.7 (40')  |
| A-207   | BUILDING B - NO.11 (40')  |
| A-210   | BUILDING D3 PLANS, ELEVATIONS & DETAILS - NO.14 (40')               |
| A-211   | BUILDING D4 PLANS, ELEVATIONS & DETAILS - NO.15 (40')               |
| A-212   | TYPICAL CROSS SECTION - NO.16 (40')                                 |
| A-213   | ROOF, LEADER & MISC. DETAILS - NO.17 (40')                          |
| A-214   | DOOR, WINDOW, & PARTITION DETAILS - NO.18 (40')                     |
| A-15  | STAIR DETAILS - NO.19 (40')   |
| PH-402  | BUILDING A, B, & D - PLUMBING & HEATING - NO.27 (40')               |
| PH-403  | BUILDING D2, D3, D4 & UNIT PLANS - PLUMBING & HEATING - NO.28 (40') |
| P-404   | GAS DISTRIBUTION SITE PLAN - NO.28A (40')                           |
| E-501   | BUILDING A, B & UNIT PLANS - ELECTRICAL PLANS - NO.29 (40')         |
| E-502   | BUILDING D2, D3, D4 - ELECTRICAL PLANS - NO.30 (40')                |
| L-701   | PLANTING PLANS - BLOCK 1 - NO.32 (40')                              |
| L-702   | PLANTING PLANS - BLOCK 2 - NO.33 (40')                              |

### 1984 STRUCTURAL RENOVATIONS REF. SET 2

| Sheet Number | Sheet Name   |
|--------------|--|
| C - 0        | TITLE PG MARSHALL COURTS & ORCUTT HOMES 1984 (84')                 |
| C - 1        | MARSHALL COURTS - BUILDING LOCATION PLAN (84')                     |
| C - 2        | SITE PLAN - BUILDINGS 13-18 & 35-40 (84')                          |
| C - 5        | SITE PLAN - BUILDINGS 9-12, 25-34 & 71-75 (84')                    |
| C - 6        | ORCUTT HOMES - BUILDING LOCATION PLAN (84')                        |
| A - 1        | BUILDINGS 1 - 24 ELEVATIONS (84')                                  |
| A - 4        | BUILDINGS 25-34 & 75 ELEVATIONS (84')                              |
| A - 5        | WALL SECTIONS, DETAIL LS (84')                                     |
| A - 6        | TYPICAL DETAILS (84')  |
| A - 7        | MISC. DETAILS (84')  |
| P - 1        | ORCUTT HOMES - PLUMBING PLAN, TYPICAL DETAILS, LEGEND, NOTES (84') |
| P - 2        | ORCUTT HOMES - PLUMBING PLAN, DIAGRAMS (84')                       |
| E - 1        | ELECTRICAL DISTRIBUTION PLAN (84')                                 |
| E - 2        | ELECTRICAL LEGEND, SCHEDULES & DETAILS (84')                       |
| E - 6        | ELECTRICAL RISER DIAGRAM, LIGHTING FIXTURE SCHEDULE (84')          |

### 1992 COMPREHENSIVE RENOVATION - INTERIORS REF. SET 3

| Sheet Number | Sheet Name  |
|--------------|---|
| C1           | SITE PLAN KEY (92')   |
| C6           | DETAIL SHEET (92')  |
| A5           | BUILDING TYPE B - FLOOR PLANS (NEW WORK) (92')  |
| A6           | BUILDING TYPE B - FLOOR PLANS (NEW WORK) (92')  |
| A7           | BUILDING TYPE A & B - BUILDING SECTIONS & DETAILS (92')                               |
| A8           | BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK) (92')                          |
| A9           | BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK) (92')                          |
| A10          | BUILDING TYPE D2 & D3 - BUILDING SECTIONS, PARTIAL PLANS & DETAILS (92')              |
| A11          | BUILDING TYPE D4 - FLOOR PLANS (DEMOLITION & NEW WORK) (92')                          |
| A14          | BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK HANDICAPPED CONVERSION) (92')   |
| A15          | BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK HANDICAPPED CONVERSION) (92')   |
| A16          | BUILDING TYPE D2 & D3 - ROOF FRAMING DETAIL (92')                                     |
| A17          | DOOR SCHEDULE, DOOR TYPES, & NOTES (92')  |
| A18          | DOOR & WINDOW DETAILS (92')   |
| A19          | CASEWORK ELEVATIONS, SECTIONS, & DETAILS (92')  |
| P5           | BUILDING TYPE B - FLOOR PLANS (NEW WORK) (92')  |
| P6           | BUILDING TYPE B - FLOOR PLANS (NEW WORK) (92')  |
| P7           | BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK) (92')                          |
| P8           | BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK) (92')                          |
| P9           | BUILDING TYPE D4 - FLOOR PLANS (DEMOLITION & NEW WORK) (92')                          |
| P11          | BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK & HANDICAPPED CONVERSION) (92') |
| P12          | BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK & HANDICAPPED CONVERSION) (92') |
| P14          | RECREATION BUILDING & TYPE D4 RISER DIAGRAMS (92')                                    |
| M5           | BUILDING TYPE B - FLOOR PLANS (NEW WORK) (92')  |
| M6           | BUILDING TYPE B - FLOOR PLANS (NEW WORK) (92')  |
| M7           | BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK) (92')                          |
| M8           | BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK) (92')                          |
| M9           | BUILDING TYPE D4 - FLOOR PLANS (DEMOLITION & NEW WORK) (92')                          |
| M11          | BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK & HANDICAPPED CONVERSION) (92') |
| M12          | BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK & HANDICAPPED CONVERSION) (92') |
| M14          | BUILDING MECHANICAL EQUIPMENT ROOM PLANS AND SECTIONS (92')                           |
| M17          | BUILDING TYPE A & B SECTIONS & UNIT PIPING DETAILS (92')                              |
| M18          | LEGEND, & SCHEDULES (92')   |
| M19          | SCHEDULES (92')   |
| M20          | MECHANICAL DETAILS (92')  |
| E5           | BUILDING TYPE B - FLOOR PLANS (NEW WORK) (92')  |
| E6           | BUILDING TYPE B - FLOOR PLANS (NEW WORK) (92')  |
| E7           | BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK) (92')                          |
| E8           | BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK) (92')                          |
| E9           | BUILDING TYPE D4 - FLOOR PLANS (DEMOLITION & NEW WORK) (92')                          |
| E11          | BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK & HANDICAPPED CONVERSION) (92') |
| E12          | BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK & HANDICAPPED CONVERSION) (92') |

**VIA DESIGN**  
319 E Plume Street  
Norfolk, VA 23510  
757 627 1489  
viadesignarchitects.com

CONSULTANT:

NEWPORT NEWS REDEVELOPMENT and HOUSING AUTHORITY  
**MARSHALL CT. APT. PHASE VII**  
741 34th STREET  
NEWPORT NEWS, VA 23607

| REVISIONS | DESCRIPTION |
|-----------|-------------|
| #         | DATE        |
|           |             |
|           |             |
|           |             |
|           |             |
|           |             |

VIA PROJ #: 17031-4  
DATE: 2024.06.01

CHECKED BY:  
SHEET STATUS:  
CONSTRUCTION DOCUMENT

KEY PLAN:

SHEET TITLE:  
TITLE SHEET

BUILDING:

SHEET NUMBER:  
**T100**



COVER SHEET

\* \* \*

# MARSHALL COURTS APARTMENTS, NNRHA, PHASE 7

\* \* \*

## NEWPORT NEWS, VIRGINIA

**CONTACT INFORMATION:**  
 DEVELOPER/OWNER FIRM: NEWPORT NEWS REDEVELOPMENT AND HOUSING AUTHORITY  
 ADDRESS: PO BOX 0797, NEWPORT NEWS, VA 23607  
 CONTACT: DAVID STALEY  
 TELEPHONE NO: (757) 928-6170

**CIVIL ENGINEERING FIRM:**  
 NAME: TRC COMPANIES  
 TIM DEAN, PE  
 ADDRESS: 2 BAYPORT WAY, NEWPORT NEWS, VA 23606  
 TELEPHONE NO: (757) 290-4602  
 EMAIL: TDEAN@TRCCOMPANIES.COM

**SITE DATA:**  
 SITE LOCATION: 741 34TH STREET, NEWPORT NEWS, VA 23607  
 PARCEL ID: 300030205  
 ZONING: R8 & R4  
 OVERLAY DISTRICT: NEIGHBORHOOD CONSERVATION DISTRICT  
 CURRENT USE: RESIDENTIAL  
 PROPOSED USE: OPEN SPACE  
 CBPA: NO  
 FEMA FIRM #: 5101030181D (EFFECTIVE 12/9/2014)  
 FLOOD ZONE: X  
 COORDINATES: 36.99434, -76.41941

**BUILDING DATA:**  
 FRONT SETBACK: 30 FT  
 SIDE SETBACK (INTERIOR LOT): R8 - (I) 10 FT INTERIOR LOT FOR TWO-FAMILY DWELLINGS, NO SIDE YARD IS REQUIRED AT THE INTERIOR LOT LINES WHERE UNITS ARE ATTACHED.  
 (II) 20 FT FOR MULTIPLE-FAMILY DWELLINGS  
 R4 - 10% OF LOT WIDTH; BUT, NO MORE THAN 10 FT SHALL BE REQUIRED  
 SIDE SETBACK (CORNER LOT): 30 FT  
 REAR SETBACK: 20 FT

**SITE STATISTICAL DATA:**  
 NNRHA PROPERTY AREA: 977,922 SF 22.45 AC  
 TOTAL LIMITS OF DISTURBANCE (SITE AREA): 318,315 SF 7.31 AC

**MARSHALL COURTS APARTMENTS, NNRHA, PHASE 7**

|                                    |            |         |
|------------------------------------|------------|---------|
| LIMITS OF DISTURBANCE (SITE AREA): | 219,869 SF | 5.05 AC |
| PRE-DEVELOPMENT IMPERVIOUS:        | 128,393 SF | 2.95 AC |
| PRE-DEVELOPMENT GREEN SPACE:       | 91,476 SF  | 2.10 AC |
| POST-DEVELOPMENT IMPERVIOUS:       | 46,996 SF  | 1.08 AC |
| POST DEVELOPMENT GREEN SPACE:      | 172,873 SF | 3.97 AC |
| ON SITE:                           | 207,237 SF | 4.76 AC |
| WITHIN ROW:                        | 12,632 SF  | 0.29 AC |
| 34TH STREET:                       | 332 LF     |         |
| 35TH STREET:                       | 1,030 LF   |         |
| 36TH STREET:                       | 732 LF     |         |
| MADISON AVE:                       | 432 LF     |         |

**MARSHALL COURTS RENOVATIONS:**

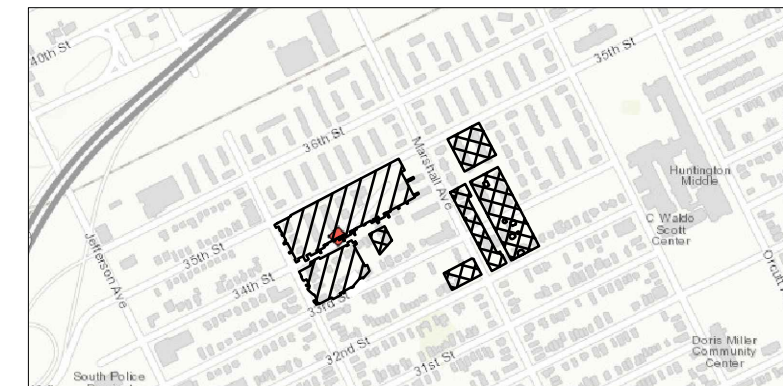
|                                    |           |          |
|------------------------------------|-----------|----------|
| LIMITS OF DISTURBANCE (SITE AREA): | 98,446 SF | 2.26 AC  |
| PRE-DEVELOPMENT IMPERVIOUS:        | 53,001 SF | 1.217 AC |
| PRE-DEVELOPMENT GREEN SPACE:       | 45,445 SF | 1.043 AC |
| POST-DEVELOPMENT IMPERVIOUS:       | 57,499 SF | 1.320 AC |
| POST DEVELOPMENT GREEN SPACE:      | 40,947 SF | 0.940 AC |
| ON SITE:                           | 98,131 SF | 2.253 AC |
| WITHIN ROW:                        | 315 SF    | 0.007 AC |

SANITARY SEWER FLOW: NOTE: NO CONNECTION PROPOSED.

**GENERAL NOTES:**

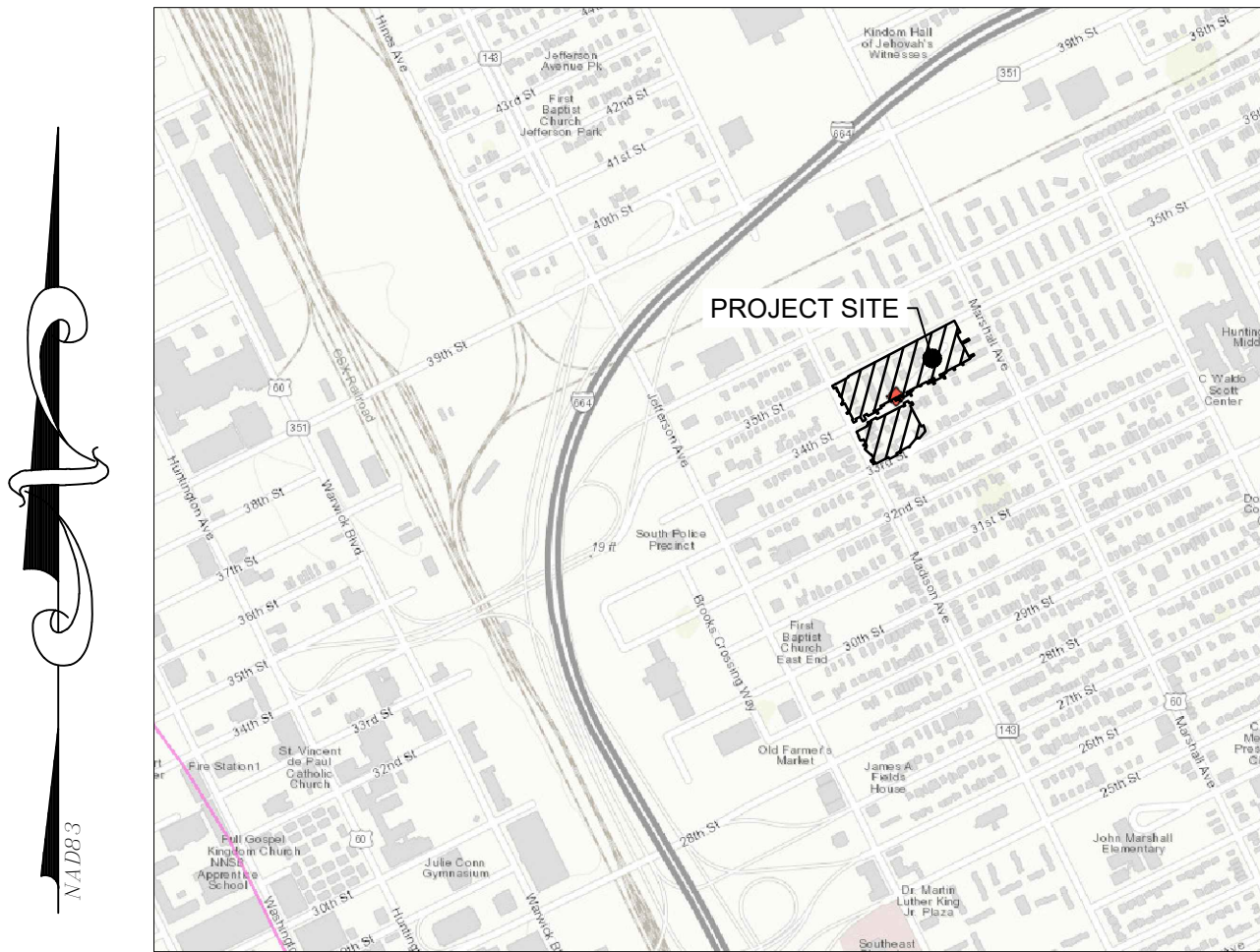
- AFTER OBTAINING THE LAND DISTURBING PERMIT AND AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY, THE CONTRACTOR SHALL CONTACT PLANNING/CIVIL INSPECTIONS AT 757-933-2311 TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO CONTACT PLANNING/CIVIL INSPECTIONS PRIOR TO ANY LAND DISTURBING ACTIVITY MAY RESULT IN A STOP WORK ORDER OR OTHER LEGAL ACTION.
- CITY REFUSE COLLECTION WILL NOT BE PROVIDED TO THIS SITE.
- RIGHT-OF-WAY DEDICATIONS (YES/NO)
- THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X BASED ON A SCALED LOCATION ON FIRM PANEL #5101030181D (EFFECTIVE DATE 12/9/2014). THIS FLOOD DETERMINATION IS NOT A RECOMMENDATION BY TRC/DRAPER ADEN ASSOCIATES TO NOT PURCHASE OR PURCHASE FLOOD INSURANCE COVERAGE AND DOES NOT IMPLY THAT THE REFERENCED PROPERTY WILL OR WILL NOT BE FREE FROM FLOOD DAMAGE.
- HORIZONTAL DATUM: THIS PLAN IS BASED ON THE VIRGINIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 1983/1993 (HARN). COORDINATE VALUES SHOWN ARE EXPRESSED IN U.S. SURVEY FEET.
- VERTICAL CONTROL: THIS PLAN IS BASED ON NAVD, 1988.
- ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- ANY AND ALL MATERIALS OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND WILL BE TRANSPORTED TO A SEDIMENT CONTROLLED DISPOSAL AREA.
- THE CERTIFYING DESIGN PROFESSIONAL IS RESPONSIBLE AND LIABLE FOR THE DESIGN AND THE CONTENTS OF THIS APPROVED PLAN.
- THIS PROPERTY IS LOCATED WITHIN THE NEIGHBORHOOD CONSERVATION DISTRICT.
- WATER METERS: CONTRACT WATERWORKS REGARDING DEMOLITION OR DISCONNECT OF EXISTING WATER METERS PRIOR TO BEGINNING DEMOLITION.

NOTE: CONTRACTOR TO CONTACT MISS UTILITY (811) IN ADVANCE OF PLANNED WORK. ADVANCE TIME PERIOD SHALL BE IN ACCORDANCE WITH CURRENT MISS UTILITY GUIDELINES (www.missutilityofvirginia.com).



**LEGEND** MARSHALL COURTS PHASE 7  
 LIMITS OF DISTURBANCE/SITE AREA = 5.05 AC  
 ON SITE = 4.76  
 OFF SITE = 0.29

**LEGEND** MARSHALL COURTS RENOVATIONS  
 LIMITS OF DISTURBANCE/SITE AREA = 2.26 AC  
 ON SITE = 2.26  
 OFF SITE = 0.0



**VICINITY MAP**

1"=1000'

**PROJECT DESCRIPTION**  
 THIS PROJECT INCLUDES THE DEMOLITION OF EXISTING RESIDENTIAL BUILDINGS AND ASSOCIATED HARDSCAPE FEATURES. THIS WILL RESULT IN A REDUCTION OF IMPERVIOUS AREA BY 1.77 ACRES. BUILDING REMOVAL INCLUDES ALL VERTICAL ELEMENTS AND STRUCTURAL SUPPORT SYSTEMS ASSOCIATED WITH THE BUILDING.

| SHEET LIST TABLE |                                       |
|------------------|---------------------------------------|
| NUMBER           | TITLE                                 |
| G-001            | COVER SHEET                           |
| G-002            | GENERAL NOTES ABBREVIATION AND LEGEND |
| G-003            | EROSION AND SEDIMENT CONTROL NOTES    |
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| C-500            | DETAILS                               |
| C-502            | DRAINAGE AREA EXISTING CONDITION      |
| C-503            | DRAINAGE AREA PROPOSED CONDITION      |

I HEREBY CERTIFY THAT I AM THE RESPONSIBLE LAND DISTURBER FOR THIS PROJECT AND THAT I HAVE A VALID CERTIFICATION FROM THE STATE OF VIRGINIA

*Timothy K. Dean* VA PE LIC. # 041397  
 SIGNATURE CERTIFICATION #  
 TIMOTHY K. DEAN 08/07/2024  
 NAME (PRINT) DATE

RESPONSIBLE LAND DISTURBER (RLD) FOR THE PURPOSES OF PLAN REVIEW IS TIMOTHY K. DEAN, PE OF TRC, PE#041397. CONTRACTOR TO PROVIDE THE RLD NAME AND CERTIFICATION NUMBER OF THE INDIVIDUAL OF RESPONSIBLE CHARGE PRIOR TO CONSTRUCTION.

\* \* \* \* \*

AUGUST 7, 2024

\* \* \* \* \*

DAA PROJECT #2100194-010306

THESE DOCUMENTS, INCLUDING DRAWINGS AND SPECIFICATIONS, WERE PREPARED BY TRC COMPANIES, PURSUANT TO A CONTRACT BY AND BETWEEN TRC AND VIA DESIGN ARCHITECTS, INC. WITH RESPECT TO THE PROJECT DESCRIBED IN SAID CONTRACT. ANY REUSE OR MODIFICATION OF SAID DOCUMENTS (WHETHER HARD COPY OR ELECTRONIC) WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY TRC FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT THE SOLE RISK OF THE INDIVIDUAL OR ENTITY UTILIZING SAID DOCUMENTS, DRAWINGS AND SPECIFICATIONS AND SUCH USE IS WITHOUT THE AUTHORIZATION OF TRC. TRC SHALL HAVE NO LEGAL LIABILITY RESULTING FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF THE UNAUTHORIZED USE OF THESE DOCUMENTS, DRAWINGS, SPECIFICATIONS, REPORTS, AND STUDIES PREPARED AS A RESULT OF THE AFORESAID CONTRACT.

CITY APPROVAL STAMPS

DESIGNED BY:

DRAWN BY:

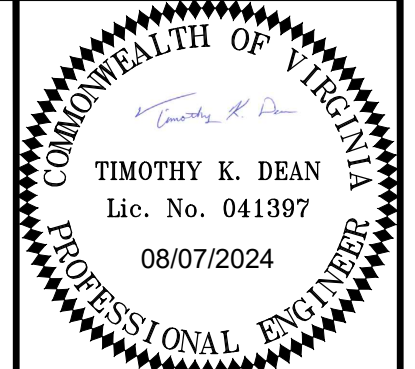
CHECKED BY:

SCALE: NONE

DATE: AUGUST 7, 2024

PROJECT NUMBER: 2100194

G-001



**Draper Aden Associates**  
 Engineering • Surveying • Environmental Services

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 Newport News, VA 23606  
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• Raleigh, NC  
 • Fayetteville, NC  
 • Northern Virginia  
 • Virginia Beach, VA  
 • Richmond, VA  
 • Blacksburg, VA  
 • Charlottesville, VA

COVER SHEET  
 MARSHALL COURTS APARTMENTS,  
 NNRHA, PHASE 7  
 NEWPORT NEWS, VIRGINIA

| REVISIONS |
|-----------|
|           |
|           |
|           |



GENERAL NOTES

- 1. DIMENSIONS AND RADII ARE TO FACE OF CURB, WHERE APPLICABLE, UNLESS OTHERWISE INDICATED.
2. DIMENSIONS AT BUILDING ARE TO OUTSIDE FACE, UNLESS OTHERWISE INDICATED.
3. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM THE CITY OF NEWPORT NEWS OR STATE AGENCIES.
4. THE BUILDING PERMIT WILL BE OBTAINED AND PAID FOR BY THE OWNER. ALL OTHER PERMITS, LOCAL LICENSE FEES, BUSINESS FEES, TAXES, OR SIMILAR ASSESSMENTS IMPOSED BY THE APPROPRIATE POLITICAL SUBDIVISION SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
5. ALL PAVING MATERIALS AND DRAINAGE STRUCTURES SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
6. THE LOCATION OF EXISTING SEWER, WATER OR GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, IF THERE APPEARS TO BE A CONFLICT, OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS. FOR ASSISTANCE IN LOCATING EXISTING UTILITIES CALL "MISS UTILITY", 1-800-552-7001.
7. WHERE PAVEMENT IS BEING REMOVED, THE CONTRACTOR SHALL REMOVE AGGREGATE BASE MATERIAL TO SUB-GRADE.
8. DAMAGE TO UTILITIES (INCLUDING UNDERGROUND) OR PROPERTY OF OTHERS BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY CONTRACTOR AT NO COST TO OWNER.
9. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO LIKE-NEW CONDITION.
10. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
11. THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY INSPECTORS.
12. LANDSCAPING AND SITE IMPROVEMENTS WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS WITHIN THE PARKING AREA AND AT ENTRANCE/EXIT LOCATIONS.
13. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AT LEAST 24 HOURS PRIOR TO STARTING WORK ON THIS PROJECT.
14. THE CONTRACTOR AND/OR THE DEVELOPER IS RESPONSIBLE FOR THE COST OF REPAIR OR REPLACEMENT OF ANY TRAFFIC CONTROL EQUIPMENT THAT EITHER NEEDS TO BE RELOCATED OR THAT IS DAMAGED AS A RESULT OF THIS PROJECT. ANY WORK INVOLVING THE TRAFFIC CONTROL EQUIPMENT SHALL BE COORDINATED THROUGH THE CITY OF NEWPORT NEWS TRAFFIC ENGINEERING.
15. VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
16. DEVIATIONS FROM, OR CHANGES TO THESE PLANS WILL NOT BE ALLOWED, UNLESS OTHERWISE APPROVED BY THE CITY OF NEWPORT NEWS, DEPARTMENT OF ENGINEERING.
17. MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO THE PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT. TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. REPAIR AT YOUR OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION. IF A UTILITY IS DAMAGED DURING CONSTRUCTION, STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER.
18. PROPERLY SECURE THE CONSTRUCTION AREA AT ALL TIMES AGAINST UNAUTHORIZED ENTRY AND ADEQUATELY PROTECT EQUIPMENT, MATERIALS, AND COMPLETED WORK FROM THEFT AND VANDALISM. THE OWNER IS NOT RESPONSIBLE FOR THE LOSS OF ANY MATERIAL STORED AT THE SITE.
19. ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER."
20. ALL TURF AREAS THAT ARE IMPACTED OR DISTURBED BY VEHICLES, EQUIPMENT, OR ACTIVITY SHALL BE REPAIRED, REGRADED, AND RESEED TO THE SATISFACTION OF THE OWNER.
21. PERFORM ALL WORK USING DIMENSIONS SHOWN ON THESE PLANS. DO NOT USE SCALES, RULERS, DIVIDERS, MAP WHEELS OR OTHER MEASURING DEVICES TO DETERMINE SPATIAL RELATIONSHIPS ON THESE DRAWINGS.
22. ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION LIMITS OF PAVED AREAS.
23. CONTRACTOR SHALL THOROUGHLY CLEAN SEWER LINES FROM 5' OUTSIDE OF BUILDING TO NEXT DOWNSTREAM MANHOLE OR CLEAN OUT PRIOR TO TURNING PROJECT OVER TO OWNER. COORDINATE WITH ARCHITECTURAL AND PLUMBING DRAWINGS.
24. TOPOGRAPHIC SURVEY USED FOR THESE PLANS WAS PREPARED BY DRAPER ADEN ASSOCIATES AND ALL EXISTING SPOT ELEVATIONS SHOWN ARE BASED ON THIS TOPOGRAPHIC SURVEY.

GRADING NOTES

- 1. ALL SPOT ELEVATIONS NOTED WITH "MG" ARE INTENDED TO MATCH EXISTING GRADE. SPECIFIED ELEVATIONS ARE APPROXIMATE BASED ON THE TOPOGRAPHIC SURVEY. CONTRACTOR TO FIELD VERIFY AND NOTIFY THE ENGINEER OF RECORD OF ANY DEVIATION.

CITY OF NEWPORT NEWS GENERAL NOTES:

- CONSTRUCTION
1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM WITH THE CURRENT NEWPORT NEWS DESIGN CRITERIA MANUAL, VDOT STANDARDS AND SPECIFICATIONS, VDOT ROAD AND BRIDGES STANDARDS AND SPECIFICATIONS, LATEST EDITION OF THE HAMPTON ROADS PLANNING DISTRICT COMMISSION (HRPC) REGIONAL CONSTRUCTION STANDARDS, THE NEWPORT NEWS SPECIAL PROVISIONS OF THE HRPDC REGIONAL CONSTRUCTION STANDARDS, THE STORMWATER MANAGEMENT HANDBOOK, VIRGINIA DEQ STORMWATER DESIGN SPECIFICATIONS, VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS AND ANY OTHER APPLICABLE CITY OR STATE ORDINANCE, CODE AND/OR LAW.
2. EXTERIOR CONCRETE SHALL BE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) CLASS A3.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES WHETHER OR NOT THEY ARE SHOWN ON THE PLAN. THE CONTRACTOR SHALL REPAIR, AT THEIR OWN EXPENSE, ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL FOLLOW ALL "MISS UTILITY" POLICIES PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
4. ALL COSTS ASSOCIATED WITH THE REQUIRED RELOCATION/ADJUSTMENT OF UTILITIES AND/OR OBSTRUCTIONS (POWER POLES, TELEPHONE PEDESTALS, GUY WIRES, WATER METERS, STREETLIGHTS, ETC.) DUE TO CONSTRUCTION OF THE PROJECT ARE THE RESPONSIBILITY OF THE OWNER/DEVELOPER.
5. ALL COSTS ASSOCIATED WITH THE INSTALLATION AND UPGRADE OF STREETLIGHTS AND OTHER UTILITIES FOR THE CONSTRUCTION OF THE PROJECT ARE THE RESPONSIBILITY OF THE OWNER/DEVELOPER.
6. THERE SHALL BE ONE (1) R7-8 HANDICAP SIGN WITH AN ADDITIONAL PLATE READING "PENALTY \$100 - \$500 TOW-AWAY ZONE" PER HANDICAP PARKING SPACE PROVIDED. AT LEAST ONE (1) OUT OF EVERY EIGHT (8) HANDICAP SPACES SHALL BE VAN ACCESSIBLE. ALL DESIGNATED VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" ADDED TO THE SIGN ASSEMBLY. THE REQUIRED HANDICAP SIGN ASSEMBLY SHALL BE MOUNTED IN ACCORDANCE WITH THE CURRENT ANSI A117.1 STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.
7. FIRE HYDRANTS MUST BE LOCATED SO THAT AT LEAST ONE HYDRANT IS CAPABLE OF REACHING THE REAR OF THE BUILDING. THE REQUIRED DISTANCES FROM THE FIRE HYDRANTS, AS WELL AS THE REQUIRED FIRE FLOW, IS SET BY THE CURRENT EDITION OF THE WATER DESIGN STANDARDS OF NEWPORT NEWS WATERWORKS. MINIMUM FIRE HYDRANT SPACING IS CURRENTLY EVERY 400 FEET FOR COMMERCIAL/INDUSTRIAL APPLICATION, AND EVERY 600 FEET FOR RESIDENTIAL.
8. THE HYDRANT DISTANCES SHALL BE MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, AND SHALL BE MEASURED ALONG THE NATURAL AND UNOBSTRUCTED PATH OF VEHICLE TRAVEL.
9. ANY BUSHES, TREES, FENCING OR ANY OTHER POTENTIAL OBSTRUCTION SHALL BE IDENTIFIED AND BE A MINIMUM OF 3 FEET FROM FIRE HYDRANTS AND OTHER FIRE SUPPRESSION EQUIPMENT.
10. FIRE DEPARTMENT CONNECTIONS (FDC) SHALL BE LOCATED ON A STREET FRONT, A MINIMUM OF 40 FEET FROM THE BUILDING, AND NO MORE THAN 100 FEET FROM A FIRE HYDRANT.
11. MINIMUM WIDTH OF ALL FIRE LANES SHALL BE 20 FEET UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL. MINIMUM HEIGHT OF CANOPIES (AND/OR OTHER ITEMS) THAT OVERHANG INTO THE FIRE LANE MUST BE 13 FEET AND 6 INCHES. FIRE LANES SHALL BE SURFACED WITH HEAVY DUTY ASPHALT PER THE CURRENT CITY STANDARDS.
12. A FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE BUILDING AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING/FACILITY. (CERTAIN EXCEPTIONS, SUCH AS A FIRE SPRINKLER SYSTEM, MAY APPLY.)
13. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET UNLESS OTHERWISE REQUIRED BY THE FIRE CODE OFFICIAL AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13 FEET 6 INCHES. THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE MORE THAN ONE FIRE APPARATUS ACCESS ROAD BASED ON OCCUPANCY USE, LOCATION, ETC.
14. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS AND SHALL BE SURFACED TO ACCOMMODATE ALL WEATHER DRIVING CONDITIONS. (THE CURRENT MINIMUM WEIGHT LOAD UTILIZED FOR FIRE APPARATUS CALCULATION IS 80,000 POUNDS.) DEAD END FIRE APPARATUS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. THE REQUIRED TURNING RADIUS OF A FIRE APPARATUS ACCESS ROAD SHALL BE DETERMINED BY THE FIRE CODE OFFICIAL. (THE CURRENT MINIMUM TURNING RADIUS FOR FIRE APPARATUS IS 29 FEET.)
15. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIALS ARRIVE ON SITE.
16. APPROVED VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT VEHICLE ACCESS CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS HAS BEEN FULLY CONSTRUCTED.
17. ALL PROPOSED PVC SANITARY SEWER PIPE AND FITTINGS SHALL BE ASTM 3034 SDR 26.
18. ALL PROPOSED DUCTILE IRON SANITARY SEWER PIPE SHALL BE MINIMUM THICKNESS CLASS 52.
19. ALL PROPOSED DUCTILE IRON SANITARY SEWER FORCE MAIN COMPACT FITTINGS SHALL HAVE A MINIMUM ACCEPTABLE PRESSURE RATING OF 250 PSI.
20. ALL SANITARY SEWER GRAVITY PIPES PLACED BELOW 10 FEET IN COVER OR LESS THAN 3 FEET IN COVER SHALL BE MADE OF DUCTILE IRON.
21. A NEWPORT NEWS STANDARD ACCESS POINT/CLEANOUT SHALL BE PLACED AT THE CITY RIGHT OF WAY FOR ALL SANITARY SEWER LATERALS.
22. ANY SANITARY SEWER GRAVITY LINE THAT CROSSES A WATER LINE WITH 18 INCHES OR LESS OF VERTICAL SEPARATION OR A MAIN THE RUNS PARALLEL TO A WATER LINE WITH LESS THAN 10 FEET OF SEPARATION, SHALL BE MADE OF DUCTILE IRON.
23. REINFORCED CONCRETE PIPE ARE REQUIRED IN AREAS SUBJECT TO TRAFFIC LOADS.
24. ALL PROPOSED ON-SITE PAVEMENT MARKINGS SHALL BE REFLECTORIZED TYPE A (PAINT) OR TYPE B (PREFORMED OR THERMOPLASTIC MATERIAL) IN ACCORDANCE WITH THE LATEST EDITION OF THE VDOT ROAD AND BRIDGE SPECIFICATIONS. PARKING SPACES SHALL BE DELINEATED BY 4-INCH WHITE LINES, (FEDERAL STANDARD COLOR #595-17886 OR EQUIVALENT), HANDICAPPED PARKING SPACES SHALL BE DELINEATED BY 4-INCH BLUE LINES (BENNETTE'S PAINT BLUE WAVE Q13-28T OR EQUIVALENT) FOR SPACES AND SYMBOLS, FIRE LANES AND PARCEL PICK-UP MARKINGS SHALL BE 4-INCH YELLOW (FEDERAL STANDARD COLOR #595-13538 OR EQUIVALENT).
25. ALL PROPOSED PAVEMENT MARKINGS WITHIN CITY RIGHT OF WAY SHALL BE REFLECTORIZED TYPE B (PREFORMED OR THERMOPLASTIC MATERIAL) IN ACCORDANCE WITH THE LATEST EDITION OF THE VDOT ROAD AND BRIDGE SPECIFICATIONS AND AS OUTLINED IN THE NEWPORT NEWS/DEPARTMENT OF ENGINEERING'S "PAVEMENT MARKINGS - MATERIALS AND APPLICATIONS" SPECIFICATIONS EXCEPT AS OTHERWISE NOTED HEREIN. FEDERAL STANDARD COLOR #595-17886 OR EQUIVALENT SHALL DELINEATE WHITE MARKINGS, HANDICAPPED PARKING SPACES SHALL BE DELINEATED BY BENNETTE'S PAINT BLUE WAVE Q13-28T OR EQUIVALENT FOR SPACES/SYMBOLS AND FEDERAL STANDARD COLOR #595-13538 OR EQUIVALENT SHALL DELINEATE YELLOW MARKINGS. ALL PERMANENT MARKINGS MUST BE SPOTTED AND FIELD VERIFIED BY THE CITY PRIOR TO INSTALLATION BY THE CONTRACTOR.
26. ALL PAVEMENT MARKINGS, SIGNAGE AND OTHER PERMANENT TRAFFIC CONTROL DEVICES DISTURBED DURING CONSTRUCTION ACTIVITIES SHALL BE REPLACED/REINSTALLED. THESE ITEMS MUST BE SPOTTED AND FIELD VERIFIED BY THE CITY PRIOR TO INSTALLATION BY THE CONTRACTOR.
27. WITHIN LANDSCAPED AND GREEN AREAS, HEALTHY EXISTING TREES OF A MINIMUM 6-INCH DIAMETER AT BREST HEIGHT, MEASURED AT LEAST 4 FEET AND 6 INCHES ABOVE GRADE, FOR SINGLE STEMMED, DECIDUOUS TREES, AND A MINIMUM OF 8 FEET IN HEIGHT FOR MULTI-STEMMED OR EVERGREEN TREES, SHALL BE RETAINED, PRESERVED AND PROTECTED DURING CONSTRUCTION.
28. ALL EXISTING TREES TO REMAIN ON-SITE, LOCATED WITHIN 50 FEET OF THE LIMITS OF CONSTRUCTION, MUST BE TREE PROTECTED IN ACCORDANCE WITH THE CITY SITE REGULATIONS (CHAPTER 33.02 OF THE NEWPORT NEWS CODE OF ORDINANCES).
29. THE PROPERTY OWNER/DEVELOPER, AS APPLICABLE, SHALL BE RESPONSIBLE FOR THE PERPETUATION AND MAINTENANCE OF ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPING, REQUIRED BY THE CITY SITE REGULATIONS (CHAPTER 33.02 OF THE NEWPORT NEWS CODE OF ORDINANCES) AND AS SHOWN ON THE APPROVED PLAN.
30. TREES MAY NOT BE SEVERELY TRIMMED BEYOND THE ANSI A300 STANDARDS FOR TREE CARE OPERATIONS AS AMENDED. IF TREES ARE SEVERELY PRUNED IN SUCH A WAY TO REMOVE 50% OR MORE OF THEIR HEIGHT/SPREAD, THEY WILL BE CONSIDERED DAMAGED AND SHALL BE REPLACED WITH TREES MEETING THE REQUIREMENTS OF CHAPTER 33.02 OF THE NEWPORT NEWS CODE OF ORDINANCES.
LIGHTING
31. FOR THE FOLLOWING SITE USES: EDUCATIONAL, CHURCH, PARKS, RESIDENTIAL, MANUFACTURING OR INDUSTRIAL THE FOLLOWING LIGHTING NOTE MUST BE INCLUDED ON THE PLAN, "EXTERIOR LIGHTING MUST PROVIDE A MINIMUM ILLUMINATION LEVEL OF 0.6 FOOT-CANDLES FOR PARKING/DRIVING AREAS, 1.1 FOOT-CANDLES FOR OPEN WALKWAYS AND 4.3 FOOT-CANDLES FOR ENCLOSED WALKWAYS. LIGHTING MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CURRENT NEWPORT NEWS REGULATIONS. LIGHTING SHALL BE DIRECTED INWARD TO THE SITE AND SHIELDED SO AS NOT TO ILLUMINATE OR PRODUCE GLARE ONTO ADJACENT PROPERTIES AND/OR ONTO THE CITY RIGHT OF WAY."
32. FOR ALL OTHER USES INCLUDING BUT NOT LIMITED TO: MEDICAL, OFFICE PARK, SHOPPING, WHOLESALE AND RETAIL THE FOLLOWING LIGHTING NOTE MUST BE INCLUDED ON THE PLAN, "EXTERIOR LIGHTING MUST PROVIDE A MINIMUM ILLUMINATION LEVEL OF 0.9 FOOT-CANDLES FOR PARKING/DRIVING AREAS, 2.2 FOOT-CANDLES FOR OPEN WALKWAYS AND 4.3 FOOT-CANDLES FOR ENCLOSED WALKWAYS. LIGHTING MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CURRENT NEWPORT NEWS REGULATIONS. LIGHTING SHALL BE DIRECTED INWARD TO THE SITE AND SHIELDED SO AS NOT TO ILLUMINATE OR PRODUCE GLARE ONTO ADJACENT PROPERTIES AND/OR ONTO THE CITY RIGHT OF WAYS."
PERMITS AND PRE-CONSTRUCTION
33. FOR ANY LAND DISTURBING ACTIVITIES GREATER THAN 2,500 SQUARE FEET A LAND DISTURBANCE/VSMF PERMIT IS REQUIRED FROM THE DEPARTMENT OF PLANNING.
34. FOR ANY LAND DISTURBANCE GREATER THAN 1 ACRE A CONSTRUCTION GENERAL PERMIT (CGP) IS REQUIRED. THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMP) AUTHORITY, NEWPORT NEWS, SHALL ISSUE THE LAND DISTURBANCE/VSMF PERMIT PRIOR TO ANY WORK. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED FOR THE PROJECT AND A HARD COPY BE PRESENTED TO THE ENVIRONMENTAL SERVICES INSPECTOR AT THE PRE-CONSTRUCTION MEETING.
35. PRIOR TO CONSTRUCTION WITHIN ANY CITY RIGHT OF WAY, THE CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT FROM THE DEPARTMENT OF PLANNING. THE OWNER/DEVELOPER OR THEIR REPRESENTATIVE SHALL SUBMIT AN ITEMIZED COST LIST OF THE WORK WITHIN THE CITY RIGHT OF WAY. A TEMPORARY TRAFFIC CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
36. ALL TEMPORARY PAVEMENT MARKINGS, SIGNAGE AND OTHER TRAFFIC CONTROL DEVICES SHALL MEET THE FABRICATION AND/OR INSTALLATION REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
37. PRIOR TO ANY MOBILIZATION OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL REQUEST AND ATTEND A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF ENGINEERING'S CONSTRUCTION INSPECTOR AND THE ENVIRONMENTAL SERVICES INSPECTOR. TO REQUEST THE MEETING CALL 757-933-2311.
38. PRIOR TO INSTALLATION OF THE LANDSCAPING MATERIALS, AN INSPECTION WITH THE LANDSCAPE PLANNER IS REQUIRED. PLEASE CONTACT THE PLANNING DEPARTMENT AT 757-926-8761.
39. PLANS FOR AUTOMATIC SPRINKLER SYSTEMS SHALL BE REVIEWED AND APPROVED BY THE DEPARTMENT OF CODES COMPLIANCE PRIOR TO INSTALLATION.
40. SIGNS ARE REVIEWED AND APPROVED UNDER A SEPARATE SUBMITTAL AND REVIEW BY THE DEPARTMENT OF CODES COMPLIANCE.
41. THE CITY MANAGER, OR DESIGNEE, CAN STOP SITE CONSTRUCTION, IMPROVEMENTS AND/OR ALTERATIONS IN THE EVENT OF ANY DEVIATION FROM THE APPROVED PLAN OR ON THE DISCOVERY OF UNEXPECTED ADVERSE IMPACTS OF THE DEVELOPMENT ACTIVITY ON ADJACENT PROPERTY OR PUBLIC FACILITIES.

LEGEND

Table with columns for EXISTING and PROPOSED symbols and their corresponding descriptions: CONTOURS, GROUND ELEVATION, TREE LINE, DECIDUOUS TREE, CONIFEROUS TREE, SHRUB, FENCE, CONSTRUCTION FENCE, SAFETY FENCE, PROPERTY LINE/ROW, IRON ROD FOUND, IRON ROD SET, MONUMENT FOUND, MONUMENT SET, EASEMENT, BENCHMARK, SITE DISTANCE LINE, BUILDING, CONCRETE, SIGN, BOLLARD, BOREHOLE, STORM SEWER, STORM CLEANOUT, STORM MANHOLE, STORM DRAINAGE INLET, STORM STRUCTURE KEY, SANITARY SEWER.

LEGEND

Table with columns for EXISTING and PROPOSED symbols and their corresponding descriptions: SANITARY CLEANOUT, SANITARY MANHOLE, SANITARY STRUCTURE KEY, UNDERGROUND/ELECTRIC, LIGHT POLE, ELECTRIC POLE, ELECTRIC MANHOLE, WATER, FIRE LINE, WATER VALVE, THRUST BLOCK, FIRE HYDRANT, WATER METER, AIR RELEASE VALVE, WATER MANHOLE, CABLE TV, CABLE TV MANHOLE, CABLE TV PEDESTAL, UNDERGROUND TELEPHONE, TELEPHONE BOX, TELEPHONE MANHOLE, TELEPHONE PEDESTAL, TELEPHONE POLE, GAS LINE, GAS DRIP, GAS METER, GAS MANHOLE, GAS VALVE, RESOURCE MANAGEMENT AREA (RMA), SITE DISTANCE.

ABBREVIATIONS AND SYMBOLS

SYMBOLS

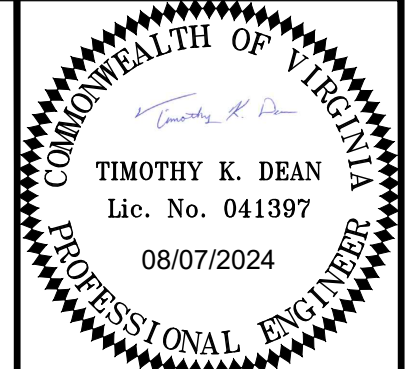
Table mapping symbols to descriptions: @ AT, DI CENTERLINE, DS PROPERTY LINE, EA DIAMETER, ELEV. DEGREE.

ABBREVIATIONS

Table mapping abbreviations to full names: A AREA, AC ACRE(S), AWWA AMERICAN WATER WORKS ASSOCIATION, BC BOTTOM OF CURB, BLDG. BUILDING, BOT. BOTTOM, CF CUBIC FEET, CG CURB AND GUTTER, C.I. CAST IRON, CI CURB INLET, CIP CAST IN PLACE, CJ CONSTRUCTION JOINT, CLR. CLEAR, C.O. CLEANOUT, CONC. CONCRETE, CONT. CONTINUOUS, CY CUBIC YARD(S), D.B. DEED BOOK.

Table mapping abbreviations to full names: D.I. DUCTILE IRON, DI DROP INLET, DIA. DIAMETER, DS DOWNSPOUT, EA EACH, E.F. EACH FACE, ELEV. ELEVATION, EOP EDGE OF PAVEMENT, ES&C EROSION AND SEDIMENT CONTROL, EX EXISTING, EXP. EXPANSION, E.W. EACH WAY, FC FACE OF CURB, FF FINISHED FLOOR, FL FLOW LINE, FT FOOT (FEET), GA GAUGE, GALV. GALVANIZED, GS GROUND SHOT, ID INSIDE DIAMETER, INV. INVERT, JT. JOINT, LAT. LATERAL, LB POUND, LBS POUNDS, LF LINEAR FOOT (FEET), MATL. MATERIAL, MAX. MAXIMUM, MFR. MANUFACTURER, MG MATCH GRADE, MH MANHOLE, MIN. MINIMUM, M.J. MECHANICALLY JOINED, O.C. ON CENTER.

Table mapping abbreviations to full names: OD OUTSIDE DIAMETER, PB PARCEL BOOK, PL PROPERTY LINE, PSI POUNDS PER SQUARE INCH, PT EACH, PVC POLYVINYL CHLORIDE, R RADIUS, RCP REINFORCED CONCRETE PIPE, RD ROOF DRAIN, REQD. REQUIRED, R/W RIGHT-OF-WAY, S SLOPE, SAN. SANITARY, SF SQUARE FOOT (FEET), SPEC SPECIFICATION, SPECS SPECIFICATIONS, SQ. SQUARE, STM STORM, STD. STANDARD, SW SIDEWALK, SWM STORM WATER MANAGEMENT, SY SQUARE YARD(S), TC TOP OF CURB, TDC TURNED DOWN CURB, TEMP. TEMPORARY, TYP. TYPICAL, UNO UNLESS NOTED OTHERWISE, VAR. VARIABLE, VDOT VIRGINIA DEPARTMENT OF TRANSPORTATION, VESCH VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, WW WATER WARE, WWF WELDED WIRE FABRIC.



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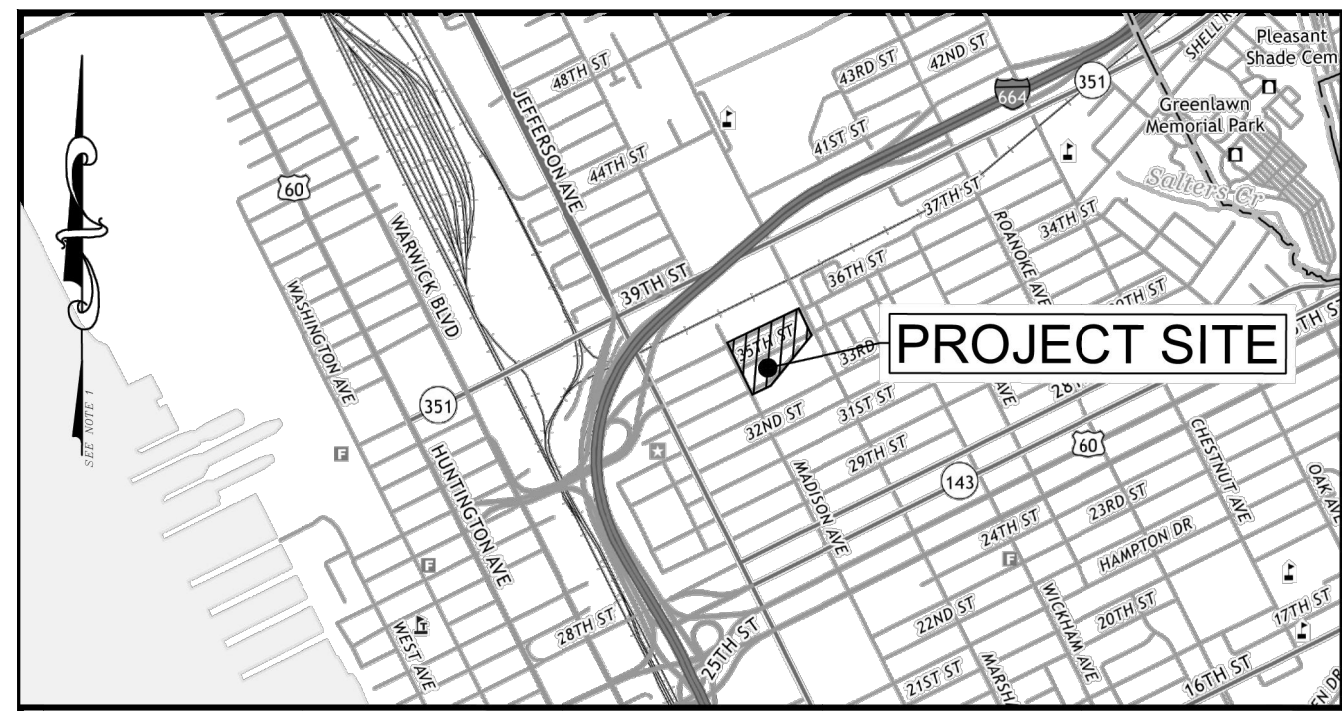
GENERAL NOTES ABBREVIATION AND LEGEND MARSHALL COURTS APARTMENTS, NINHRA, PHASE 7 NEWPORT NEWS, VIRGINIA

Table with columns for REVISIONS, DESIGNED BY, DRAWN BY, CHECKED BY, SCALE (NONE), DATE (AUGUST 7, 2024), PROJECT NUMBER (2100194), and drawing number (G-002).









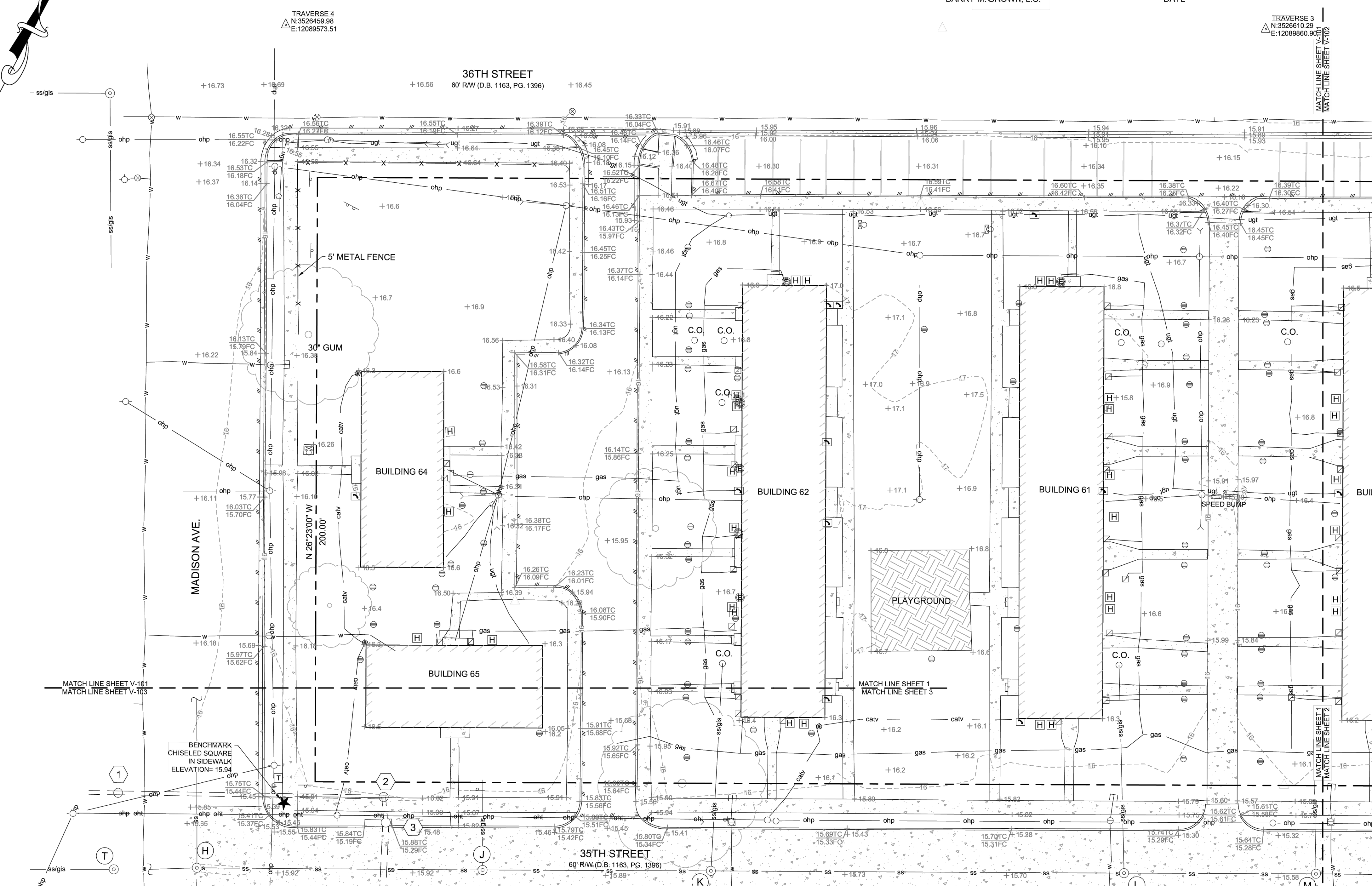
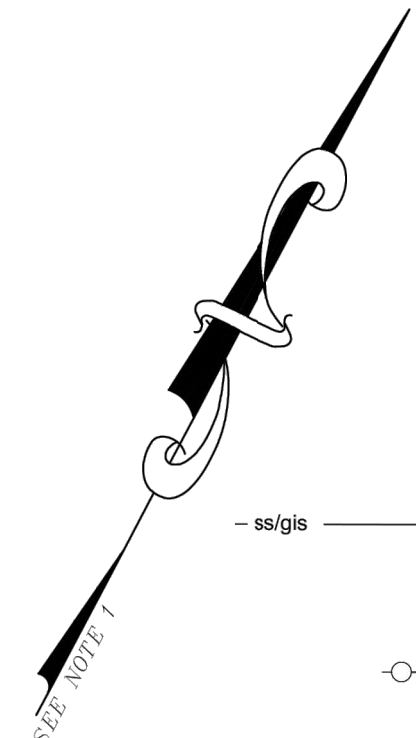
VICINITY MAP  
SCALE: 1" = 2000'

LEGEND

|                |                            |            |                                       |         |                    |   |                      |
|----------------|----------------------------|------------|---------------------------------------|---------|--------------------|---|----------------------|
| ---            | PROPERTY LINE              |            | BUILDING                              | ○       | TELEPHONE PEDESTAL | ⊞ | ELECTRIC TRANSFORMER |
| - - - 15 - - - | CONTOUR                    | - X - X -  | FENCE (AS NOTED)                      | ⊕       | TELEPHONE MANHOLE  | ⊞ | ELECTRIC METER       |
| gas            | GAS LINE                   | — X —      | GUY WIRE                              | ⊞       | TELEPHONE BOX      | ⊞ | ELECTRICAL MANHOLE   |
| ohp            | OVERHEAD POWER             |            | ASPHALT                               | ⊕       | FIRE HYDRANT       | ⊕ | UTILITY POLE         |
| oht            | OVERHEAD TELEPHONE         | — / —      | UNDERGROUND TELEPHONE                 | ⊕       | WATER VALVE        | ⊕ | GROUND LIGHT         |
| ss             | SANITARY SEWER AND MANHOLE | — w —      | WATERLINE                             | ⊕       | WATER METER        | ⊕ | LIGHT POLE           |
| ss/gis         | SANITARY SEWER PER GIS     | — w/datr — | WATERLINE PER RECORD                  | ★       | BENCHMARK          | ⊕ | COMM PEDESTAL        |
|                | STORM LINE AND MANHOLE     | ⊞          | DENOTES END OF SIGNAL ON UTILITY LINE | ○       | BOLLARD            | ○ | GAS VALVE            |
|                | STORM LINE AND INLET       |            |                                       | —       | SIGN (1-POST)      | ⊞ | GAS METER            |
| — catv —       | UNDERGROUND CABLE TV       | ⊞          | CONCRETE                              | —       | SIGN (2-POST)      | ○ | SEWER CLEAN OUT      |
| — uge —        | UNDERGROUND ELECTRIC       |            |                                       | + 15.92 | SPOT ELEVATION     | ⊞ | WOOD POST            |
|                |                            |            |                                       | ⊕       | DECIDUOUS TREE     | ⊞ | METAL POST           |
|                |                            |            |                                       | ⊕       | EVERGREEN TREE     | ⊞ | MAILBOX              |
|                |                            |            |                                       | ⊕       | SHRUB              | ⊞ | HVAC UNIT            |
|                |                            |            |                                       | ⊕       | SURVEY CONTROL     |   |                      |

NOTES:

- SOURCE OF MERIDIAN: NAD83, VIRGINIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, US SURVEY FEET, BASED UPON GPS OBSERVATIONS.
- VERTICAL DATUM: NAVD88 REFERENCED TO NGS DISK P312.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR TITLE REPORT AND ALL EASEMENTS AND ENCUMBRANCES THAT MIGHT BE DISCLOSED IN A TITLE SEARCH MAY NOT BE SHOWN.
- UTILITIES SHOWN ARE BASED UPON: SUE QUALITY LEVEL B, ASCE 38-02 - FIELD DESIGNATION OF UNDERGROUND UTILITIES PERFORMED BY DAA AND VISIBLE EVIDENCE IN CONJUNCTION WITH COMPILED RECORDS.
- CONTOUR INTERVAL: 1'.
- THIS SURVEY WAS PREPARED FOR VIA DESIGN ARCHITECTS. DRAPER ADEN ASSOCIATES ASSUMES NO LIABILITY FOR REUSE OR MODIFICATION OF THIS DOCUMENT.
- PROPERTY LINES ARE APPROXIMATE, AND ARE SHOWN PER CITY OF NEWPORT NEWS GIS. THESE LOCATIONS ARE FOR GENERAL REFERENCE. PHYSICAL MONUMENTATION IS CURRENTLY MINIMAL OR NON-EXISTENT FOR THE SUBJECT PARCELS.
- DRAPER ADEN ASSOCIATES PROVIDES BENCHMARKS FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THESE PLANS. ALL OTHER EXISTING ELEVATIONS ARE FOR REFERENCE TO EXISTING CONDITIONS ONLY. DO NOT USE SPOT ELEVATIONS, FINISH FLOOR ELEVATIONS, ELEVATIONS ON MANHOLES, ELEVATIONS ON SURVEY NAILS, SURVEY HUBS, CONTROL POINTS (HORIZONTAL POINTS PROVIDED) OR ANY OTHER POINTS FOR CONSTRUCTION OTHER THAN THE PROVIDED BENCHMARKS. FAILURE TO UTILIZE AND VERIFY THE PROVIDED BENCHMARKS COULD RESULT IN DAMAGES AND ADDITIONAL COST THAT ARE THE CONTRACTOR'S RESPONSIBILITY.
- THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X BASED ON A SCALED LOCATION ON FIRM PANEL #5101030181D EFFECTIVE DATE DECEMBER 9, 2014. THIS FLOOD DETERMINATION IS NOT A RECOMMENDATION BY DRAPER ADEN ASSOCIATES TO NOT PURCHASE OR PURCHASE FLOOD INSURANCE COVERAGE AND DOES NOT IMPLY THAT THE REFERENCED PROPERTY WILL OR WILL NOT BE FREE FROM FLOOD DAMAGE.
- MATTERS PERTAINING TO ARCHEOLOGICAL OR HISTORIC FEATURES, WETLANDS OR FLOOD CONDITIONS, IF ANY, HAVE NOT BEEN ADDRESSED AS PART OF THIS SURVEY.



|                          |  |                       |  |
|--------------------------|--|-----------------------|--|
| <b>STORM WATER SEWER</b> |  | <b>SANITARY SEWER</b> |  |
| 1                        | STORM MANHOLE<br>TOP= 16.00<br>SW INV.= 13.60 (15" PVC)<br>NE INV.= 13.60 (15" PVC)  | A                     | SANITARY MANHOLE<br>TOP= 16.42<br>CL= 8.53<br>NW INV.= 11.87 (8" CLAY)<br>NE INV.= 8.72 (8" CLAY)<br>SW INV.= 8.61 (8" CLAY)   |
| 2                        | STORM MANHOLE<br>TOP= 15.96<br>SW INV.= 13.44 (15" PVC)<br>SE INV.= 13.36 (15" PVC)  | B                     | SANITARY MANHOLE<br>TOP= 16.23<br>SW INV.= 11.63 (8" IRON)<br>NW INV.= 11.85 (8" PVC)<br>NE INV.= 11.57 (8" IRON)  |
| 3                        | CURB INLET<br>TOP= 15.97<br>CL= 8.89<br>NW INV.= 13.29 (15" PVC)<br>SE INV.= 10.44 (24" CONC.)                                 | C                     | SANITARY MANHOLE<br>TOP= 16.04<br>CL= 11.04<br>SW INV.= 10.96 (8" IRON)<br>NW INV.= 11.45 (8" PVC)<br>N INV.= 11.04 (8" IRON)<br>SE INV.= 10.79 (8" IRON)  |
| 4                        | DROP INLET<br>TOP= 15.44<br>NE INV.= 12.94 (15" CONC.)   | D                     | SANITARY MANHOLE<br>TOP= 15.74<br>CL= 8.52<br>NW INV.= 8.65 (8" IRON)<br>NE INV.= 8.57 (12" PVC)<br>SW INV.= 8.46 (12" PVC)  |
| 5                        | DROP INLET<br>TOP= 15.99<br>CL= 8.09<br>SW INV.= 10.26 (15" CONC.)<br>NW INV.= 9.41 (24" CONC.)<br>NE INV.= 8.41 (36" CONC.)   | E                     | SANITARY MANHOLE<br>TOP= 16.69<br>CL= 8.01<br>NW INV.= 8.08 (8" IRON)<br>NE INV.= 8.07 (12" PVC)<br>SE INV.= 8.52 (8" IRON)<br>SW INV.= 7.94 (12" IRON)  |
| 6                        | STORM MANHOLE<br>TOP= 15.74<br>CL= 7.52<br>SW INV.= 7.57 (36" CONC.)<br>NE INV.= 7.49 (36" CONC.)                              | F                     | SANITARY MANHOLE<br>TOP= 16.16<br>CL= 7.79<br>SW INV.= 7.78 (12" PVC)  |
| 7                        | CURB INLET<br>TOP= 15.32<br>NE INV.= 6.20 (36" CONC.)<br>SW INV.= 10.52 (15" CONC.)<br>SW INV.= 6.20 (36" CONC.)               | G                     | SANITARY MANHOLE<br>TOP= 15.86<br>SE INV.= 9.99 (8" IRON)<br>SW INV.= 9.96 (8" IRON)   |
| 8                        | CURB INLET<br>TOP= 15.38<br>CL= 8.90<br>SE INV.= 9.26 (24" CONC.)  | H                     | SANITARY MANHOLE<br>TOP= 16.04<br>CL= 8.38<br>SW INV.= 8.28 (8" IRON)<br>NW INV.= 12.33 (8" IRON)<br>NE INV.= 8.26 (8" IRON)<br>SE INV.= 12.24 (8" IRON) *UPPER<br>SE INV.= 8.14 (8" IRON) *LOWER<br>*POSSIBLE DROP CONNECTION |
| 9                        | STORM MANHOLE<br>TOP= 15.12<br>CL= 5.40<br>SW INV.= 5.89 (36" CONC.)<br>NW INV.= 6.95 (24" CONC.)<br>SE INV.= 4.80 (36" CONC.) | I                     | SANITARY MANHOLE<br>TOP= 15.91<br>NW INV.= 11.89 (8" IRON)<br>NE INV.= 8.37 (8" IRON)<br>SW INV.= 8.23 (8" CLAY)   |
| 10                       | STORM MANHOLE<br>TOP= 15.12<br>CL= 5.40<br>SW INV.= 5.89 (36" CONC.)<br>NW INV.= 6.95 (24" CONC.)<br>SE INV.= 4.80 (36" CONC.) | J                     | SANITARY MANHOLE<br>TOP= 16.04<br>CL= 11.42<br>SW INV.= 11.24 (8" CLAY)  |
| 11                       | CURB INLET<br>TOP= 15.76<br>CL= 9.70<br>NW INV.= 10.78 (15" CONC.)<br>SE INV.= 9.70 (15" CONC.)                                | K                     | SANITARY MANHOLE<br>TOP= 15.87<br>CL= 8.53<br>NW INV.= 11.87 (8" CLAY)<br>NE INV.= 8.72 (8" CLAY)<br>SW INV.= 8.61 (8" CLAY)   |
| 12                       | DROP INLET<br>TOP= 15.74<br>NW INV.= 9.39 (15" CONC.)<br>NE INV.= 9.34 (15" CONC.)   | L                     | SANITARY MANHOLE<br>TOP= 15.82<br>CL= 8.52<br>NW INV.= 10.83 (8" CLAY)<br>NE INV.= 8.57 (8" CLAY)<br>SW INV.= 8.52 (8" IRON)   |
| 13                       | CURB INLET<br>TOP= 16.06<br>SW INV.= 7.42 (15" CONC.)<br>NE INV.= 7.41 (15" CONC.)<br>*STRUCTURE TOP IS DAMAGED                | M                     | SANITARY MANHOLE<br>TOP= 15.58<br>CL= 8.68<br>NW INV.= 11.24 (8" CLAY)<br>NE INV.= 8.71 (8" CLAY)<br>SW INV.= 8.67 (8" CLAY)   |
|                          |  | N                     | SANITARY MANHOLE<br>TOP= 15.46<br>CL= 8.66<br>NE INV.= 8.59 (8" CLAY)<br>SE INV.= 10.50 (8" PVC)<br>SW INV.= 8.56 (8" CLAY)  |
|                          |  | O                     | SANITARY MANHOLE<br>TOP= 15.45<br>CL= 9.05<br>NW INV.= 9.35 (8" CLAY)<br>NE INV.= 8.99 (8" CLAY)<br>SW INV.= 9.01 (8" CLAY)  |
|                          |  | P                     | SANITARY MANHOLE<br>TOP= 15.40<br>CL= 9.50<br>NW INV.= 9.82 (8" CLAY)<br>NE INV.= 9.49 (8" CLAY)<br>SW INV.= 9.47 (8" CLAY)  |
|                          |  | Q                     | SANITARY MANHOLE<br>TOP= 15.35<br>CL= 10.98<br>NW INV.= 10.93 (UNK.)<br>NE INV.= 10.98 (8" CLAY)<br>SW INV.= 10.74 (8" CLAY)   |
|                          |  | R                     | SANITARY MANHOLE<br>TOP= 15.68<br>CL= 9.12<br>SW INV.= 11.58 (8" CLAY)<br>NW INV.= 9.08 (8" IRON)<br>NE INV.= 8.68 (8" CLAY)   |
|                          |  | S                     | SANITARY MANHOLE<br>TOP= 16.04<br>CL= 11.42<br>SW INV.= 11.24 (8" CLAY)  |
|                          |  | T                     | SANITARY MANHOLE<br>TOP= 16.04<br>CL= 11.42<br>SW INV.= 11.24 (8" CLAY)  |

DRAPER ADEN ASSOCIATES REVIEW

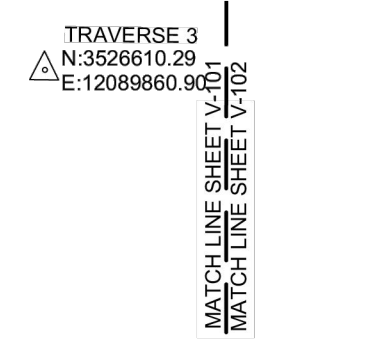
THESE PLANS HAVE BEEN SUBJECT TO TECHNICAL AND QUALITY REVIEWS BY:

|   |  |                    |
|---|--|--------------------|
| NAME: ROBERT SHERMAN<br>SURVEY PARTY CHIEF            | <i>Robert Sherman</i><br>SIGNATURE     | 10/07/2022<br>DATE |
| NAME: TIMOTHY INABINET<br>SUBSURFACE UTILITY ENGINEER | <i>Timothy E. Inabiet</i><br>SIGNATURE | 10/07/2022<br>DATE |
| NAME: JACOB BLODGETT<br>PROJECT MANAGER               | <i>Jacob Blodgett</i><br>SIGNATURE     | 10/07/2022<br>DATE |
| NAME: BARRY M. BROWN, L.S.<br>QUALITY REVIEWER        | <i>Barry M. Brown</i><br>SIGNATURE     | 10/07/2022<br>DATE |

SURVEYOR'S CERTIFICATE:

THIS COMPILED TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF BARRY M. BROWN, L.S. FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE ORIGINAL DATA WAS OBTAINED FROM JUNE 24, 2022 - JULY 25, 2022, AND DATA FROM A DRAWING BY MIDATLANTIC SURVEYING AND LAND DESIGN, INC. TITLED "MARSHALL COURT II LANDSCAPE SURVEY TOPOGRAPHY" WITH A REVISION DATE OF MAY 13, 2013; AND THAT THIS MAP MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

*Barry M. Brown* 10/07/2022  
BARRY M. BROWN, L.S. DATE

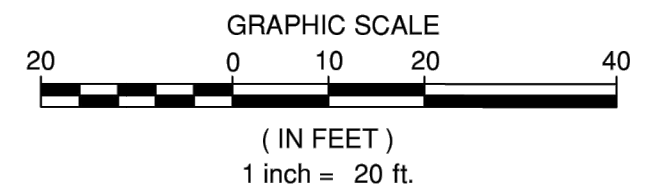


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TOPOGRAPHIC SURVEY  
MARSHALL COURTS APARTMENTS,  
NINHRA, PHASE 7  
NEWPORT NEWS, VIRGINIA

|                 |                |
|-----------------|----------------|
| DESIGNED BY:    |                |
| DRAWN BY:       |                |
| CHECKED BY:     |                |
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| DATE:           | AUGUST 7, 2024 |
| PROJECT NUMBER: | 2100194        |
|                 | <b>V-101</b>   |



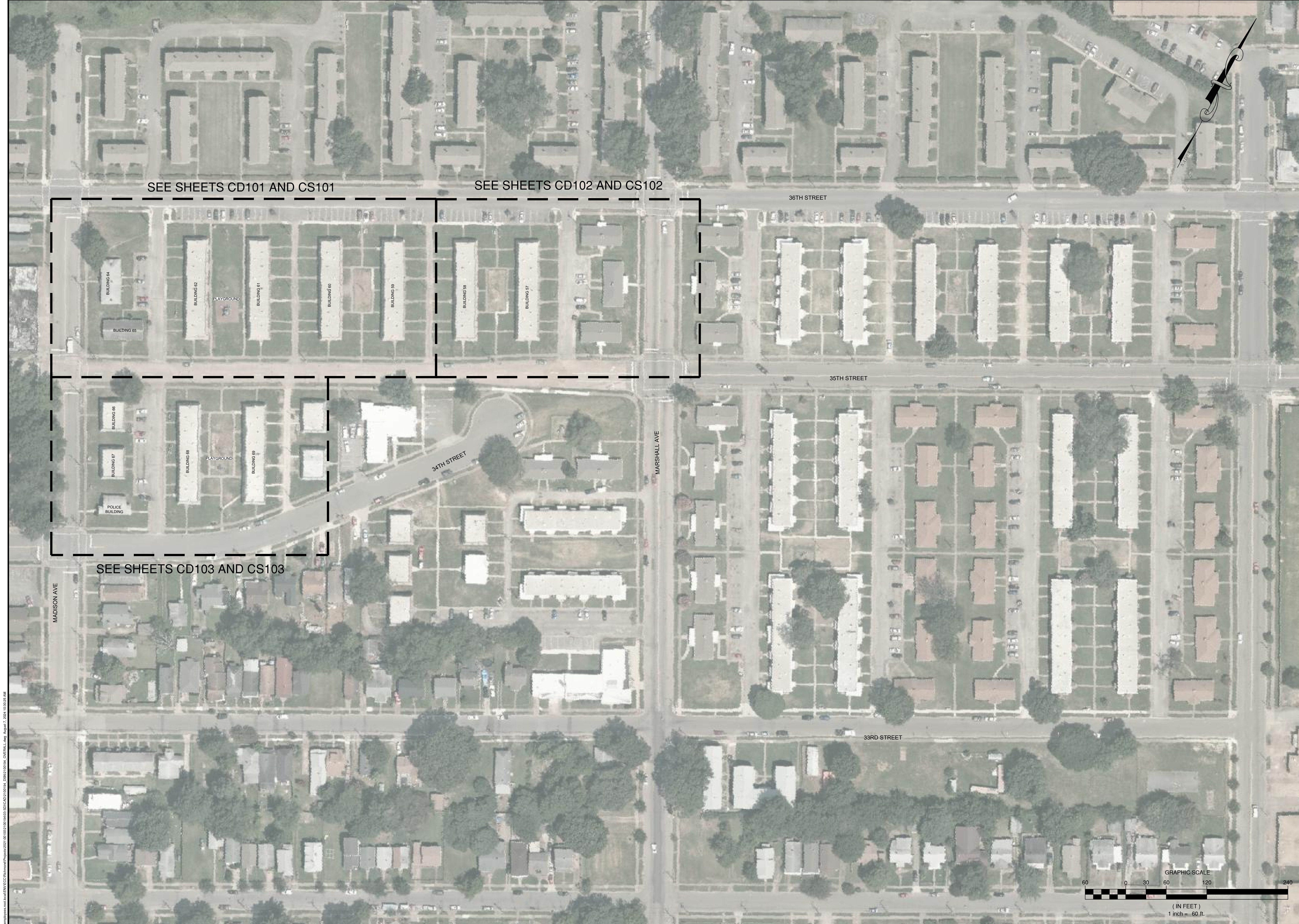








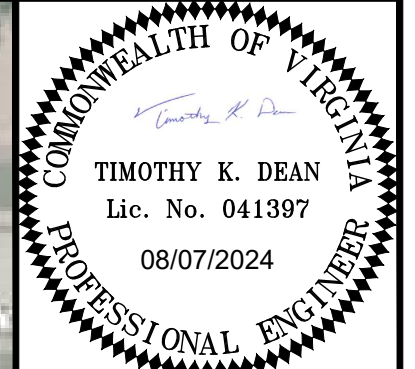




SEE SHEETS CD101 AND CS101

SEE SHEETS CD102 AND CS102

SEE SHEETS CD103 AND CS103



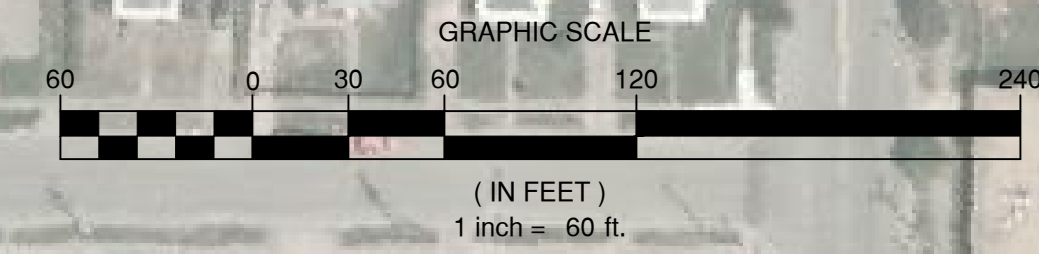
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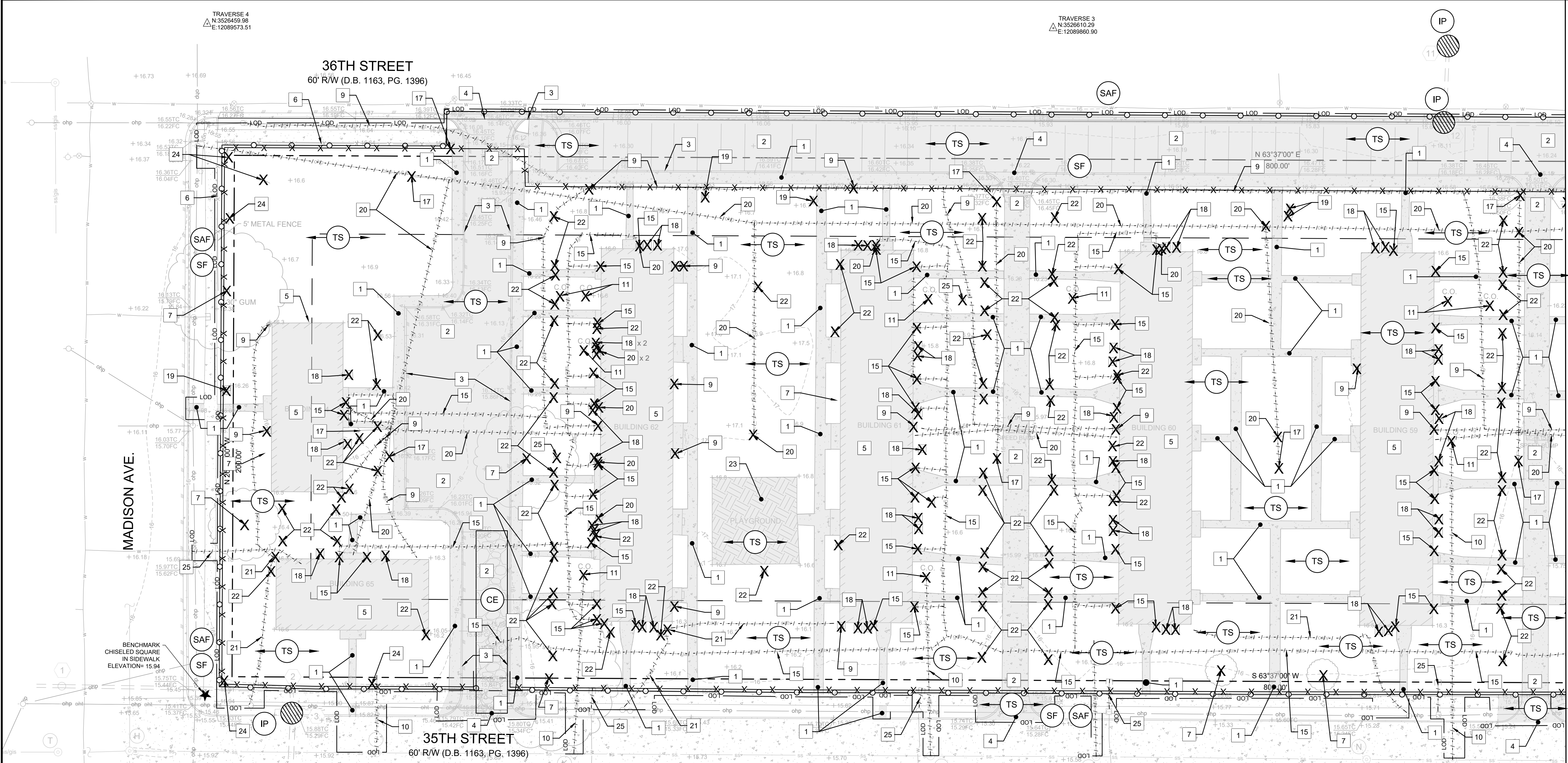
**OVERALL LAYOUT AND SHEET INDEX**  
**MARSHALL COURTS APARTMENTS,**  
**NNHRA, PHASE 7**  
 NEWPORT NEWS, VIRGINIA

|                         |
|-------------------------|
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| DRAWN BY:               |
| CHECKED BY:             |
| SCALE: 1" = 20'         |
| DATE: AUGUST 7, 2024    |
| PROJECT NUMBER: 2100194 |
| <b>C-100</b>            |



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MATCHLINE (SEE SHEET CD102)

MATCHLINE (SEE SHEET CD103)

**# DEMOLITION NOTES**

1. REMOVE CONCRETE / SIDEWALK
2. REMOVE PAVEMENT
3. REMOVE CURB
4. REMOVE CURB AND CONCRETE ENTRANCE
5. REMOVE BUILDING
6. REMOVE FENCE
7. REMOVE TREE / BUSH
8. REMOVE LANDSCAPE
9. REMOVE TELEPHONE LINE / STRUCTURE
10. REMOVE SANITARY SEWER PIPE
11. REMOVE CLEAN OUT
12. REMOVE CLOTHES LINE
13. REMOVE CONCRETE PAD
14. REMOVE CURB DROP INLET
15. REMOVE GAS STRUCTURE & ASSOCIATED PIPE
16. REMOVE UNDERGROUND POWER LINE & ASSOCIATED STRUCTURE
17. REMOVE GUY WIRE
18. REMOVE HVAC AND ASSOCIATED PROTECTIVE FENCING AND CONCRETE PAD
19. REMOVE MAILBOX AND ASSOCIATED CONCRETE
20. REMOVE OVERHEAD WIRE AND ASSOCIATED UTILITY STRUCTURE
21. REMOVE CABLE LINE / STRUCTURE
22. REMOVE POST
23. REMOVE PLAYGROUND
24. REMOVE SIGN
25. REMOVE WATER METER / WATER LINE

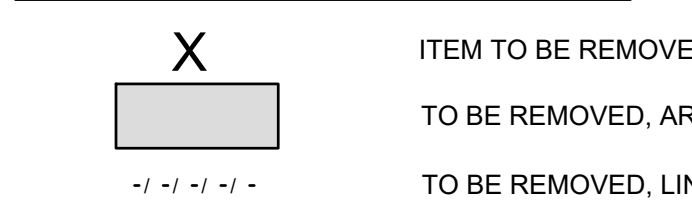
**GENERAL SHEET NOTES:**

1. SEE SHEET CD102 FOR EXISTING SANITARY SEWER SCHEDULE.
2. SEE SHEET CD103 FOR EXISTING STORM SEWER SCHEDULE.
3. CONTRACTOR TO VERIFY THE PRESENCE OF HAZARDOUS MATERIALS AND PRIOR TO REMOVAL, COMPLETE NECESSARY ABATEMENT OF ANY HAZMAT. COORDINATE WITH OWNER, ARCHITECT, AND ENGINEER.
4. CONTRACTOR TO COORDINATE WITH NEWPORT NEWS WATER WORKS PRIOR TO DEMOLITION ACTIVITIES.

**EROSION CONTROL SEQUENCE OF CONSTRUCTION**

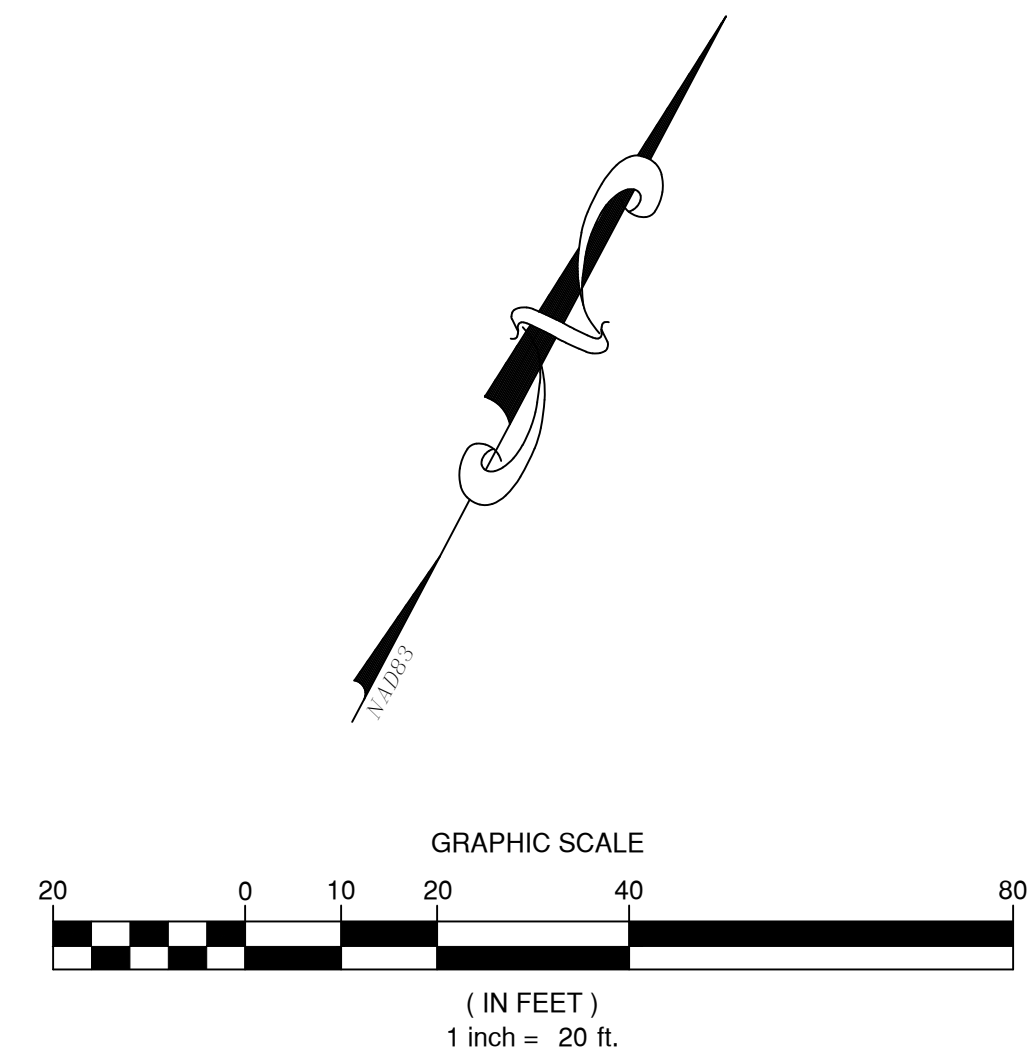
1. OBTAIN ALL APPLICABLE LOCAL, STATE AND FEDERAL PERMITS.
2. INSTALL TEMPORARY STONE CONSTRUCTION ENTRANCE
3. INSTALL THE STORM DRAIN INLET PROTECTION AND SILT FENCE.
4. CALL (757) 933-2311 TO REQUEST A PRE-CONSTRUCTION MEETING WITH CITY OFFICIALS 48 HOURS PRIOR TO DEMOLITION.
5. BEGIN SITE DEMOLITION ACTIVITIES INCLUDING SELECTIVE SITE DEMOLITION ACTIVITIES PER COORDINATION WITH APPROPRIATE AUTHORITIES AND UTILITY OWNERS. PROVIDE TEMPORARY STABILIZATION WITH TEMPORARY SEEDING.
6. ADJUST ALL EROSION CONTROL DEVICES AS NECESSARY (INCLUDING SILT FENCE, AND INLET PROTECTION) IN ORDER TO MAINTAIN PROPER FUNCTION. EACH DEVICE SHALL BE MAINTAINED AS NECESSARY TO PROMOTE CORRECT OPERATION.
7. CONTRACTOR TO HAUL ON TOP SOIL AS NEEDED AND SPREAD DAILY. NO STOCK PILING OF SOIL WILL BE REQUIRED BEYOND THAT WHICH ACCUMULATES ON ONE DAY.
8. MAINTAIN EROSION CONTROL DEVICES DURING DEMOLITION AND GRADING.
9. STABILIZE SITE WITH PERMANENT SEEDING AND MULCHING DURING AND AT THE CONCLUSION OF CONSTRUCTION PER VESCH STDS.
10. AFTER ALL UPSLOPE AREAS HAVE BEEN STABILIZED, AND ONLY WITH THE APPROVAL OF THE CITY OF NEWPORT NEWS EROSION CONTROL INSPECTOR, REMOVE ALL REMAINING EROSION CONTROL DEVICES.

**DEMOLITION LEGEND**



**EROSION & SEDIMENT CONTROL LEGEND**

| No.  | TITLE                                 | KEY | SYMBOL               |
|------|---------------------------------------|-----|----------------------|
| 3.01 | SAFETY FENCE                          | SAF |                      |
| 3.02 | TEMPORARY STONE CONSTRUCTION ENTRANCE | CE  |                      |
| 3.05 | SILT FENCE                            | SF  |                      |
| 3.07 | STORM DRAIN INLET PROTECTION          | IP  |                      |
| 3.31 | TEMPORARY SEEDING                     | TS  | ALL APPLICABLE AREAS |
| 3.39 | DUST CONTROL                          | DC  | ALL APPLICABLE AREAS |



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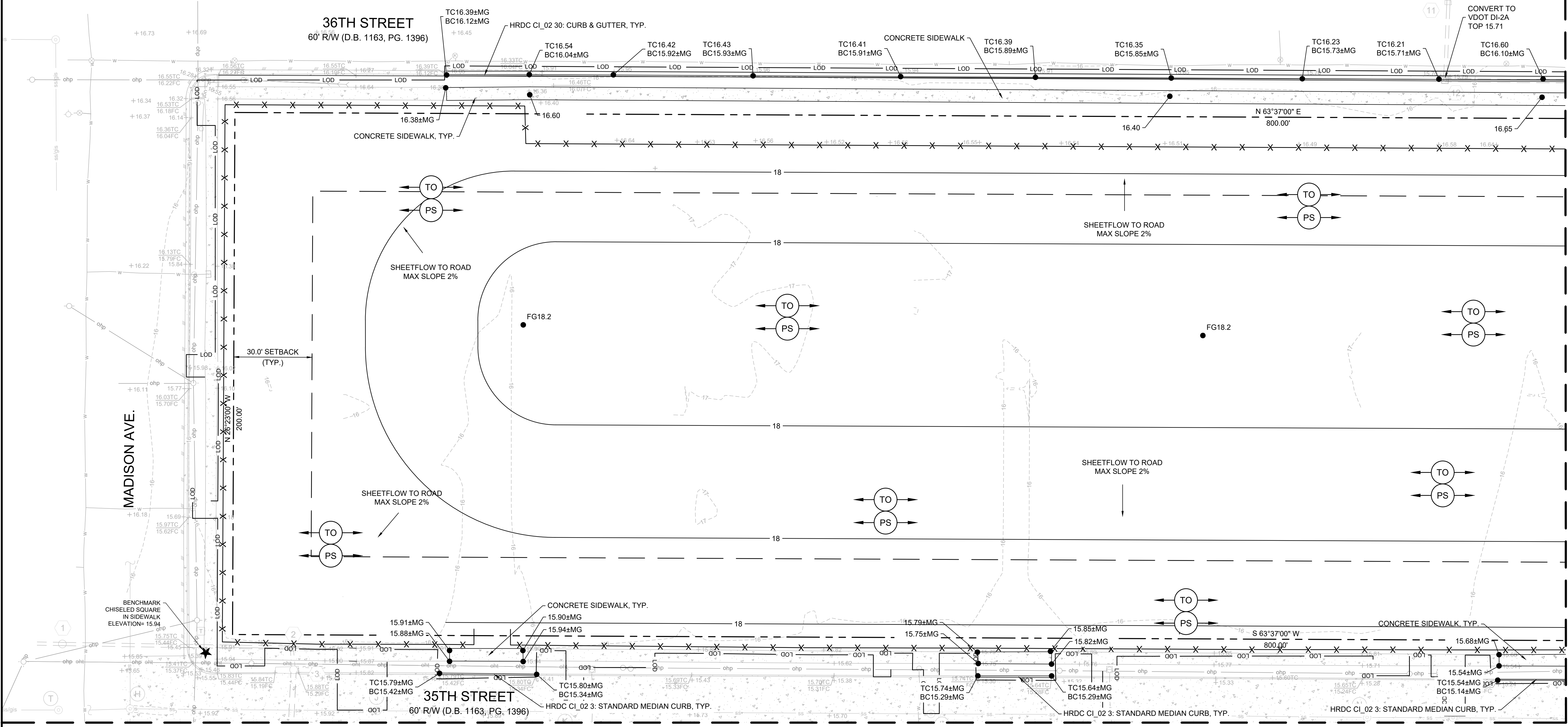






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TRAVERSE 3  
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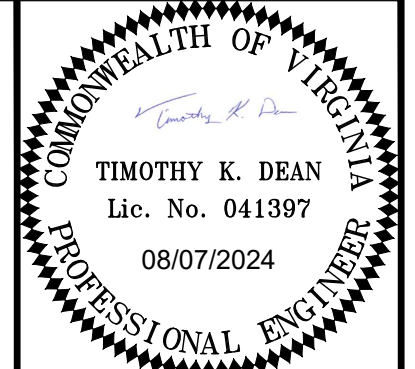
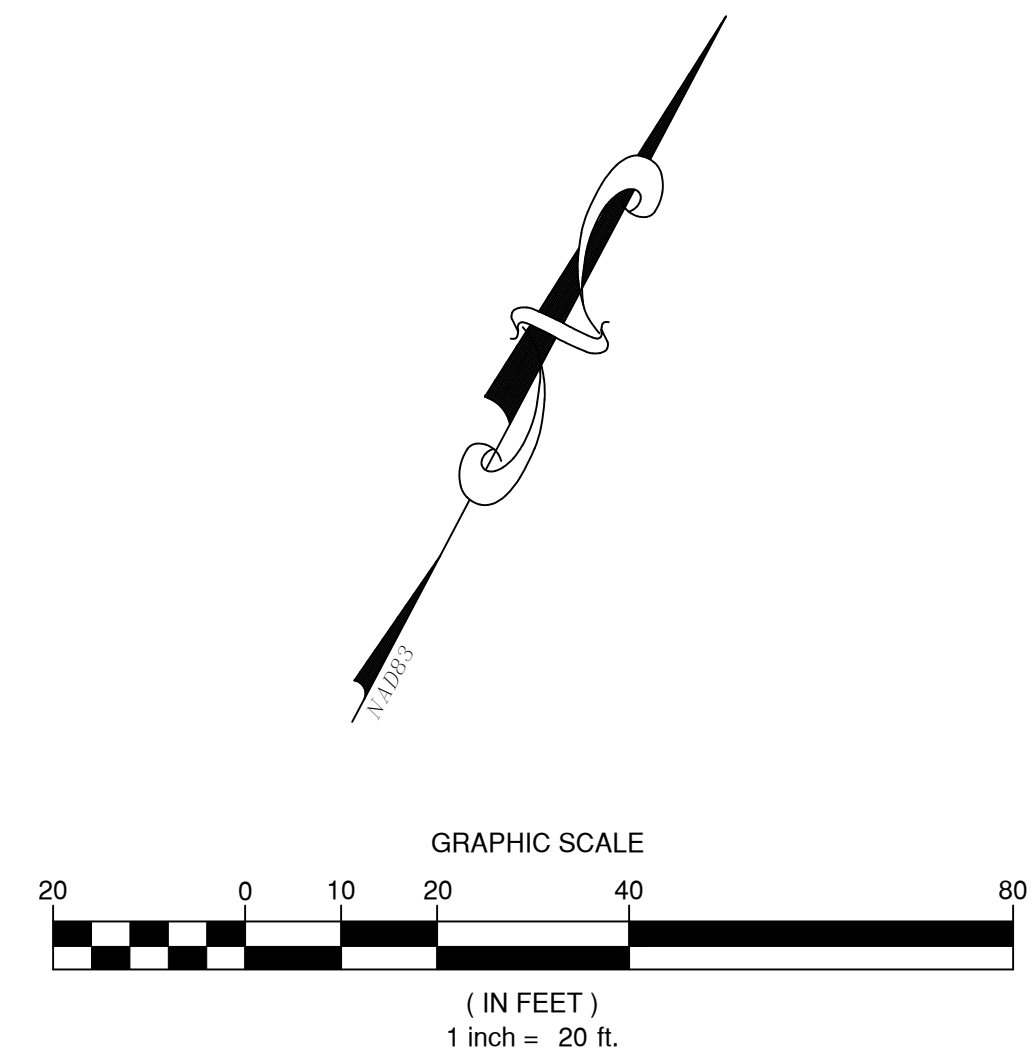


MATCHLINE (SEE SHEET CS102)

MATCHLINE (SEE SHEET CS103)

**EROSION & SEDIMENT CONTROL LEGEND**

| No.  | TITLE             | KEY  | SYMBOL               |
|------|-------------------|------|----------------------|
| 3.30 | TOPSOILING        | (TO) | ALL APPLICABLE AREAS |
| 3.32 | PERMANENT SEEDING | (PS) | ALL APPLICABLE AREAS |



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**LAYOUT AND GRADING PLAN  
 MARSHALL COURTS APARTMENTS,  
 NNHRA, PHASE 7  
 NEWPORT NEWS, VIRGINIA**

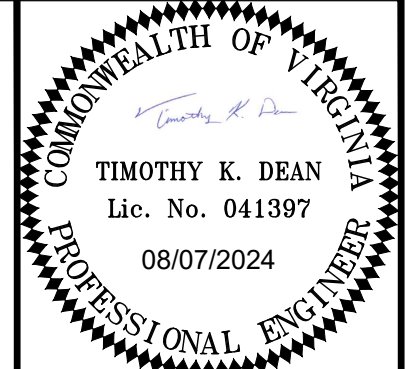
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| DRAWN BY:       |                |
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| DATE:           | AUGUST 7, 2024 |
| PROJECT NUMBER: | 2100194        |
| <b>CS101</b>    |                |

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 Date: 8/7/2024 10:53:00 AM









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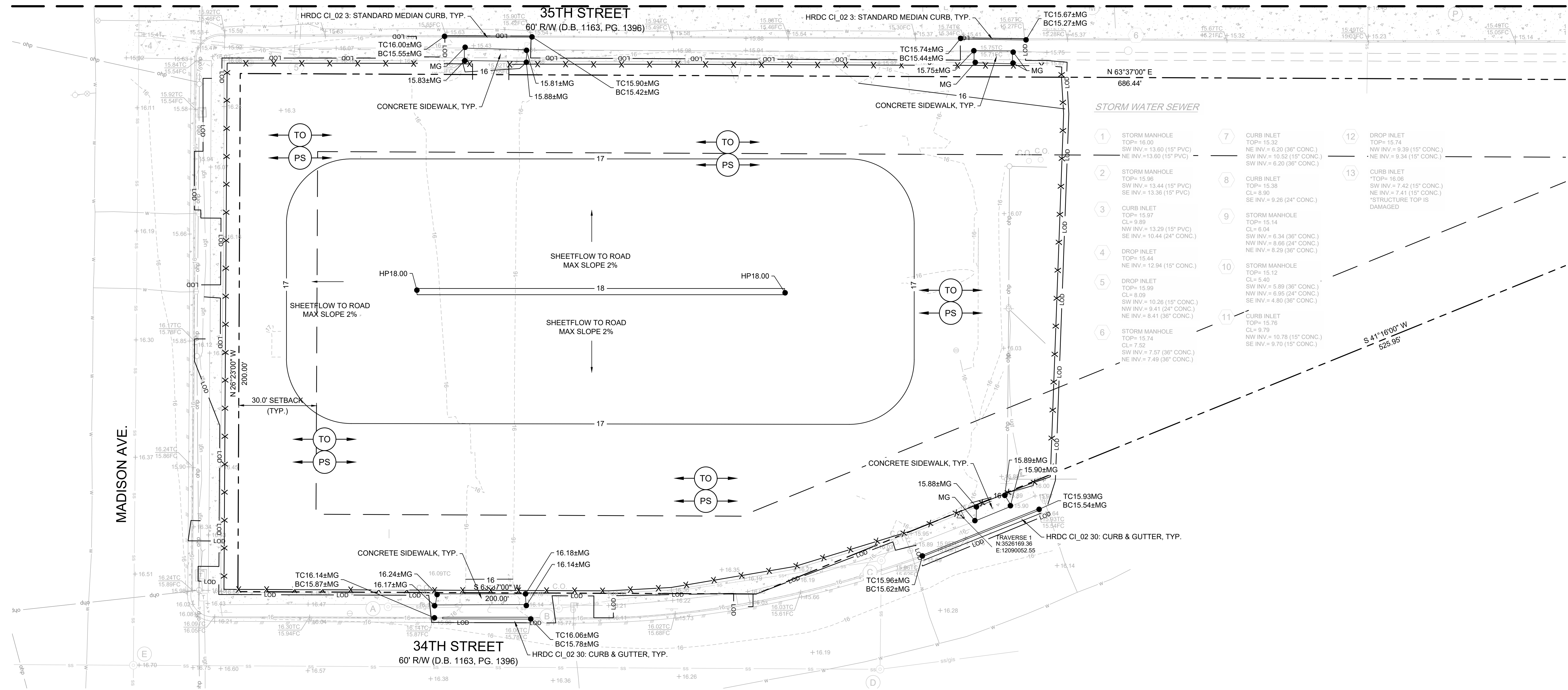
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**LAYOUT AND GRADING PLAN  
 MARSHALL COURTS APARTMENTS,  
 NNHRA, PHASE 7  
 NEWPORT NEWS, VIRGINIA**

| REVISIONS       |                |
|-----------------|----------------|
| DESIGNED BY:    |                |
| DRAWN BY:       |                |
| CHECKED BY:     |                |
| SCALE:          | 1" = 20'       |
| DATE:           | AUGUST 7, 2024 |
| PROJECT NUMBER: | 2100194        |
| <b>CS103</b>    |                |

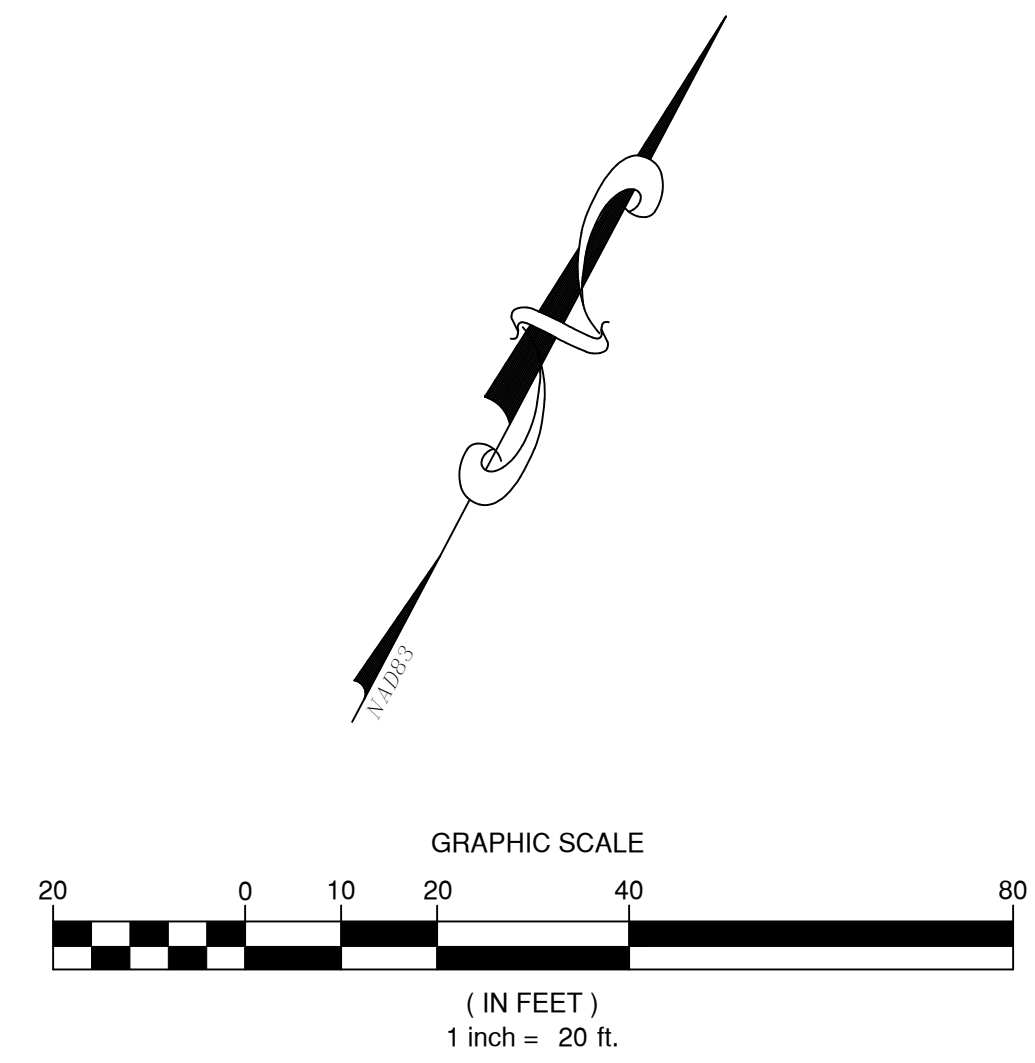
MATCHLINE (SEE SHEET CS101)



- STORM WATER SEWER**
- 1 STORM MANHOLE  
TOP= 16.00  
SW INV.= 13.60 (15" PVC)  
NE INV.= 13.60 (15" PVC)
  - 2 STORM MANHOLE  
TOP= 15.96  
SW INV.= 13.44 (15" PVC)  
SE INV.= 13.36 (15" PVC)
  - 3 CURB INLET  
TOP= 15.97  
CL= 8.89  
NW INV.= 13.29 (15" PVC)  
SE INV.= 10.44 (24" CONC.)
  - 4 DROP INLET  
TOP= 15.44  
NE INV.= 12.94 (15" CONC.)
  - 5 DROP INLET  
TOP= 15.99  
CL= 8.09  
SW INV.= 10.28 (15" CONC.)  
NW INV.= 9.41 (24" CONC.)  
NE INV.= 8.41 (36" CONC.)
  - 6 STORM MANHOLE  
TOP= 15.74  
CL= 7.52  
SW INV.= 7.57 (36" CONC.)  
NE INV.= 7.49 (36" CONC.)
  - 7 CURB INLET  
TOP= 15.32  
NE INV.= 6.20 (36" CONC.)  
SW INV.= 10.52 (15" CONC.)  
SE INV.= 9.26 (24" CONC.)
  - 8 CURB INLET  
TOP= 15.38  
CL= 8.90  
SE INV.= 9.26 (24" CONC.)
  - 9 STORM MANHOLE  
TOP= 15.14  
CL= 6.04  
SW INV.= 6.34 (36" CONC.)  
NW INV.= 9.36 (24" CONC.)  
NE INV.= 8.29 (36" CONC.)
  - 10 STORM MANHOLE  
TOP= 15.12  
CL= 5.40  
SW INV.= 5.89 (36" CONC.)  
NW INV.= 6.95 (24" CONC.)  
SE INV.= 4.80 (36" CONC.)
  - 11 CURB INLET  
TOP= 15.76  
CL= 9.79  
NW INV.= 10.78 (15" CONC.)  
SE INV.= 9.70 (15" CONC.)
  - 12 DROP INLET  
TOP= 15.74  
NW INV.= 9.39 (15" CONC.)  
NE INV.= 9.34 (15" CONC.)
  - 13 CURB INLET  
TOP= 16.06  
SW INV.= 7.42 (15" CONC.)  
NE INV.= 7.41 (15" CONC.)  
\*STRUCTURE TOP IS DAMAGED

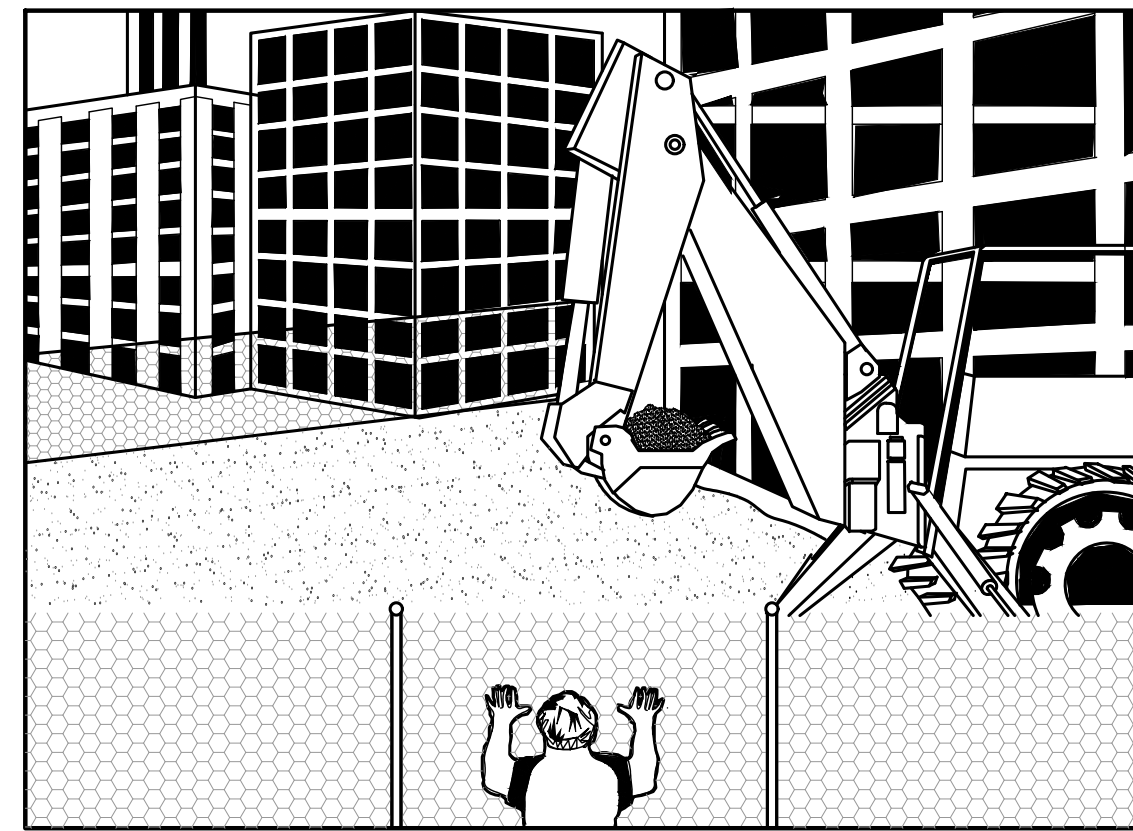
**EROSION & SEDIMENT CONTROL LEGEND**

| No.  | TITLE             | KEY  | SYMBOL               |
|------|-------------------|------|----------------------|
| 3.30 | TOPSOILING        | (TO) | ALL APPLICABLE AREAS |
| 3.32 | PERMANENT SEEDING | (PS) | ALL APPLICABLE AREAS |

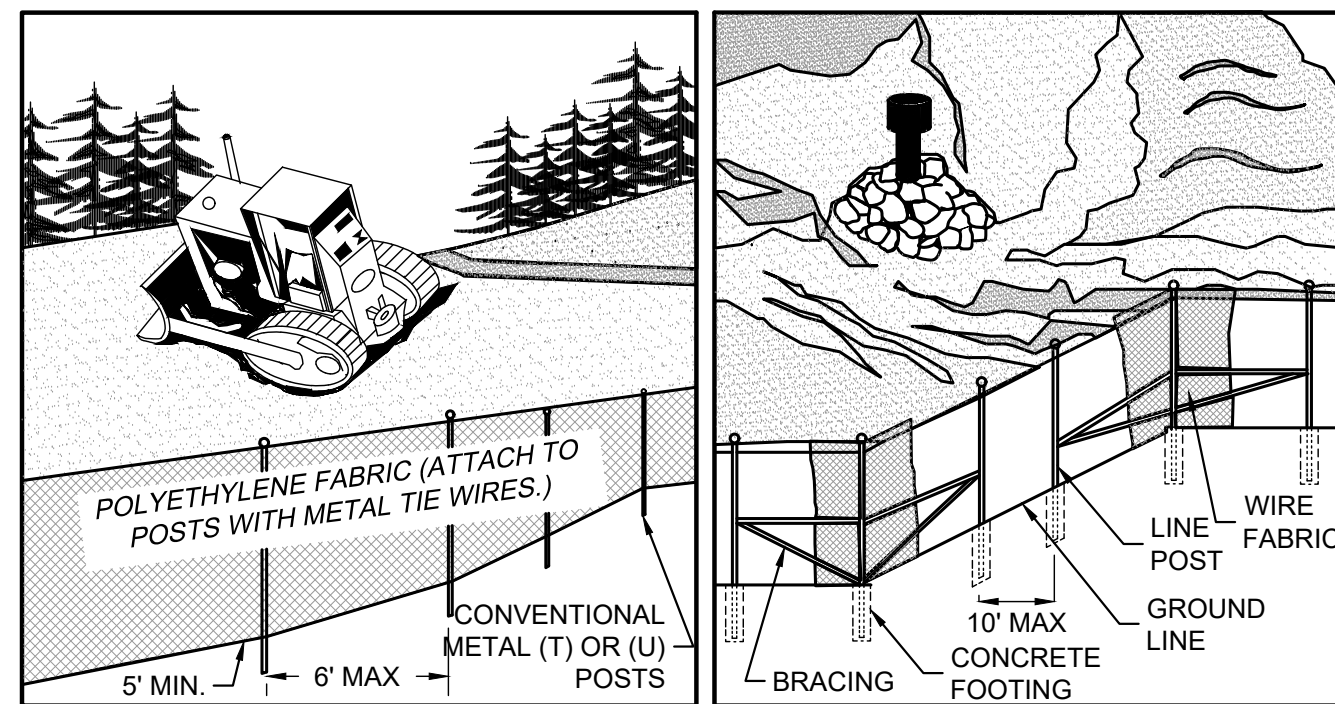


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 Project: MARSHALL COURTS APARTMENTS, NNHRA, PHASE 7  
 Sheet: CS103





PERSPECTIVE VIEW

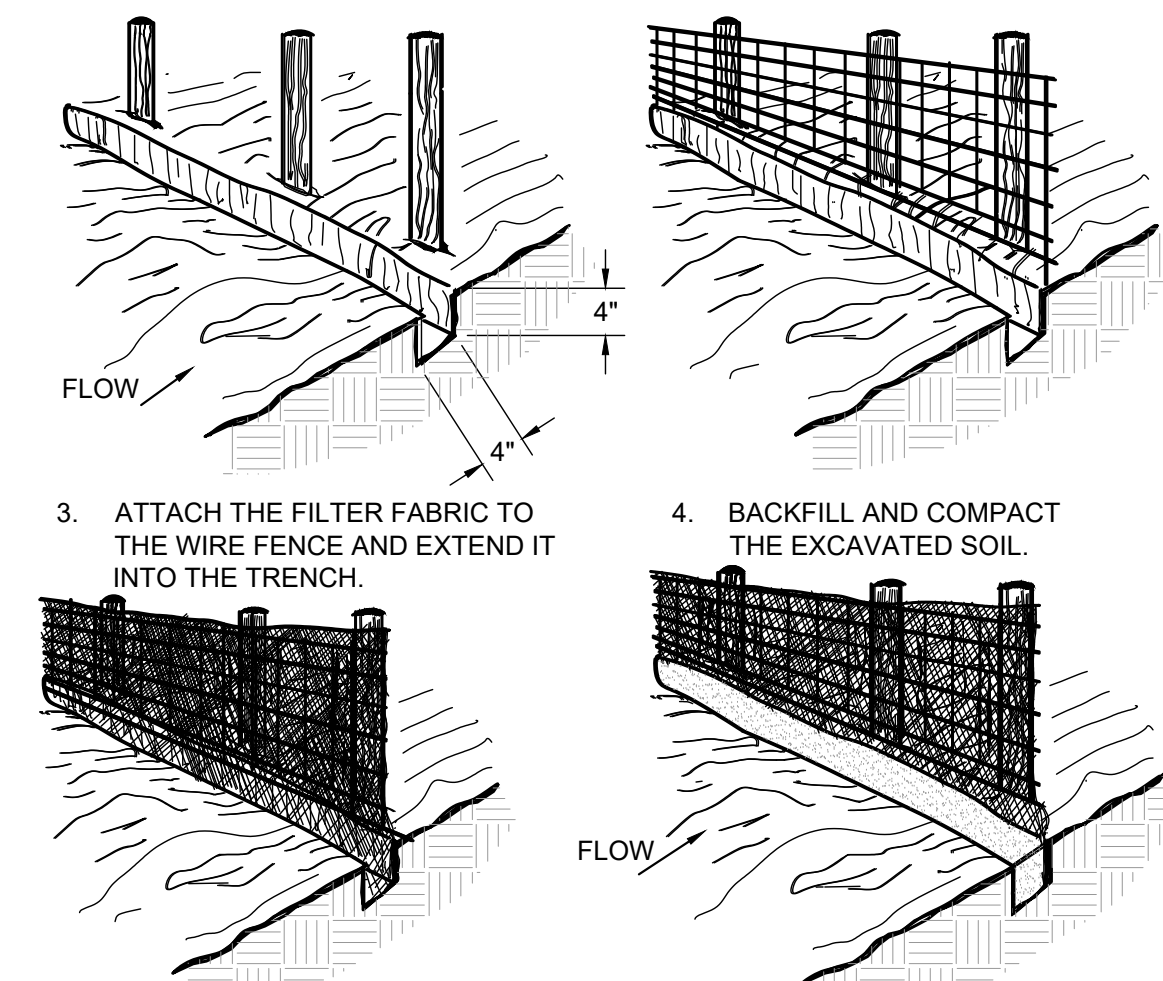


PERSPECTIVE VIEW  
PLASTIC FENCE

PERSPECTIVE VIEW  
METAL FENCE

SAF SAFETY FENCE DETAIL  
NOT TO SCALE

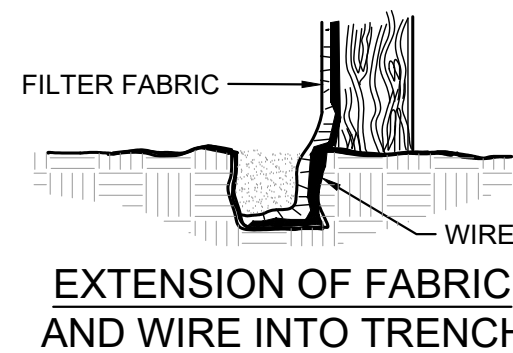
1. SET POSTS AND EXCAVATE A 4" X 4" TRENCH UPSLOPE ALONG THE LINE OF POSTS.
2. STAPLE WIRE FENCING TO THE POSTS.



CONSTRUCTION OF A SILT FENCE  
(WITH WIRE SUPPORT)

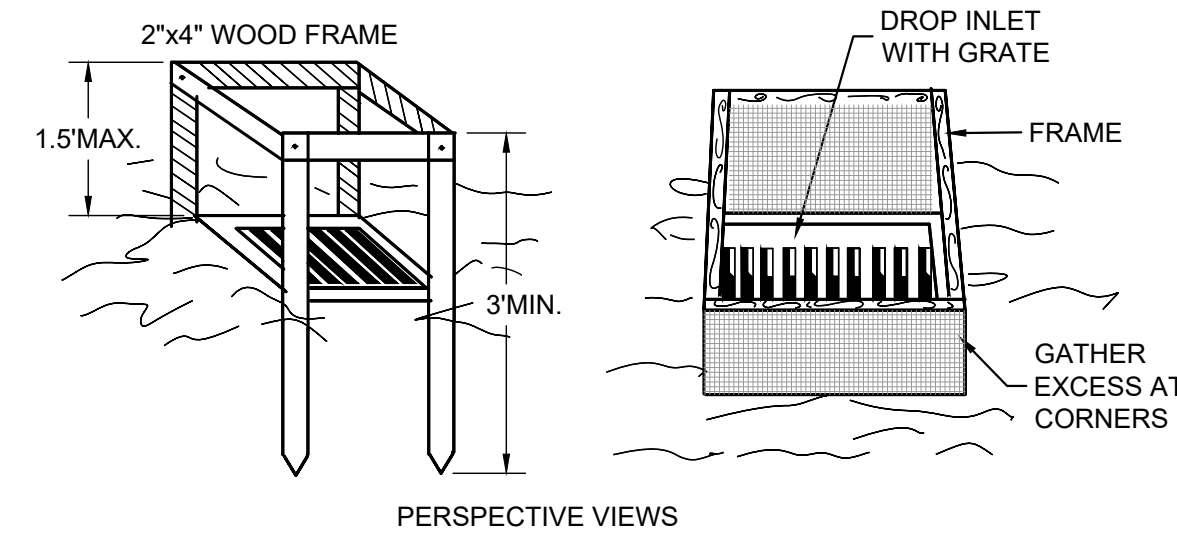
NOTE:

SILT FENCES SHOULD BE PLACED PERPENDICULAR TO ANTICIPATED FLOW PATTERNS AND TURNED UPSLOPE 45 DEGREES AT THE TERMINUS.

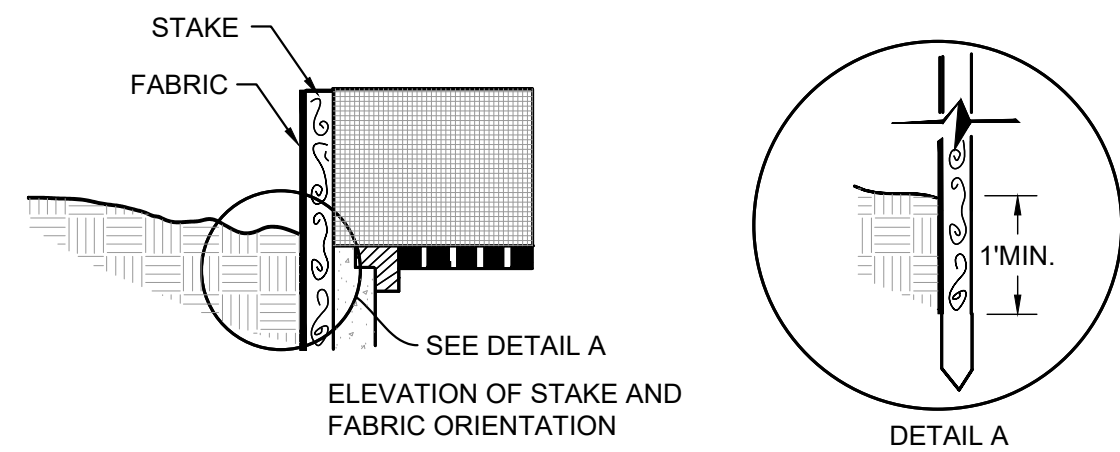


EXTENSION OF FABRIC AND WIRE INTO TRENCH

SF SILT FENCE INSTALLATION DETAILS WITH WIRE BACKING  
NOT TO SCALE



PERSPECTIVE VIEWS



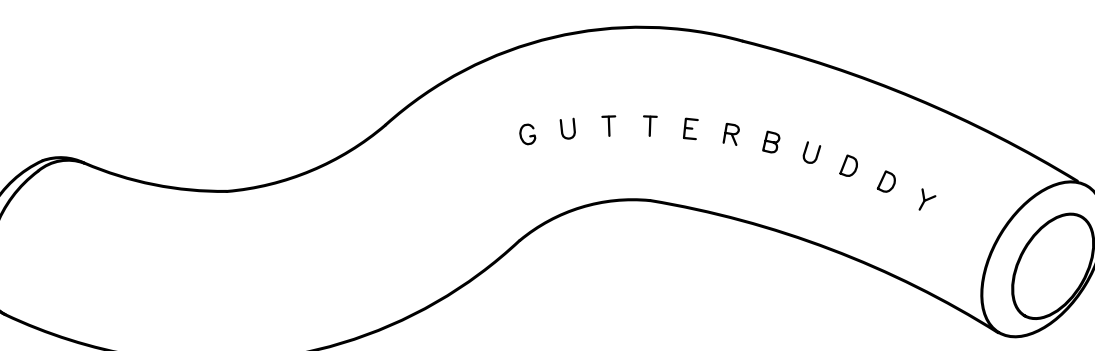
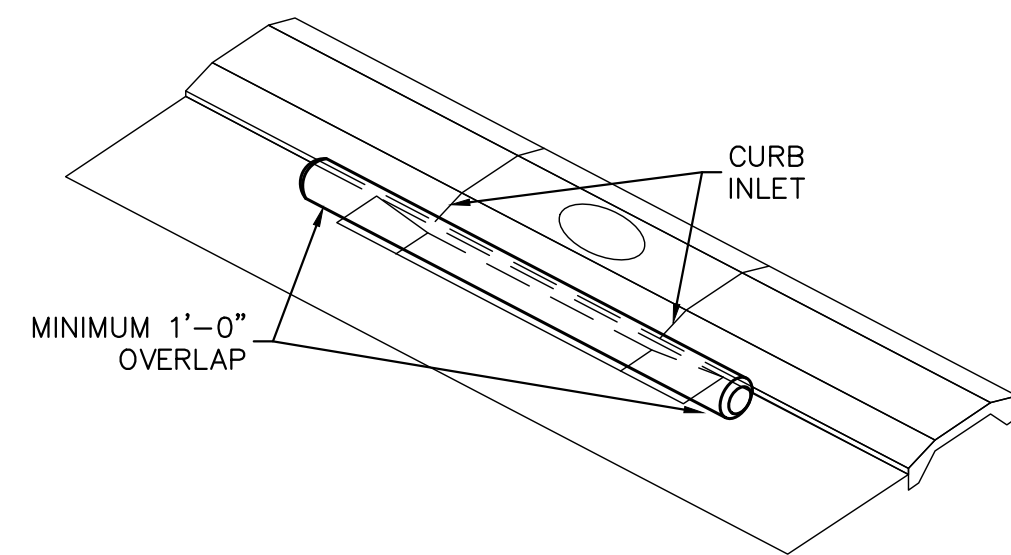
ELEVATION OF STAKE AND FABRIC ORIENTATION

DETAIL A

SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 5%) WHERE THE INLET SHEET OR OVERLAND FLOWS (NOT EXCEEDING 1 C.F.S.) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

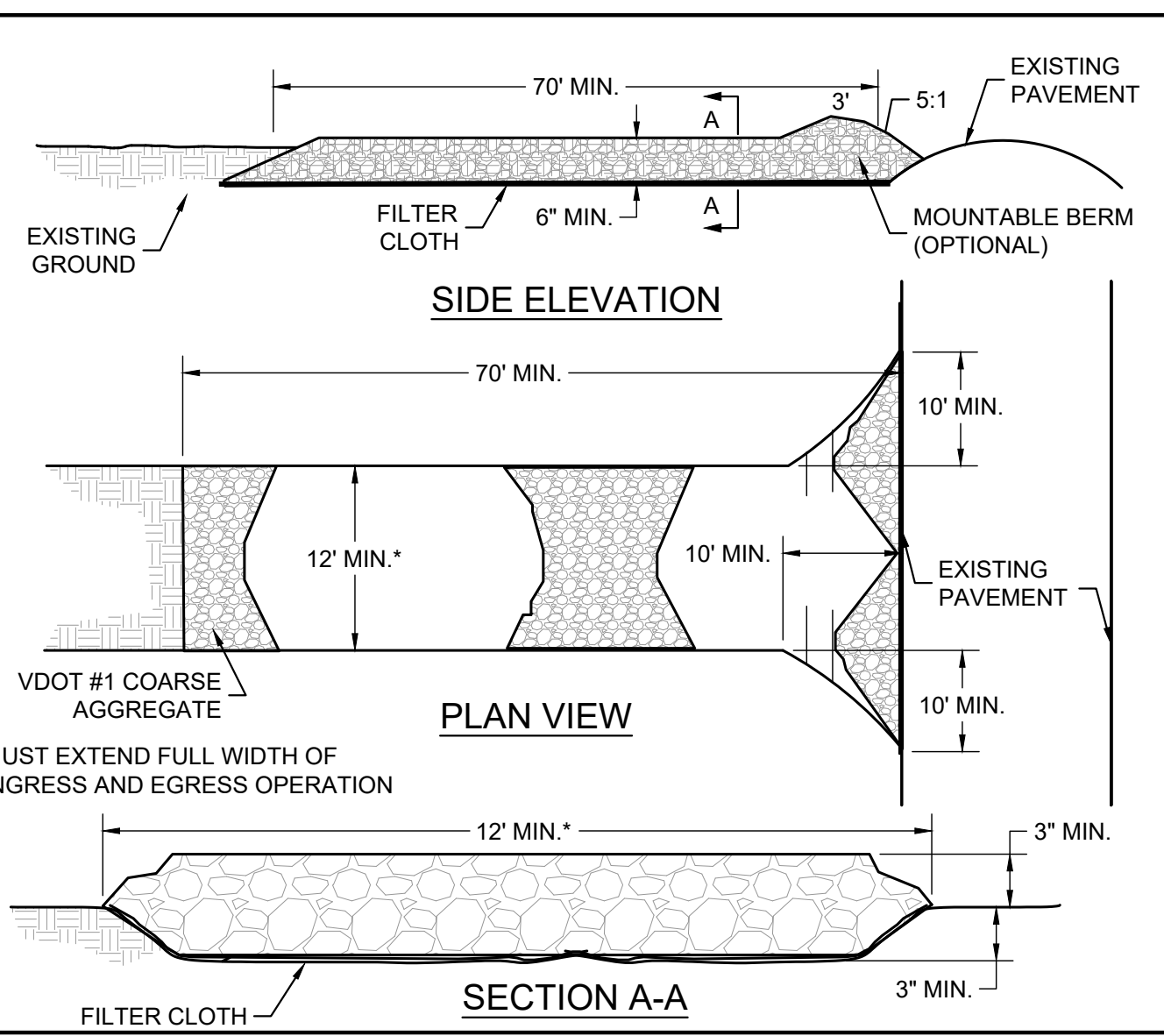
IP SILT FENCE DROP INLET PROTECTION DETAIL  
NOT TO SCALE



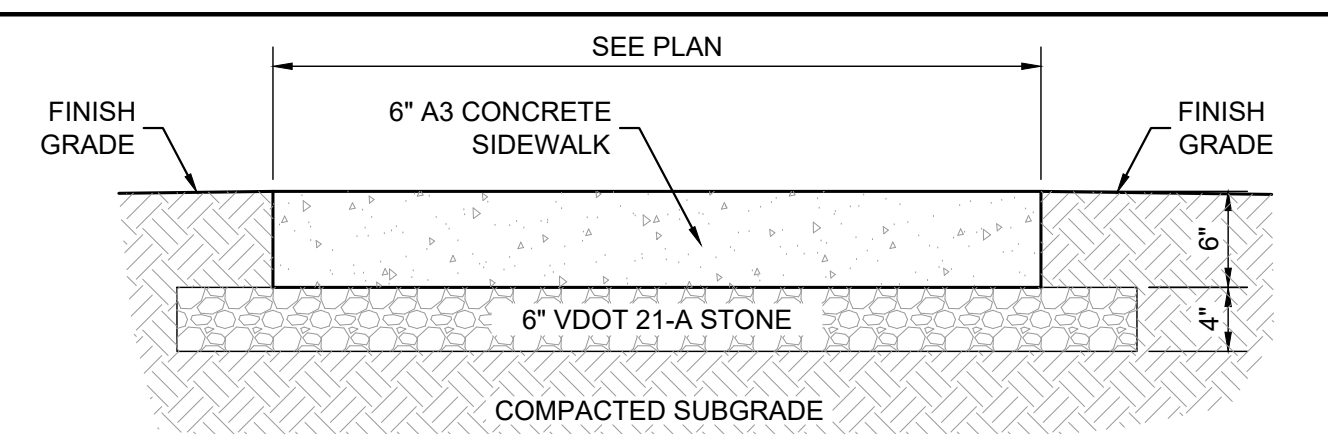
GUTTER BUDDY INLET FILTER DETAIL  
NOT TO SCALE

NOTE:

THE USE OF ANY PROPRIETARY EROSION AND SEDIMENT CONTROL MEASURES TO BE APPROVED BY THE ENVIRONMENTAL INSPECTOR.

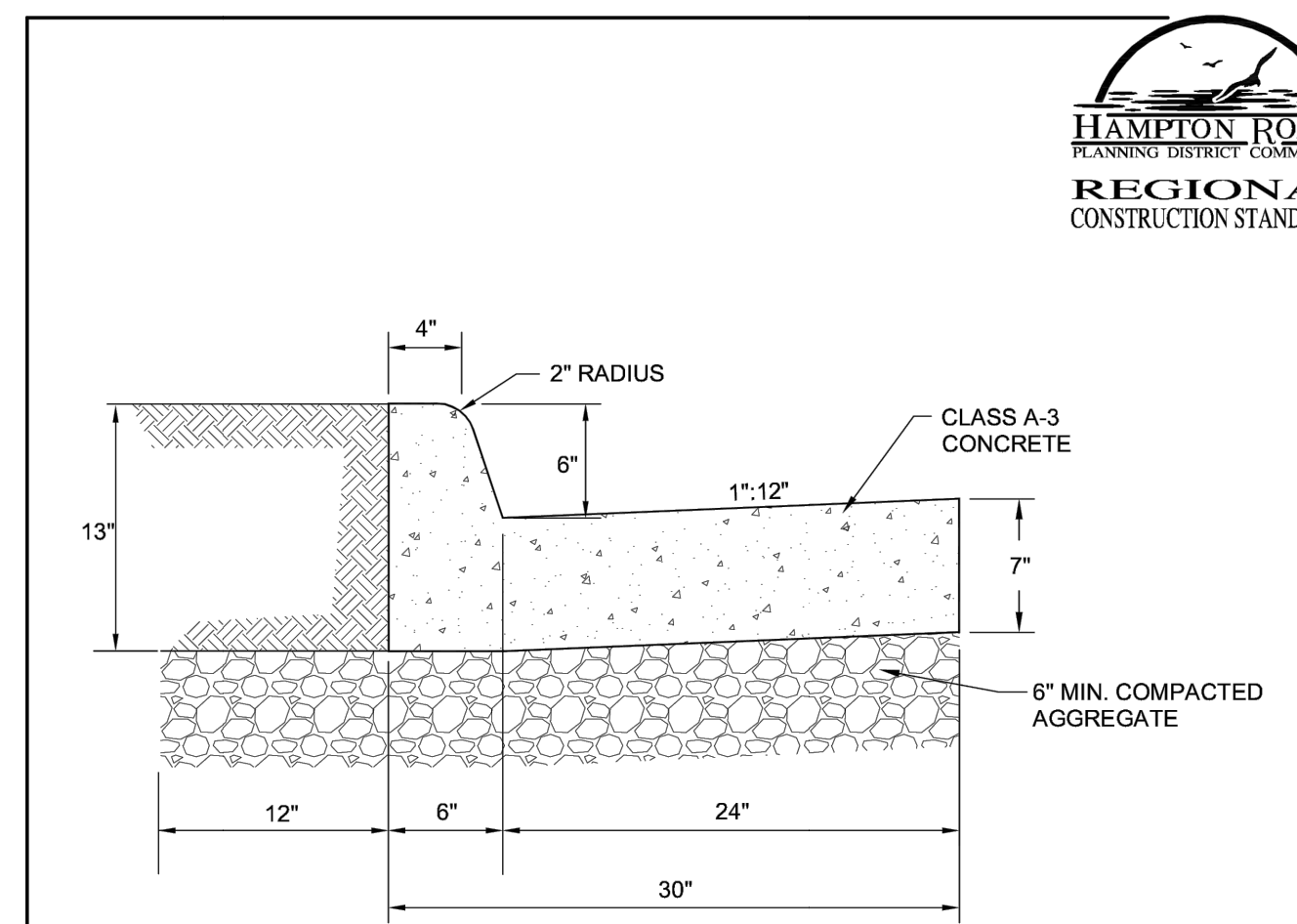


CE CONSTRUCTION ENTRANCE WITHOUT OPTIONAL WASHRACK  
NOT TO SCALE



- NOTES:
1. TRANSVERSE EXPANSION JOINTS SHALL BE PLACED AT 30'-0" o.c. (MAX.)
  2. TRANSVERSE CONTROL JOINTS SHALL BE PLACED AT 5'-0" o.c. BETWEEN EXPANSION JOINTS.
  3. LONGITUDINAL JOINTS ARE REQUIRED FOR SIDEWALKS WITH WIDTHS GREATER THAN 10'-0". LONGITUDINAL JOINTS SHALL BE PLACED AT EQUAL INTERVALS NOT TO EXCEED 10'-0" IN WIDTH.

TYPICAL SIDEWALK DETAIL  
NOT TO SCALE



NOTES:

1. CRACK CONTROL JOINTS TO BE PROVIDED AT 10 FT. INTERVALS BY SAWING, SCORING, "LEAVE-IN" INSERTS, OR CUTTER PLATES TO 1-1/2 INCH DEPTH.
2. EXPANSION JOINTS TO BE INSTALLED PER SPECIFICATIONS SECTION 502.
3. AS SOON AS CONCRETE WILL NOT SLUMP, FACE FORMS ARE TO BE REMOVED, IRREGULARITIES REMOVED, A LIGHT BROOM FINISH GIVEN, AND LIQUID MEMBRANE SEAL OR OTHER APPROVED CURING MEDIUM APPLIED.
4. THE CONTRACTOR SHALL PREVENT THE TEMPERATURE AT THE SURFACE OF THE CONCRETE FROM FALLING BELOW 40°F DURING THE FIRST 72 HOURS IMMEDIATELY FOLLOWING CONCRETE PLACEMENT. PROTECTIVE MATERIAL SHALL BE LEFT IN PLACE FOR AN ADDITIONAL 48 HOURS IF FREEZING AIR TEMPERATURES ARE EXPECTED TO CONTINUE.

30" CURB & GUTTER  
NOT TO SCALE

|           |                |       |           |            |
|-----------|----------------|-------|-----------|------------|
| REFERENCE | CATEGORY       | DATE  | SHEET No. | DETAIL No. |
| 200.502   | CONCRETE ITEMS | 12/10 | 1 OF 1    | CI_02      |

PERMANENT SEEDING PS

TABLE 3.32-D SITE SPECIFIC SEEDING MIXTURES FOR COASTAL PLAIN AREA

| MINIMUM CARE LAWN  | TOTAL LBS. PER ACRE |
|--|---------------------|
| -COMMERCIAL OR RESIDENTIAL   |                     |
| -KENTUCKY 31 OR TURF-TYPE TALL FESCUE  | 175-200 LBS.        |
| OR   |                     |
| -COMMON BERMUDAGRASS **  | 75 LBS.             |
| <b>HIGH-MAINTENANCE LAWN</b>   |                     |
| -KENTUCKY 31 OR TURF-TYPE TALL FESCUE  | 200-250 LBS.        |
| OR   |                     |
| -HYBRID BERMUDAGRASS (SEED) **   | 40 LBS. (UNHULLED)  |
| OR   |                     |
| -HYBRID BERMUDAGRASS (BY OTHER VEGETATIVE ESTABLISHMENT METHOD, SEE STD. & SPEC. 3.34) | 30 LBS. (HULLED)    |
| <b>GENERAL SLOPE (3:1 OR LESS)</b>   |                     |
| -KENTUCKY 31 FESCUE  | 128 LBS.            |
| -RED TOP GRASS   | 2 LBS.              |
| -SEASONAL NURSE CROP *   | 20 LBS.             |
|  | 150 LBS.            |
| <b>LOW-MAINTENANCE SLOPE (STEEPER THAN 3:1)</b>  |                     |
| -KENTUCKY 31 FESCUE  | 93-108 LBS.         |
| -COMMON BERMUDAGRASS **  | 0-15 LBS.           |
| -RED TOP GRASS   | 2 LBS.              |
| -SEASONAL NURSE CROP *   | 20 LBS.             |
| -SERICEA LESPEDEZA **  | 20 LBS.             |
|  | 150 LBS.            |

- \* USE SEASONAL NURSE CROP IN ACCORDANCE WITH SEEDING DATES AS STATED BELOW:  
 FEBRUARY, MARCH THROUGH APRIL ANNUAL RYE  
 MAY 1ST THROUGH AUGUST FOXTAIL MILLET  
 SEPTEMBER, OCTOBER THROUGH NOVEMBER 15 ANNUAL RYE  
 NOVEMBER 16 THROUGH JANUARY WINTER RYE

- \*\* MAY THROUGH OCTOBER USE HULLED SEED. ALL OTHER SEEDING PERIODS, USE UNHULLED SEED. WEEPING LOVEGRASS MAY BE ADDED TO ANY SLOPE OR LOW-MAINTENANCE MIX DURING WARMER SEEDING PERIODS; ADD 10-20 LBS./ACRE IN MIXES.

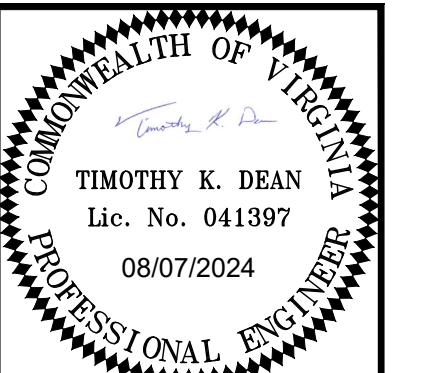
PS PERMANENT SEEDING (COASTAL VIRGINIA)  
NOT TO SCALE

TEMPORARY SEEDING TS

TABLE 3.31-B ACCEPTABLE TEMPORARY SEEDING PLANT MATERIALS  
"QUICK REFERENCE FOR ALL REGIONS"

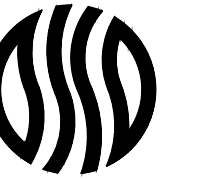
| PLANTING DATES  | SPECIES   | RATE (LBS./ACRE) |
|-----------------|---|------------------|
| SEPT. 1-FEB. 15 | 50/50 MIX OF ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM) & CEREAL (WINTER) RYE (SECALE CEREALE) | 50-100           |
| FEB. 16-APR. 30 | ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM)   | 60-100           |
| MAY 1-AUG. 31   | GERMAN MILLET (SETARIA ITALICA)   | 50-100           |

TS TEMPORARY SEEDING  
NOT TO SCALE



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 Norfolk, VA 23502  
 757-599-8600 • Fax: 757-599-5684  
 www.daa.com



DETAILS  
 MARSHALL COURTS APARTMENTS,  
 NNHRA, PHASE 7  
 NEWPORT NEWS, VIRGINIA

REVISIONS

DESIGNED BY:

DRAWN BY:

CHECKED BY:

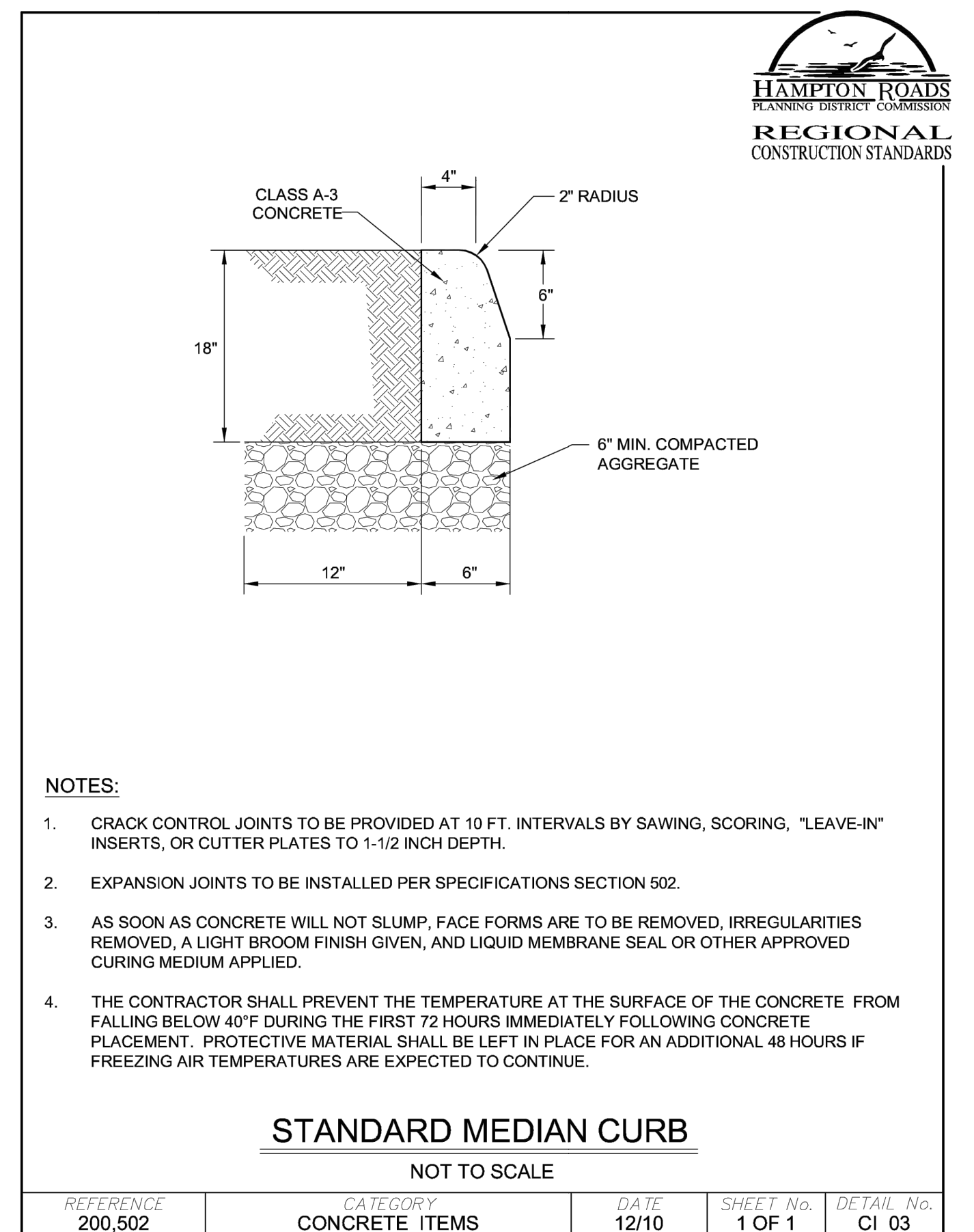
SCALE: NONE

DATE: AUGUST 7, 2024

PROJECT NUMBER:

2100194

C-500



NOTES:

1. CRACK CONTROL JOINTS TO BE PROVIDED AT 10 FT. INTERVALS BY SAWING, SCORING, "LEAVE-IN" INSERTS, OR CUTTER PLATES TO 1-1/2 INCH DEPTH.
2. EXPANSION JOINTS TO BE INSTALLED PER SPECIFICATIONS SECTION 502.
3. AS SOON AS CONCRETE WILL NOT SLUMP, FACE FORMS ARE TO BE REMOVED, IRREGULARITIES REMOVED, A LIGHT BROOM FINISH GIVEN, AND LIQUID MEMBRANE SEAL OR OTHER APPROVED CURING MEDIUM APPLIED.
4. THE CONTRACTOR SHALL PREVENT THE TEMPERATURE AT THE SURFACE OF THE CONCRETE FROM FALLING BELOW 40°F DURING THE FIRST 72 HOURS IMMEDIATELY FOLLOWING CONCRETE PLACEMENT. PROTECTIVE MATERIAL SHALL BE LEFT IN PLACE FOR AN ADDITIONAL 48 HOURS IF FREEZING AIR TEMPERATURES ARE EXPECTED TO CONTINUE.

STANDARD MEDIAN CURB  
NOT TO SCALE

|           |                |       |           |            |
|-----------|----------------|-------|-----------|------------|
| REFERENCE | CATEGORY       | DATE  | SHEET No. | DETAIL No. |
| 200.502   | CONCRETE ITEMS | 12/10 | 1 OF 1    | CI_03      |





### City of Newport News Stormwater Site Plan Worksheet

(Must be on the Plans)  
Please note this worksheet is provided for informational purposes and is not intended to exempt the developer from reviewing and complying with the latest federal, state, and local regulations.

**OVERALL INFORMATION**

Site Plan Title: MARSHALL COURTS APARTMENTS, NNHRA, 2013 AND PHASE 7  
 Plan Address: 741 34th Street NEWPORT NEWS, VA 23607 Subdivision Name: WARD 2  
 Type of Development:  New Development  Redevelopment  Right of Way   
 HUC: 020802080303\_JL58 Latitude/Longitude in Decimal Degrees: 36.99434 -76.41941  
 Discharges to (check all that apply):  MS4  Wetlands  River/Ditch/Stream   
 Name of Receiving Waters: Frontal Hampton Roads - Hampton River  
 Parcel Tax ID: 300030205 GPIN No. (If Available): \_\_\_\_\_  
 Owner of Property: NEWPORT NEWS HOUSING AND REDEVELOPMENT  
 Owner's Address: PO BOX 0797 NEWPORT NEWS, VA 23607

**SITE BREAKDOWN**

Total Area of Disturbance: 7.31 acres 318,315 sq. ft.  
 List the land uses within the limits of disturbance only

|                                   | Pre Development |              |          | Post Development |              |          |
|-----------------------------------|-----------------|--------------|----------|------------------|--------------|----------|
|                                   | Area (sq. ft.)  | Area (acres) | Area (%) | Area (sq. ft.)   | Area (acres) | Area (%) |
| Pervious - Forest/Open Space:     |                 |              |          |                  |              |          |
| Pervious - Managed Turf:          | 136,924         | 3.14         | 43       | 213820           | 4.91         | 67       |
| <b>Pervious Surface Subtotal:</b> |                 |              |          |                  |              |          |
| <b>Impervious Surface Total:</b>  | 181,391         | 4.16         | 57       | 104,495          | 2.40         | 33       |
| <b>TOTAL AREA:</b>                | 318,315         | 7.31         | 100      | 318,315          | 7.31         | 100      |

- Review and Check each to indicate acknowledgement:
- For developments using technical criteria IIC under the "grandfathering" clause, supporting documentation and calculations must be submitted with the initial site plan submission. A description of why the site qualifies should be included in the site's stormwater narrative on the plans.
  - Development cannot cause flooding to adjacent or downstream properties. Site development must take into account current drainage patterns and the capacity of each individual site outfall discharge point, including those that are City or VDOT maintained. When evaluating discharge at an outfall point, all flow to that point must be included, such as flow from outside the disturbed area and off-site.
  - The City of Newport News' General Notes, Erosion & Sediment Control General Notes, and the MS-19 Minimum Standards must be provided on all site plans. Latest editions are available on the Newport News Site & Subdivision website.
  - Necessary construction permits must be obtained prior to any land disturbing activity. Failure to obtain these permits may result in a "STOP WORK" order being issued. As part of the Construction Permit process, a Stormwater Pollution Prevention Plan (if required) must be completed and submitted to the City's Engineering Department at the preconstruction meeting. This document must remain on site and be updated routinely to accurately reflect the up to date work on the site.
  - Construction Record Drawings will be required as per the City's Construction Record Drawing administrative policy prior to project final acceptance and permit termination.

### SITE PLAN AND WATER QUALITY REQUIREMENTS

The following items are required based on the amount of land disturbance, presence of CBPA, and type of plan. Water Quality calculations must be completed using the Virginia Runoff Reduction Method (VRRM) spreadsheet and a copy of entire spreadsheet provided in the calculations. Check each item provided:

| Project Land Disturbance Area (LDA)               | In a CBPA?  | Part of a Common Plan of Development                        | EASC Plan 9VAC25-870-64 Erosion & Sediment Control Plan | Water Quality 9VAC25-870-66                          | Water Quality 9VAC25-870-63 selected from Criteria below   | Full SWMP 9VAC25-870-55 Stormwater Management Plan   |
|---|---|---|---|--|--|--|
| <input type="checkbox"/> 2,500sf ≤ LDA ≤ 10,000sf | <input type="checkbox"/> No<br><input type="checkbox"/> Yes | <input type="checkbox"/> No<br><input type="checkbox"/> Yes | <input type="checkbox"/><br><input type="checkbox"/>    | <input type="checkbox"/><br><input type="checkbox"/> | <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 | <input type="checkbox"/><br><input type="checkbox"/> |
| <input type="checkbox"/> 10,000sf ≤ LDA ≤ 1 acre  | <input type="checkbox"/> No<br><input type="checkbox"/> Yes | <input type="checkbox"/> No<br><input type="checkbox"/> Yes | <input type="checkbox"/><br><input type="checkbox"/>    | <input type="checkbox"/><br><input type="checkbox"/> | <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 | <input type="checkbox"/><br><input type="checkbox"/> |
| <input type="checkbox"/> LDA > 1 acre             | <input type="checkbox"/> No<br><input type="checkbox"/> Yes | <input type="checkbox"/> No<br><input type="checkbox"/> Yes | <input type="checkbox"/><br><input type="checkbox"/>    | <input type="checkbox"/><br><input type="checkbox"/> | <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 | <input type="checkbox"/><br><input type="checkbox"/> |

**Water Quality Criteria:**

- New Development - Total Phosphorus (TP) load cannot exceed 0.41 lbs/ac/yr
- Redevelopment - NO net increase in impervious cover, LDA ≥ 1 acre - Total Phosphorus must be reduced 20% below pre-dev phosphorus load
- Redevelopment - NO net increase in impervious cover, LDA < 1 acre - Total Phosphorus must be reduced 10% below pre-dev phosphorus load
- Redevelopment - NET increase in impervious cover - New Increased Imp. area - Criteria 1 plus Remaining area - Criteria 2 or 3 (based on total LDA)
- Redevelopment - LINEAR, NET increase in impervious cover - Total Phosphorus must be reduced 20% below pre-developed phosphorus load

Phosphorus Removal Required for Project: -0.82 lbs/yr  
 Total Phosphorus Removal Achieved: -0.82 lbs/yr  
 Phosphorus Removal Achieved On-site: -0.82 lbs/yr Phosphorus Removal Acquired Off-site: 0 lbs/yr Excess: 0.82 lbs/yr

Credits Purchased?:  Yes (Provide proof of credit purchase) Name of Bank: \_\_\_\_\_  
 No

1 - Linear UTILITY projects can be considered maintenance when the site is returned to predeveloped conditions after completion and no change occurs in impervious area and runoff characteristics. See DEQ Guidance Memo No. 15-2003 for requirements and qualifications.

### STORMWATER MANAGEMENT FACILITIES (SWMF)

The BMP Clearinghouse must be used for the design and designation of all Storm Water Management Facilities, for both water quality and quantity. Label and number each SWMF on the site plan. Provide calculations and supporting documentation for each facility.

Stormwater Design Criteria:  IB Clearinghouse  IB Previously Permitted  -Project & Date: \_\_\_\_\_  
 IIC Grandfathered  IIC Previously Permitted  -Project & Date: \_\_\_\_\_

Is Low Impact Development Implemented? Yes  No

### SWMF INFORMATION NO SWMF PROPOSED, REDUCTION AND IMPERVIOUS AREA ONLY

Include ALL facilities for WATER QUALITY and QUANTITY. List each one separately.

| SWMF No. (Label on plans) | Type of SWMF and Level | DEQ Spec No. | ER (%) | Prevent Runoff (Y/N) (Include table below) | TN Removal (lbs/yr) | TP Removal (lbs/yr) | Water QUALITY Treatment Volume (cubic ft) |          | Water QUANTITY Volume (cubic ft) |          | Pre Development |                     | Post Development |                     | Total CDA (sq. ft.) |
|---------------------------|------------------------|--------------|--------|--|---------------------|---------------------|---|----------|----------------------------------|----------|-----------------|---------------------|------------------|---------------------|---------------------|
|                           |                        |              |        |  |                     |                     | Required                                  | Provided | Required                         | Provided | Area (sq. ft.)  | Imp. Area (sq. ft.) | Area (sq. ft.)   | Imp. Area (sq. ft.) |                     |
| N/A                       |                        |              |        |  |                     |                     |   |          |                                  |          |                 |                     |                  |                     |                     |

1 - WATER QUALITY VOLUME: Required treatment volume from design calculations/VRRM spreadsheet. Provided treatment volume is actual volume achieved above treatment volume.  
 2 - WATER QUANTITY VOLUME: Required is the volume required to be detained for the system design storm (usually 10 yr storm). Provided volume is actual storage volume achieved above treatment volume.

Review and Check each to indicate acknowledgement:

- The BMP Clearinghouse criteria must be used for the design, construction, maintenance, and operation of all SWMF's. SWMF layouts and details should be provided and accompany any installation and long term maintenance requirements within the plan set.
- For wet and detention ponds, 1 foot of freeboard is required if there is an emergency spillway and 2 feet of freeboard is required if there is no emergency spillway.
- A SWMF Maintenance Agreement must be completed and recorded prior to site plan approval.
- For each facility provide a maintenance plan, disposal information, owner contact information, and maintenance funding source information on construction record plans.
- Access is provided for SWMF maintenance.
- Soil borings must be provided for all facilities which will require separation from the ground water table and all infiltration facilities prior to site plan approval.
- Provide protection for SWMF to ensure proposed location remains undisturbed during construction and sediment from unstabilized site cannot reach facility.
- Minimum slope required on all underdrains is 0.5%.
- All stormwater systems must be analyzed for the 100-year storm to verify no adverse rise in the HGL upstream, downstream, and on the project site.

### Pre-treatment Information

Provide information for applicable facilities above. Show and label pretreatment on plans. Requirements from BMP Clearinghouse Specifications.

| SWMF No. (above) | # of Pre-treat Req. (above) | Type of Pretreatment | Treatment Vol Req. (sq. ft.) | Label on Plans (Y/N) | CDA (sq. ft.) | SWMF No. (above) | # of Pre-treat Req. (above) | Type of Pretreatment | Treatment Vol Req. (sq. ft.) | Label on Plans (Y/N) | CDA (sq. ft.) |
|------------------|-----------------------------|----------------------|------------------------------|----------------------|---------------|------------------|-----------------------------|----------------------|------------------------------|----------------------|---------------|
| 1                | 1                           |                      |                              |                      |               | 1                | 1                           |                      |                              |                      |               |
| 2                | 2                           |                      |                              |                      |               | 2                | 2                           |                      |                              |                      |               |
| 3                | 3                           |                      |                              |                      |               | 3                | 3                           |                      |                              |                      |               |

### WATER QUANTITY - Design must satisfy one of the following:

- Channel Protection (9VAC25-870-66.B) AND Flood Protection (9VAC25-870-66.C)
- Sheet Flow (9VAC25-870-66.D)

### WATER QUANTITY - CHANNEL PROTECTION Refer to 9VAC25-870-66.B for instructions

| Discharge Point from Site (Show on Plans) | Discharge Channel  | OPTION A       |   | OPTION B             |                       | OPTION C RESTORED Development functioning consistent with restored system |      |                     |                      |   |       |                              |
|---|--|----------------|---|----------------------|-----------------------|---|------|---------------------|----------------------|---|-------|------------------------------|
|   |  | V <sub>2</sub> | V <sub>ALLOW</sub> * DPTH <sub>CHNL</sub> | Q <sub>POST-10</sub> | RV <sub>POST-10</sub> |   | IF   | Q <sub>PRE-10</sub> | RV <sub>PRE-10</sub> | IF x Q <sub>PRE-10</sub> x RV <sub>PRE-10</sub> |       |                              |
| MH9                                       | <input type="checkbox"/> Manned <input type="checkbox"/> Natural |                |   | 3.05                 | 0.314                 | 8   | 8.47 | 0.584               | 0.958                | ≤   | 3.957 | <input type="checkbox"/> Yes |

\*Allowable velocity from VESCH Table 5-14, Table 5-22, VDOT PC-1, or V<sub>ALLOW</sub> = 15fps for concrete pipes and gutters

Limits of Analysis: Required For OPTION A above only analyze the receiving channel at critical analysis points TO a point where: (Provide calculations for each analysis point) Use A or B

A. The site's contributing drainage area is less than or equal to 1% of the total watershed. OR

| Discharge Point (from above) | CDA to Discharge Pt. (acres) | 1% Total Watershed Area (acres) | Discharge Point (from above) | CDA to Discharge Pt. (acres) | 1% Total Watershed Area (acres) |
|------------------------------|------------------------------|---------------------------------|------------------------------|------------------------------|---------------------------------|
|                              |                              |                                 |                              |                              |                                 |

B. The site's peak flow rate of the 1-year storm is less than or equal to 1% of the 1-yr predevelopment peak flow rate

| Discharge Point (from above) | Site Peak Flow (1-yr storm) (cfs) | 1% Pre Peak Flow (1-yr storm) (cfs) | Discharge Point (from above) | Site Peak Flow (1-yr storm) (cfs) | 1% Pre Peak Flow (1-yr storm) (cfs) |
|------------------------------|-----------------------------------|-------------------------------------|------------------------------|-----------------------------------|-------------------------------------|
|                              |                                   |                                     |                              |                                   |                                     |

### WATER QUANTITY - FLOOD PROTECTION Refer to 9VAC25-870-66.C for instructions

(Please provide documentation on the Plans and within the Calculations. Provide for all discharge points leaving site.)

| Discharge Point from Site (Show on Plans) | Condition   | OPTION A                     |                      | OPTION B            |                      |
|---|---|------------------------------|----------------------|---------------------|----------------------|
|   |   | Q <sub>SYSTEM CAPACITY</sub> | Q <sub>POST-10</sub> | Q <sub>PRE-10</sub> | Q <sub>POST-10</sub> |
| MH9                                       | <input type="checkbox"/> No Localized Flooding (Option A)<br><input type="checkbox"/> Existing Localized Flooding (Option A or B) |                              |                      | 16.21               | 7.10                 |

Limits of Analysis: Required For OPTION A above only (Q<sub>POST-10</sub> > Q<sub>PRE-10</sub>) - analyze the receiving channel at critical analysis points TO a point where: (Provide calculations for each analysis point) Use A, B, or C

A. The site's contributing drainage area is less than or equal to 1% of the total watershed. OR

| Discharge Point (from above) | CDA to Discharge Pt. (acres) | 1% Total Watershed Area (acres) | Discharge Point (from above) | CDA to Discharge Pt. (acres) | 1% Total Watershed Area (acres) |
|------------------------------|------------------------------|---------------------------------|------------------------------|------------------------------|---------------------------------|
|                              |                              |                                 |                              |                              |                                 |

B. The site's peak flow rate from the 10-year storm is less than or equal to 1% of the 10-yr predevelopment peak flow rate from the 10-yr storm prior to implementing control measures. OR

| Discharge Point (from above) | Site Peak Flow (10-yr storm) (cfs) | 1% Pre Peak Flow (10-yr storm) (cfs) | Discharge Point (from above) | Site Peak Flow (10-yr storm) (cfs) | 1% Pre Peak Flow (10-yr storm) (cfs) |
|------------------------------|------------------------------------|--------------------------------------|------------------------------|------------------------------------|--------------------------------------|
|                              |                                    |                                      |                              |                                    |                                      |

C. The stormwater conveyance system enters a mapped floodplain: Discharge Point (from above): \_\_\_\_\_ Name of Mapped Floodplain: \_\_\_\_\_

### WATER QUANTITY - SHEET FLOW Refer to 9VAC25-870-66.D for information

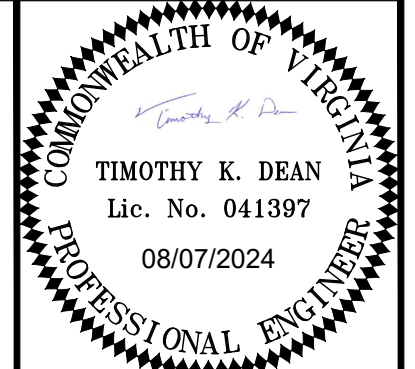
(Please provide documentation on the Plans and within the Calculations. Provide for all discharge points leaving site.)

Sheet flow from the site must not cause erosion, sedimentation, or flooding of down gradient properties. The post development peak flow rate from the two-year 24-hour storm must not cause erosion (V<sub>2</sub> < V<sub>ALLOW</sub>). Depth of flow must be less than 1 inch. If runoff is sheet flow and meets these conditions, no further water quantity controls are required.

(Channel protection & flood protection requirements are not necessary)

| Discharge Point from Site (Show on Plans) | CDA | Q <sub>PRE-10</sub> | Q <sub>POST-10</sub> | Depth <sub>POST-10</sub> | V <sub>2,POST</sub> | V <sub>ALLOW</sub> * |
|---|-----|---------------------|----------------------|--------------------------|---------------------|----------------------|
|   |     |                     |                      |                          |                     |                      |

\*Allowable velocity from VESCH Table 5-14 or Table 5-22



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 • Blacksburg, VA  
 • Charlottesville, VA

## C-501 NEWPORT NEWS STORMWATER SUMMARY MARSHALL COURTS APARTMENTS, NNHRA, PHASE 7 NEWPORT NEWS, VIRGINIA

DESIGNED BY: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

CHECKED BY: \_\_\_\_\_

SCALE: NONE

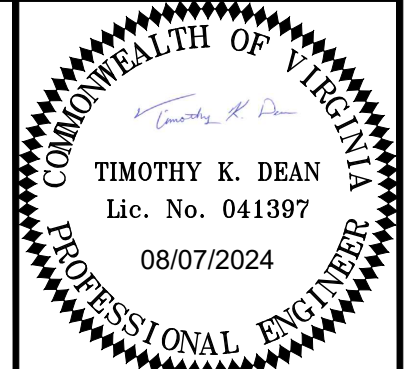
DATE: AUGUST 7, 2024

PROJECT NUMBER: 2100194



### DRAINAGE DIVIDE LEGEND

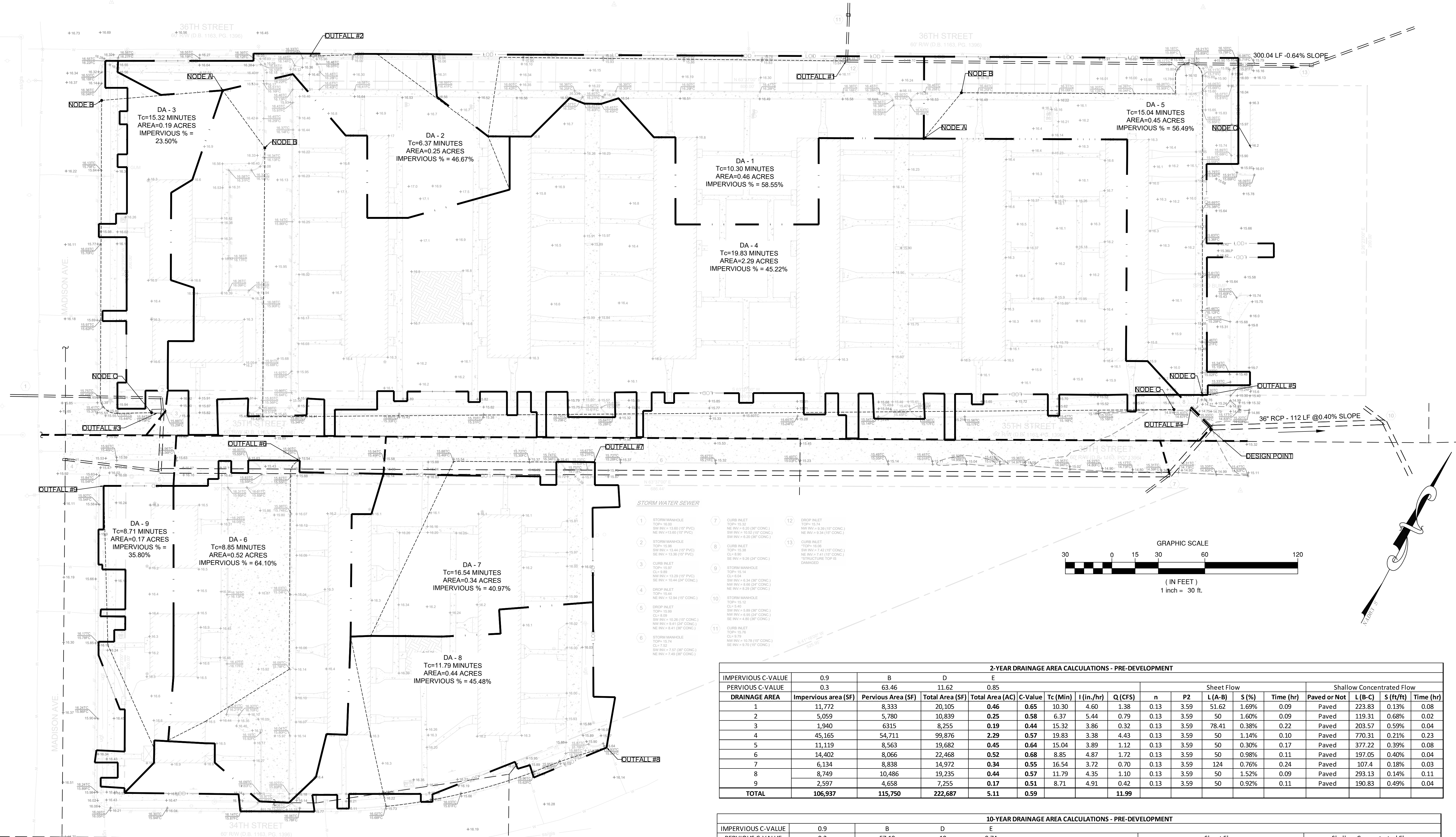
- DRAINAGE DIVIDES WITHIN LIMITS OF DISTURBANCE
- DRAINAGE DIVIDES OUTSIDE OF LIMITS OF DISTURBANCE
- TIME OF CONCENTRATION (Tc) FLOW PATH



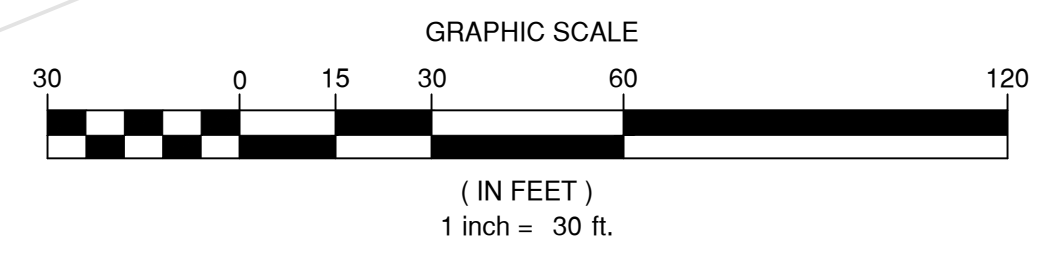
**Draper Aden Associates**  
 Engineering • Surveying • Environmental Services

2 BayPort Way, Suite 100  
 757-559-9800 Fax: 757-559-3684  
 www.daa.com

- Raleigh, NC
- Fayetteville, NC
- Northern Virginia
- Virginia Beach, VA
- Richmond, VA
- Blacksburg, VA
- Charlottesville, VA



- STORM WATER SEWER**
- 1 STORM MANHOLE TOP: 16.00 SW INV: 15.68 (10" PVC) NE INV: 15.80 (10" PVC)
  - 2 STORM MANHOLE TOP: 15.96 SW INV: 15.44 (10" PVC) SE INV: 15.30 (10" PVC)
  - 3 CURB INLET TOP: 15.97 CL: 8.00 NW INV: 15.32 (10" CONC) SE INV: 15.44 (10" CONC)
  - 4 DROP INLET TOP: 15.44 CL: 8.00 NE INV: 12.84 (10" CONC) SE INV: 12.84 (10" CONC)
  - 5 DROP INLET TOP: 15.99 CL: 8.00 SW INV: 15.32 (10" CONC) NW INV: 8.41 (8" CONC) NE INV: 8.41 (8" CONC)
  - 6 STORM MANHOLE TOP: 15.74 CL: 7.50 SW INV: 7.57 (8" CONC) NE INV: 7.49 (8" CONC)
  - 7 CURB INLET TOP: 15.32 NE INV: 8.20 (8" CONC) SW INV: 10.50 (8" CONC) SE INV: 8.20 (8" CONC)
  - 8 CURB INLET TOP: 15.38 CL: 8.00 SW INV: 8.32 (8" CONC) SE INV: 8.32 (8" CONC)
  - 9 STORM MANHOLE TOP: 15.14 CL: 6.04 SW INV: 8.34 (8" CONC) NW INV: 8.88 (8" CONC) SE INV: 8.29 (8" CONC)
  - 10 STORM MANHOLE TOP: 15.32 CL: 4.45 SW INV: 5.89 (8" CONC) NW INV: 6.95 (8" CONC) SE INV: 4.80 (8" CONC)
  - 11 CURB INLET TOP: 15.76 CL: 8.78 NW INV: 10.78 (10" CONC) SE INV: 8.78 (10" CONC)
  - 12 DROP INLET TOP: 15.74 NW INV: 8.20 (10" CONC) SE INV: 8.20 (10" CONC)
  - 13 CURB INLET TOP: 15.96 SW INV: 7.42 (10" CONC) NE INV: 7.41 (10" CONC) STRUCTURE TOP: 6. DAMAGED



**2-YEAR DRAINAGE AREA CALCULATIONS - PRE-DEVELOPMENT**

| IMPERVIOUS C-VALUE | 0.9              |                | B              |             | D           |       | E       |          | Sheet Flow |              |       |       |         |       |           |              |         |           | Shallow Concentrated Flow |  |  |  |
|--------------------|------------------|----------------|----------------|-------------|-------------|-------|---------|----------|------------|--------------|-------|-------|---------|-------|-----------|--------------|---------|-----------|---------------------------|--|--|--|
|                    | PERVIOUS C-VALUE | 0.3            | 63.46          | 20.105      | 11.62       | 0.85  | C-Value | Tc (Min) | I (in./hr) | Q (CFS)      | n     | P2    | L (A-B) | S (%) | Time (hr) | Paved or Not | L (B-C) | S (ft/ft) | Time (hr)                 |  |  |  |
| 1                  | 11,772           | 8,333          | 20,105         | 0.46        | 0.65        | 10.30 | 4.60    | 1.38     | 0.13       | 3.59         | 51.62 | 1.69% | 0.09    | Paved | 223.83    | 0.13%        | 0.08    |           |                           |  |  |  |
| 2                  | 5,059            | 5,780          | 10,839         | 0.25        | 0.58        | 6.37  | 5.44    | 0.79     | 0.13       | 3.59         | 50    | 1.60% | 0.09    | Paved | 119.31    | 0.68%        | 0.02    |           |                           |  |  |  |
| 3                  | 1,940            | 6315           | 8,255          | 0.19        | 0.44        | 15.32 | 3.86    | 0.32     | 0.13       | 3.59         | 78.41 | 0.38% | 0.22    | Paved | 203.57    | 0.59%        | 0.04    |           |                           |  |  |  |
| 4                  | 45,165           | 54,711         | 99,876         | 2.29        | 0.57        | 19.83 | 3.38    | 4.43     | 0.13       | 3.59         | 50    | 1.14% | 0.10    | Paved | 770.31    | 0.21%        | 0.23    |           |                           |  |  |  |
| 5                  | 11,119           | 8,563          | 19,682         | 0.45        | 0.64        | 15.04 | 3.89    | 1.12     | 0.13       | 3.59         | 50    | 0.30% | 0.17    | Paved | 377.22    | 0.39%        | 0.08    |           |                           |  |  |  |
| 6                  | 14,402           | 8,066          | 22,468         | 0.52        | 0.68        | 8.85  | 4.87    | 1.72     | 0.13       | 3.59         | 50    | 0.98% | 0.11    | Paved | 197.05    | 0.40%        | 0.04    |           |                           |  |  |  |
| 7                  | 6,134            | 8,838          | 14,972         | 0.34        | 0.55        | 16.54 | 3.72    | 0.70     | 0.13       | 3.59         | 124   | 0.76% | 0.24    | Paved | 107.4     | 0.18%        | 0.03    |           |                           |  |  |  |
| 8                  | 8,749            | 10,486         | 19,235         | 0.44        | 0.57        | 11.79 | 4.35    | 1.10     | 0.13       | 3.59         | 50    | 1.52% | 0.09    | Paved | 293.13    | 0.14%        | 0.11    |           |                           |  |  |  |
| 9                  | 2,597            | 4,658          | 7,255          | 0.17        | 0.51        | 8.71  | 4.91    | 0.42     | 0.13       | 3.59         | 50    | 0.92% | 0.11    | Paved | 190.83    | 0.49%        | 0.04    |           |                           |  |  |  |
| <b>TOTAL</b>       | <b>106,937</b>   | <b>115,750</b> | <b>222,687</b> | <b>5.11</b> | <b>0.59</b> |       |         |          |            | <b>11.99</b> |       |       |         |       |           |              |         |           |                           |  |  |  |

**10-YEAR DRAINAGE AREA CALCULATIONS - PRE-DEVELOPMENT**

| IMPERVIOUS C-VALUE | 0.9              |                | B              |             | D           |       | E       |          | Sheet Flow |              |       |       |         |       |           |              |         |           | Shallow Concentrated Flow |  |  |  |
|--------------------|------------------|----------------|----------------|-------------|-------------|-------|---------|----------|------------|--------------|-------|-------|---------|-------|-----------|--------------|---------|-----------|---------------------------|--|--|--|
|                    | PERVIOUS C-VALUE | 0.3            | 57.19          | 20.105      | 10          | 0.74  | C-Value | Tc (Min) | I (in./hr) | Q (CFS)      | n     | P2    | L (A-B) | S (%) | Time (hr) | Paved or Not | L (B-C) | S (ft/ft) | Time (hr)                 |  |  |  |
| 1                  | 11,772           | 8,333          | 20,105         | 0.46        | 0.65        | 10.30 | 6.16    | 1.85     | 0.13       | 3.59         | 51.62 | 1.69% | 0.09    | Paved | 223.83    | 0.13%        | 0.08    |           |                           |  |  |  |
| 2                  | 5,059            | 5,780          | 10,839         | 0.25        | 0.58        | 6.37  | 7.23    | 1.04     | 0.13       | 3.59         | 50    | 1.60% | 0.09    | Paved | 119.31    | 0.68%        | 0.02    |           |                           |  |  |  |
| 3                  | 1,940            | 6315           | 8,255          | 0.19        | 0.44        | 15.32 | 5.23    | 0.44     | 0.13       | 3.59         | 78.41 | 0.38% | 0.22    | Paved | 203.57    | 0.59%        | 0.04    |           |                           |  |  |  |
| 4                  | 45,165           | 54,711         | 99,876         | 2.29        | 0.57        | 19.83 | 4.63    | 6.07     | 0.13       | 3.59         | 50    | 1.14% | 0.10    | Paved | 770.31    | 0.21%        | 0.23    |           |                           |  |  |  |
| 5                  | 11,119           | 8,563          | 19,682         | 0.45        | 0.64        | 15.04 | 5.28    | 1.52     | 0.13       | 3.59         | 50    | 0.30% | 0.17    | Paved | 377.22    | 0.39%        | 0.08    |           |                           |  |  |  |
| 6                  | 14,402           | 8,066          | 22,468         | 0.52        | 0.68        | 8.85  | 6.51    | 2.30     | 0.13       | 3.59         | 50    | 0.98% | 0.11    | Paved | 197.05    | 0.40%        | 0.04    |           |                           |  |  |  |
| 7                  | 6,134            | 8,838          | 14,972         | 0.34        | 0.55        | 16.54 | 5.05    | 0.95     | 0.13       | 3.59         | 124   | 0.76% | 0.24    | Paved | 107.4     | 0.18%        | 0.03    |           |                           |  |  |  |
| 8                  | 8,749            | 10,486         | 19,235         | 0.44        | 0.57        | 11.79 | 5.85    | 1.48     | 0.13       | 3.59         | 50    | 1.52% | 0.09    | Paved | 293.13    | 0.14%        | 0.11    |           |                           |  |  |  |
| 9                  | 2,597            | 4,658          | 7,255          | 0.17        | 0.51        | 8.71  | 6.55    | 0.56     | 0.13       | 3.59         | 50    | 0.92% | 0.11    | Paved | 190.83    | 0.49%        | 0.04    |           |                           |  |  |  |
| <b>TOTAL</b>       | <b>106,937</b>   | <b>115,750</b> | <b>222,687</b> | <b>5.11</b> | <b>0.59</b> |       |         |          |            | <b>16.21</b> |       |       |         |       |           |              |         |           |                           |  |  |  |

**DRAINAGE AREA EXISTING CONDITION  
 MARSHALL COURTS APARTMENTS,  
 NNHRA, PHASE 7  
 NEWPORT NEWS, VIRGINIA**

REVISIONS

DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:  
 SCALE: 1" = 30'  
 DATE: AUGUST 7, 2024  
 PROJECT NUMBER: 2100194  
**C-502**







1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

A  
B  
C  
D  
E  
F  
G  
H  
I  
J  
K



VIA DESIGN

319 E Plume Street  
Norfolk, VA 23510  
757 627 1489

viadesignarchitects.com

CONSULTANT:

NEWPORT NEWS REDEVELOPMENT and HOUSING AUTHORITY  
MARSHALL CT. APT. PHASE VII  
741 34th STREET  
NEWPORT NEWS, VA 23607

| REVISIONS # | DATE | DESCRIPTION |
|-------------|------|-------------|
|             |      |             |
|             |      |             |
|             |      |             |
|             |      |             |
|             |      |             |
|             |      |             |
|             |      |             |
|             |      |             |
|             |      |             |
|             |      |             |

VIA PROJ #: 17031-4  
DATE: 2023.07.10  
CHECKED BY: Checker  
SHEET STATUS:

KEY PLAN:

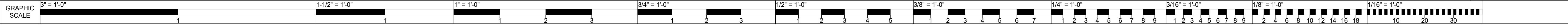
SHEET TITLE:  
1940 ORIGINAL  
CONSTRUCTION DRAWING  
REF. SET 1

BUILDING:

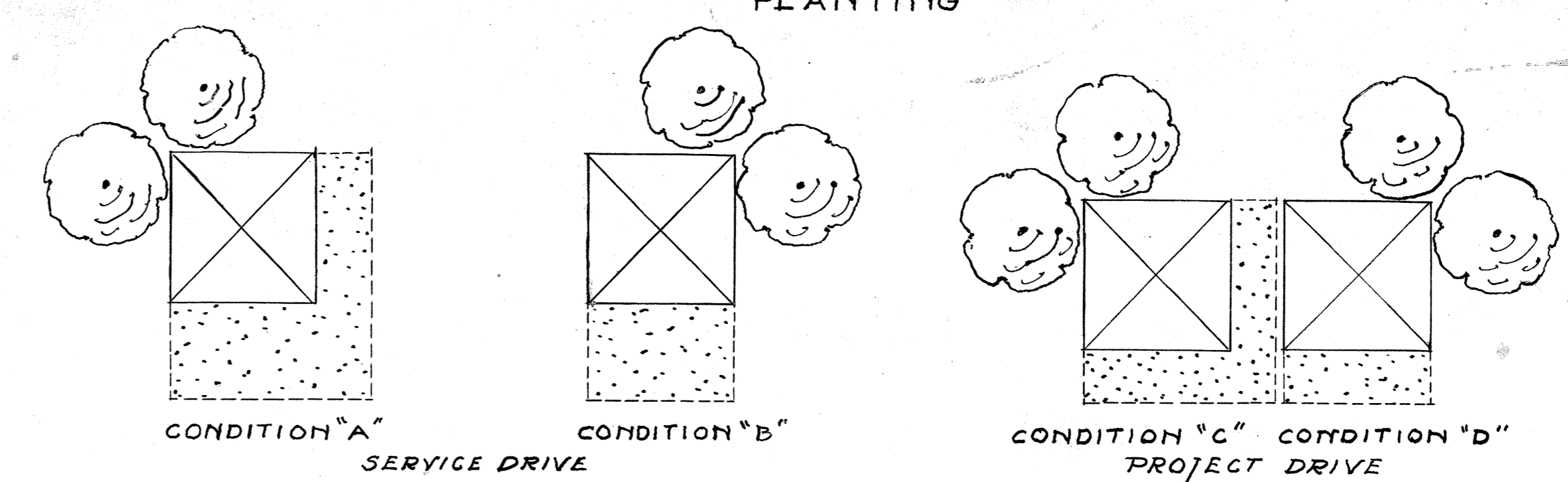
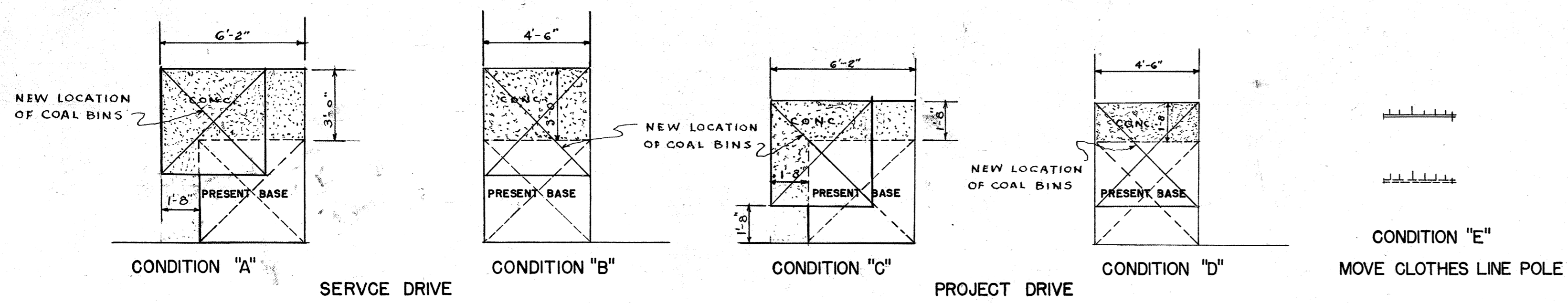
SHEET NUMBER:

REF. SET 1

# 1940 ORIGINAL CONSTRUCTION DRAWING REF. SET 1



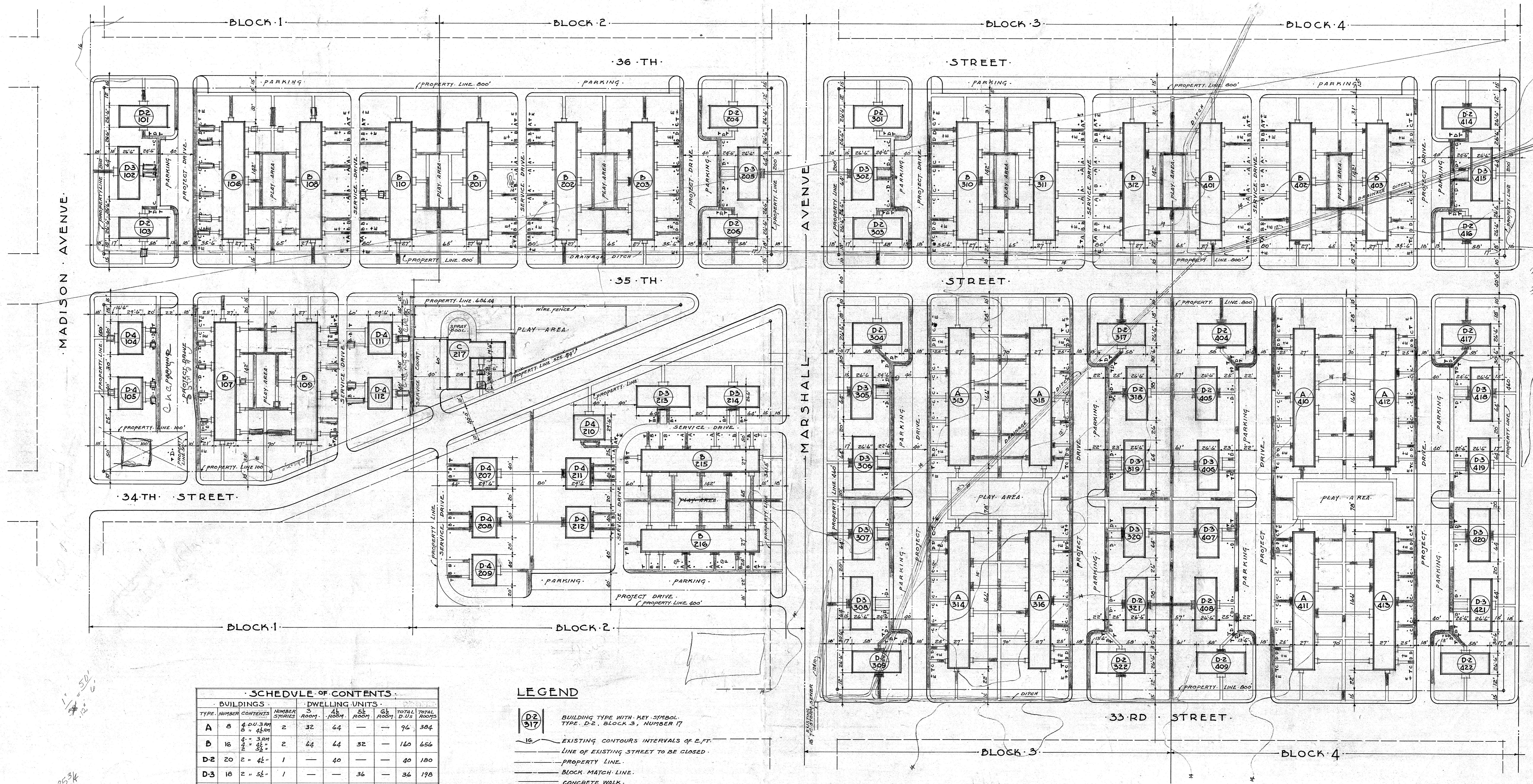




NOTE: ALL SLABS 4" THICK - FLOAT FINISH - 1/4" ROUNDED EDGES.  
 ADDITION TO COAL BIN BASES  
 SCALE: 1/4" = 1'-0"

PLANT LIST

|     |                                    |
|-----|------------------------------------|
| Key | Botanical Name                     |
| •   | <i>Abelia grandiflora</i>          |
| +   | <i>Ligustrum lucidum compactum</i> |



SCHEDULE OF CONTENTS

| BUILDINGS | TYPE | NUMBER  | CONTENTS | DWELLING UNITS |        |        |        | TOTAL D.U.S | TOTAL ROOMS |
|-----------|------|---------|----------|----------------|--------|--------|--------|-------------|-------------|
|           |      |         |          | 3 ROOM         | 4 ROOM | 5 ROOM | 6 ROOM |             |             |
| A         | 8    | 4       | 40-3 RM  | 2              | 32     | 64     | —      | 94          | 384         |
| B         | 16   | 2       | 4 - 3 RM | 2              | 44     | 64     | 32     | 160         | 656         |
| D-2       | 20   | 2       | 46"      | 1              | —      | 40     | —      | 40          | 180         |
| D-3       | 18   | 2       | 56"      | 1              | —      | 36     | —      | 36          | 198         |
| D-4       | 10   | 2       | 66"      | 2              | —      | —      | 20     | 20          | 130         |
|           | 72   | TOTALS  |          | 94             | 168    | 68     | 20     | 352         | 1548        |
|           |      | PERCENT |          | 27.3           | 47.8   | 27.3   | 5.6    | 100         |             |

C ADMINISTRATION & SERVICE BUILDING

LEGEND

- D2 317 BUILDING TYPE WITH KEY SYMBOL. TYPE D-2, BLOCK 3, NUMBER 17
- 16 EXISTING CONTOURS INTERVALS OF 2 FT.
- LINE OF EXISTING STREET TO BE CLOSED
- PROPERTY LINE
- BLOCK MATCH LINE
- CONCRETE WALK
- MONUMENT AT PROPERTY LINE INTERSECTIONS
- WIRE FENCE

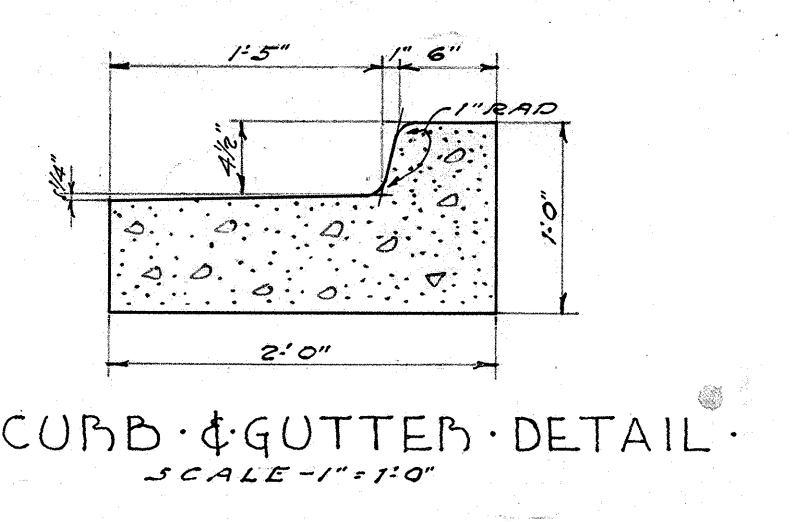
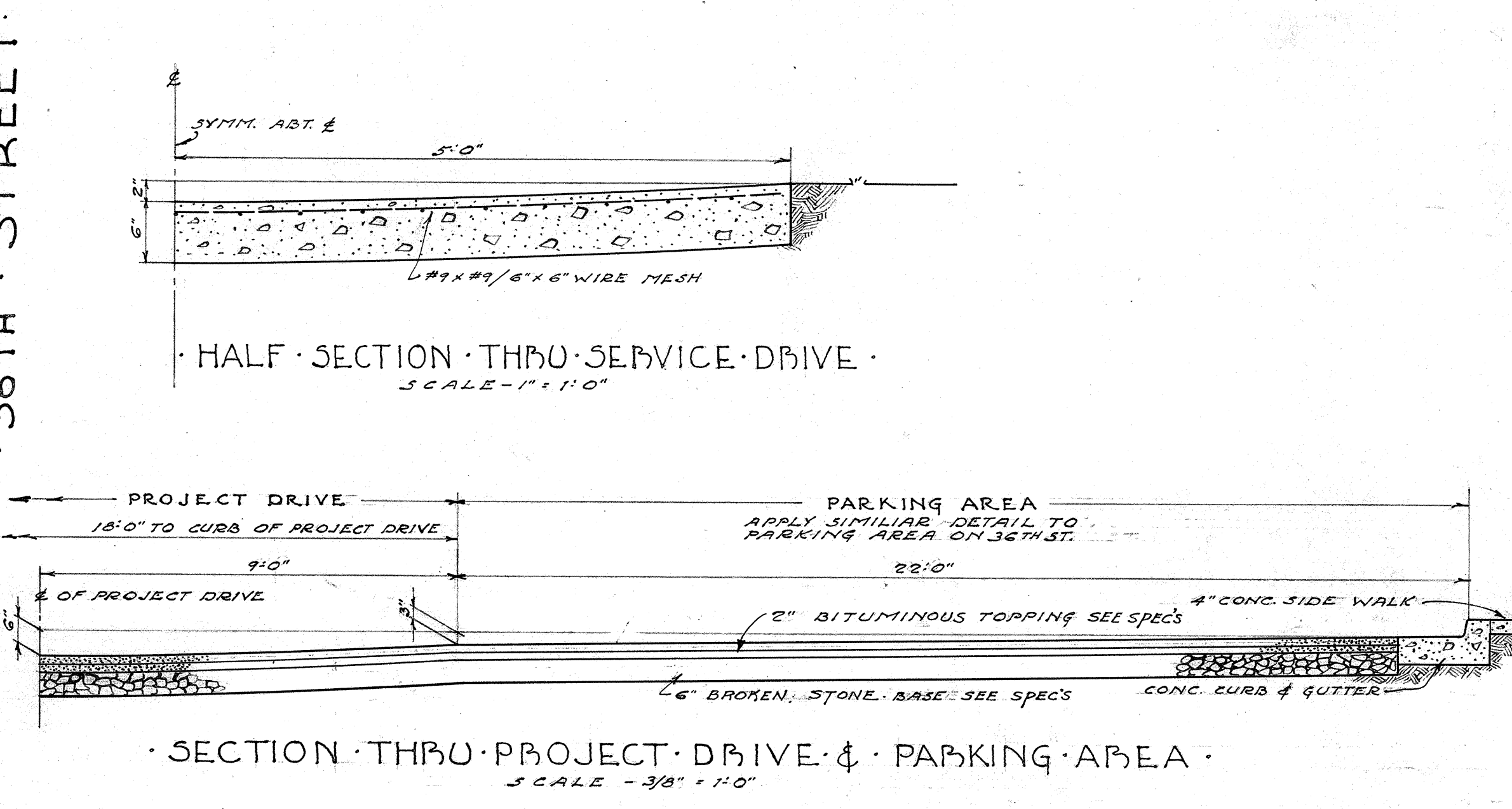
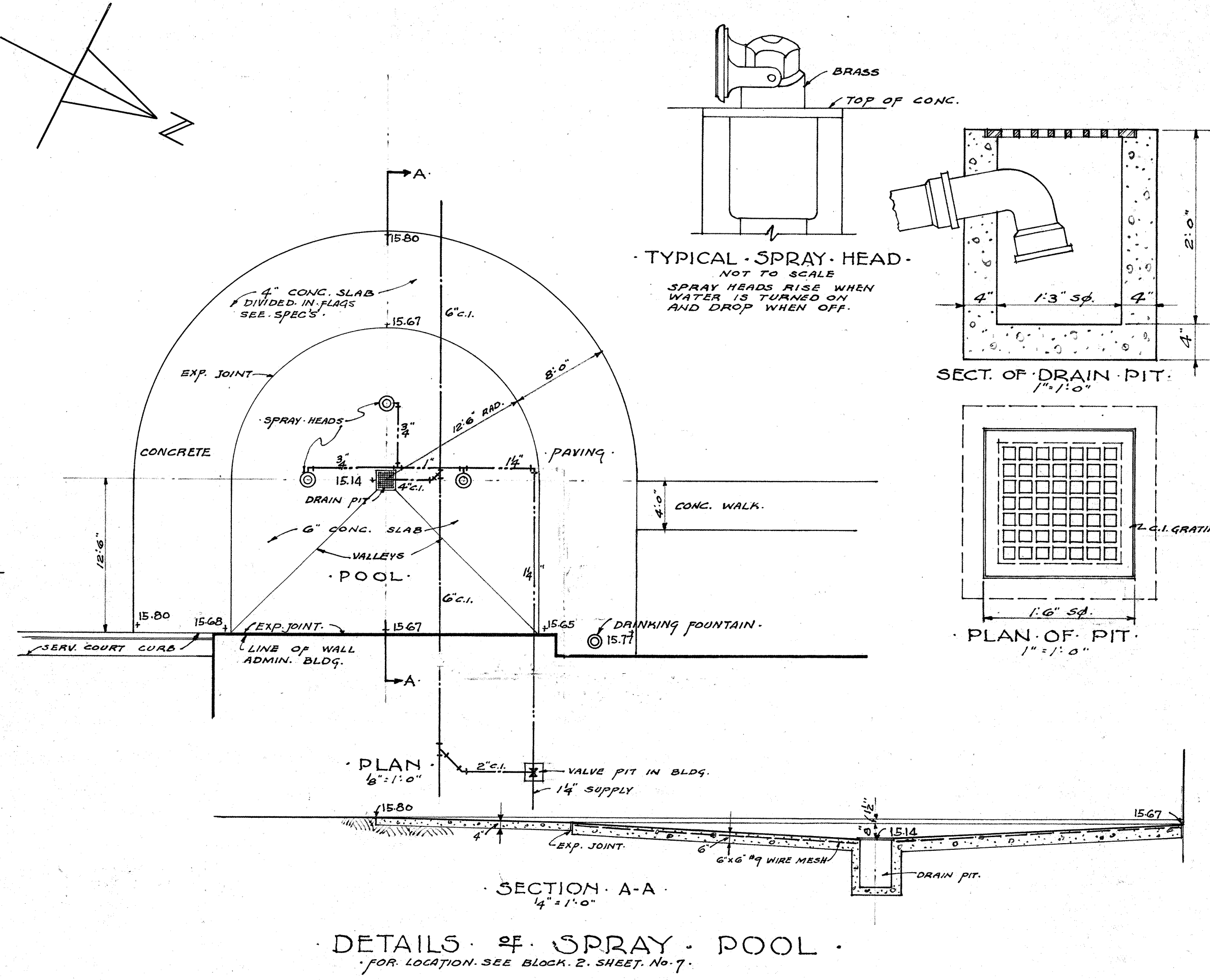
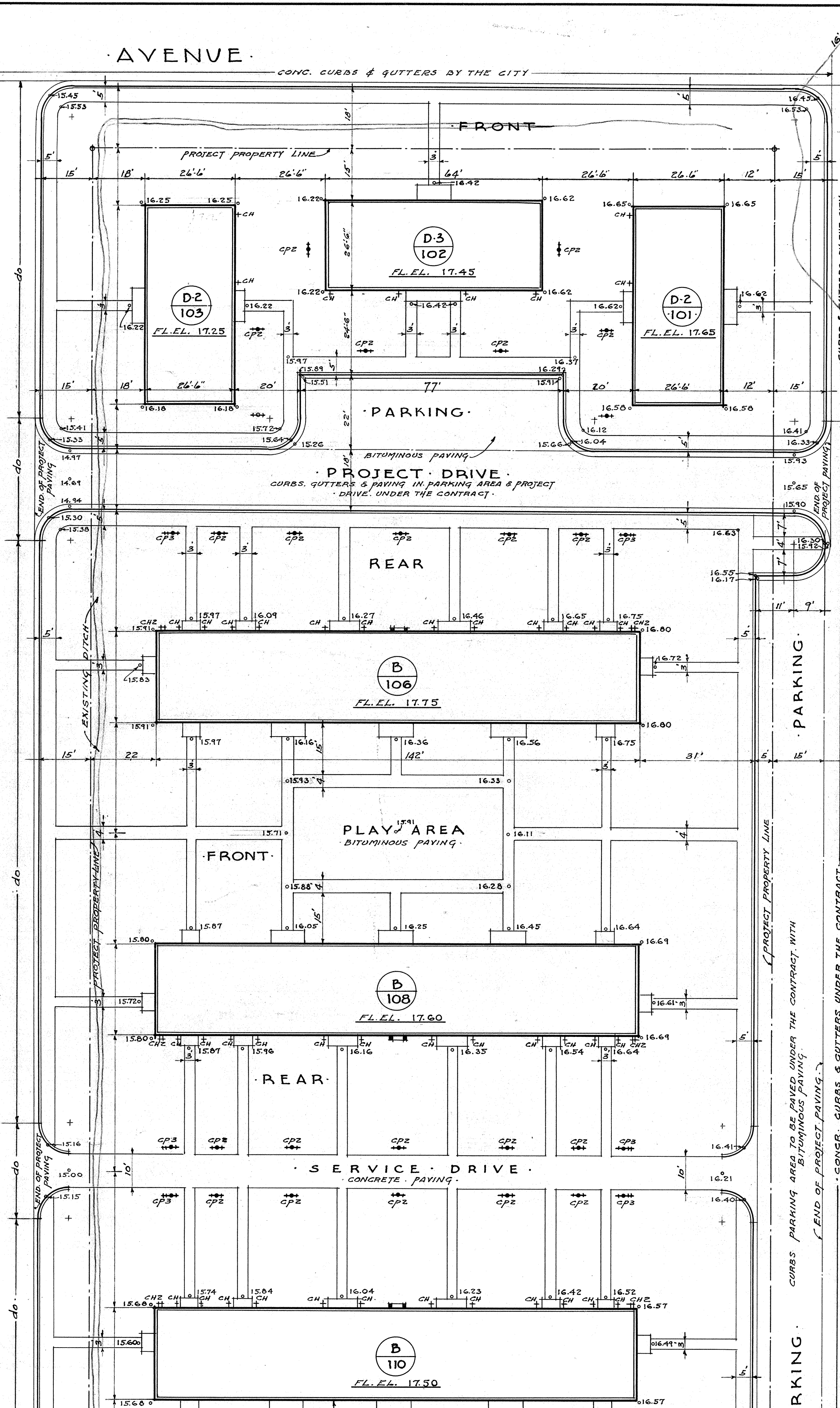
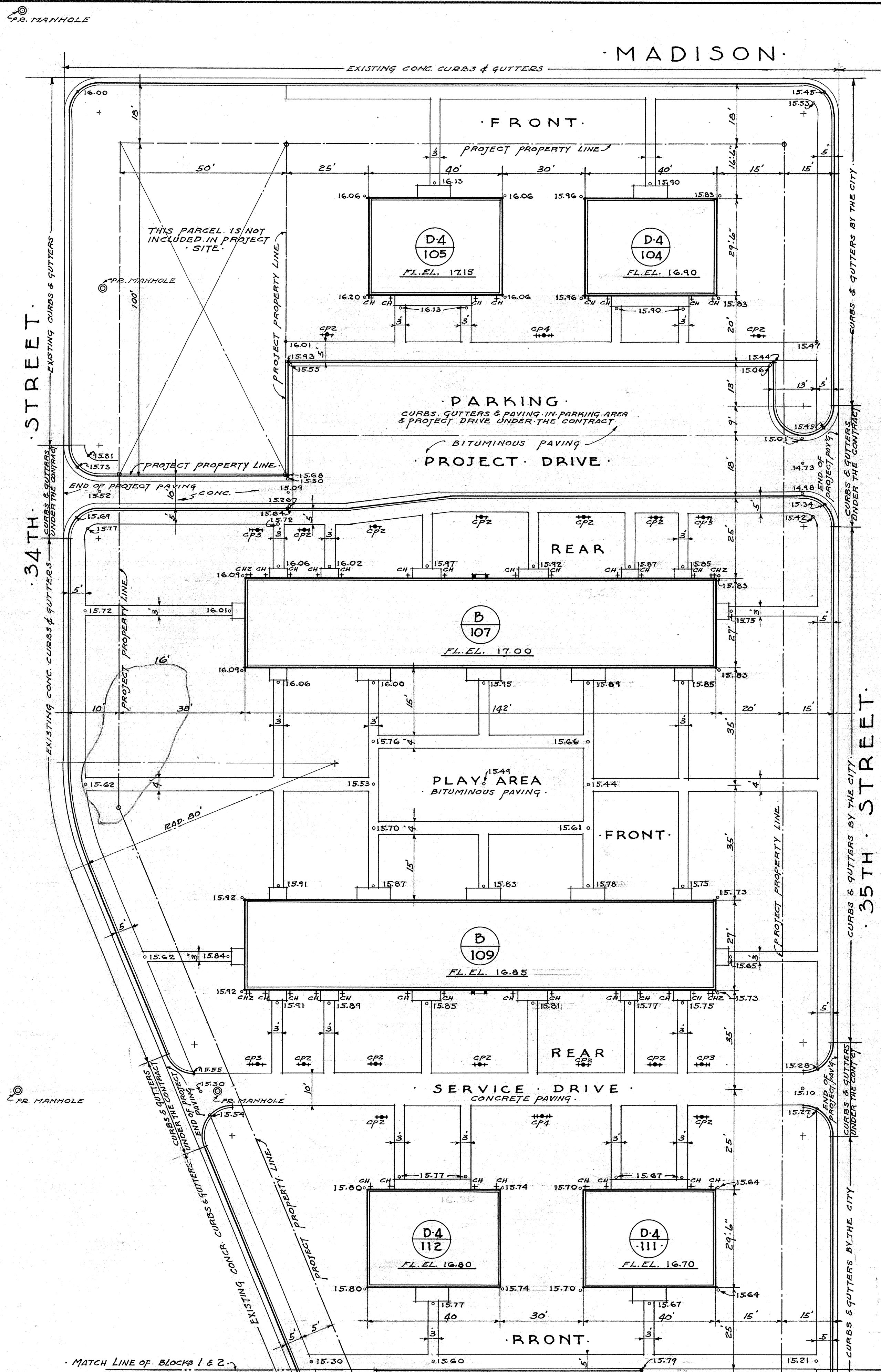
SCALE: 1 INCH = 50 FT.

STATISTICS:  
 AVERAGE NUMBER OF ROOMS PER DWELLING UNIT: 4.4  
 TOTAL SITE AREA: 880,703 sq. ft.  
 AREA COVERED BY BUILDINGS: 172,777  
 PERCENTAGE OF SITE AREA COVERED BY BUILDINGS: 19.6 PER CENT.

NOTE: LOCATIONS OF BUILDINGS, WALKS, RAMPS ETC. SHALL BE ESTABLISHED ACCORDING TO DIMENSIONS GIVEN AND IN NO CASE BY SCALE.  
 FOR DETAILED INFORMATION SEE SHEET Nos. 6, 7, 8 & 9.

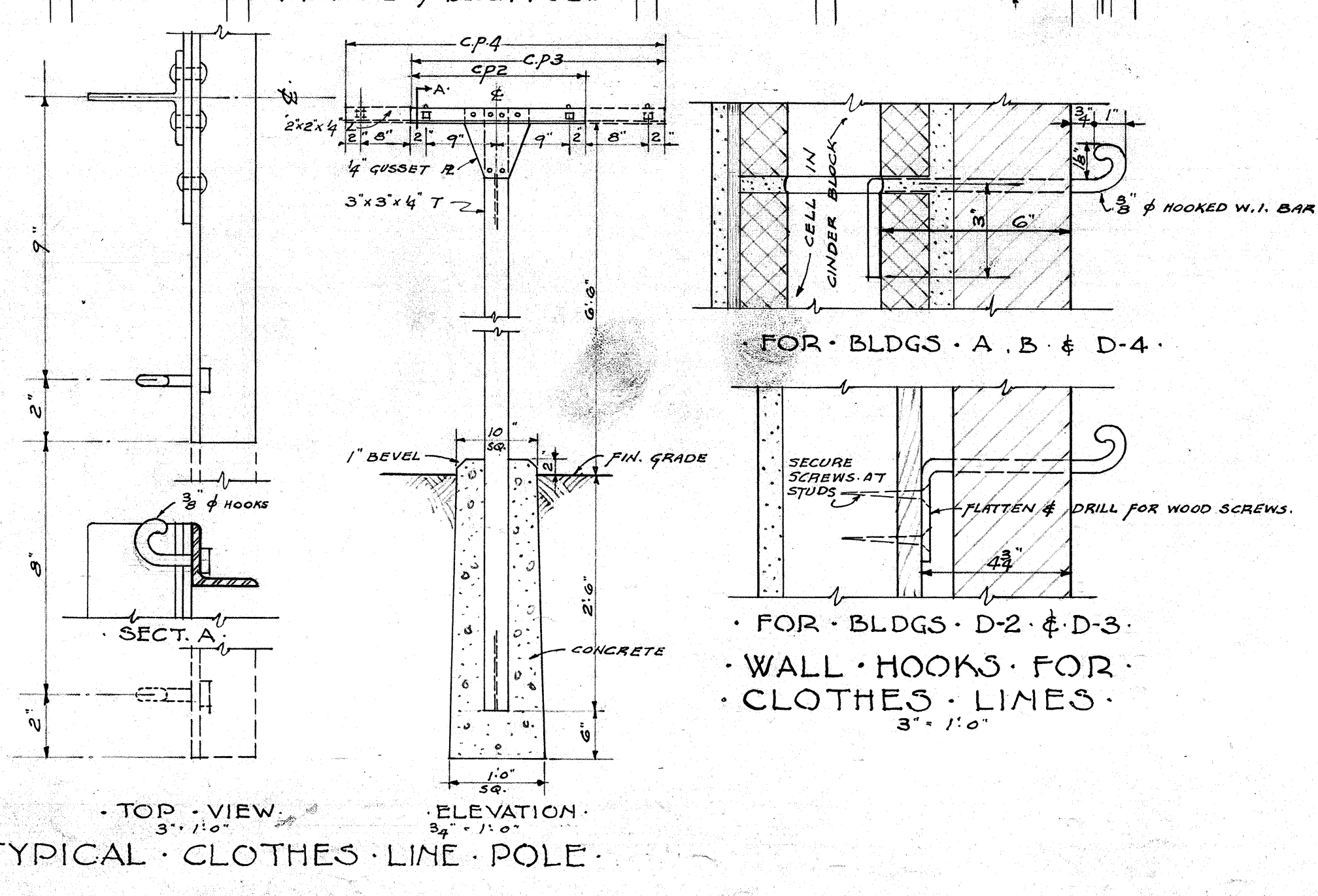
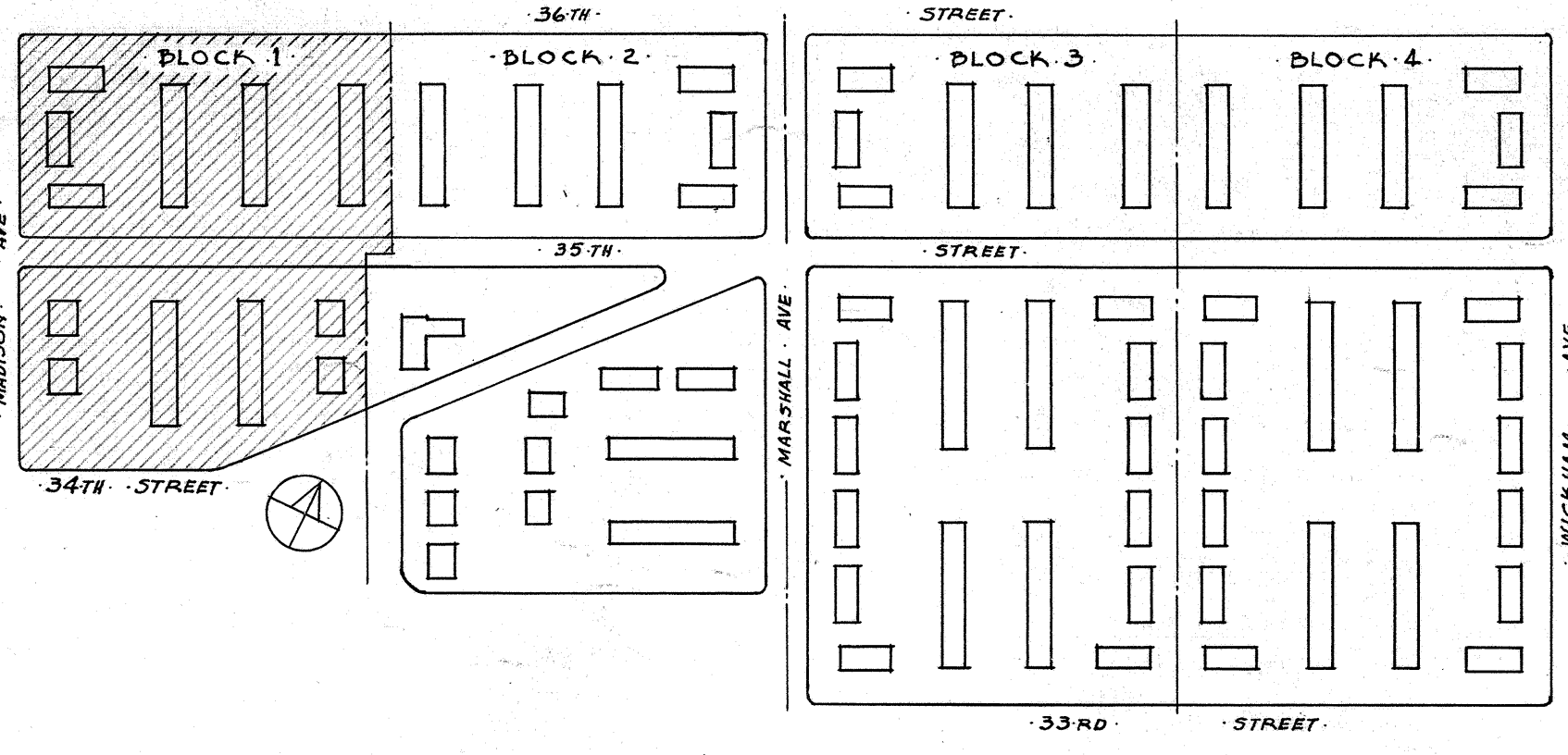
ARCHITECTURAL SITE PLAN  
 MARSHALL COURTS  
 PROJECT NO. VA. 3-2 NEWPORT NEWS, VA.  
 DATE: 8/20/40  
 WILLIAMS, COILE & PINNO, ARCHITECTS  
 408 MELSON BLDG. NEWPORT NEWS, VA.  
 DRAWN BY: B.A.P.  
 APPROVED BY: [Signature]  
 CHIEF ARCHITECT  
 CHECK'D BY: [Signature]  
 CHAIRMAN, HOUSING AUTHORITY  
 HOUSING AUTHORITY OF THE CITY OF NEWPORT NEWS, VIRGINIA  
 SHEET NO. 201  
 5





- LEGEND**
- 14 EXISTING GRADE CONTOURS LINE.
  - 13.56 FINISH GRADE ELEVATION.
  - FL. EL. 14.60 FINISHED FIRST FLOOR ELEVATION.
  - PROJECT PROPERTY LINE
  - LINE OF EXISTING STREET TO BE CLOSED.
  - CONCRETE WALK
  - CONCRETE CURB & GUTTER
  - BLOCK MATCH LINE.
  - WIRE FENCE.
  - CLOTHES LINE POLE 2 HOOKS
  - CLOTHES LINE POLE 3 HOOKS
  - CLOTHES LINE POLE 4 HOOKS
  - SINGLE CLOTHES HOOK AT WALL
  - TWO CLOTHES HOOKS AT WALL
  - EXISTING SAN. SEWER MANHOLE
  - NEW PROJECT SAN. SEWER MANHOLE

**SCALE: 1 INCH = 20 FT.**  
 NOTE: LOCATE ALL BUILDINGS, WALKS, DRIVES, ETC. BY GIVEN DIMENSIONS ONLY - DO NOT SCALE.



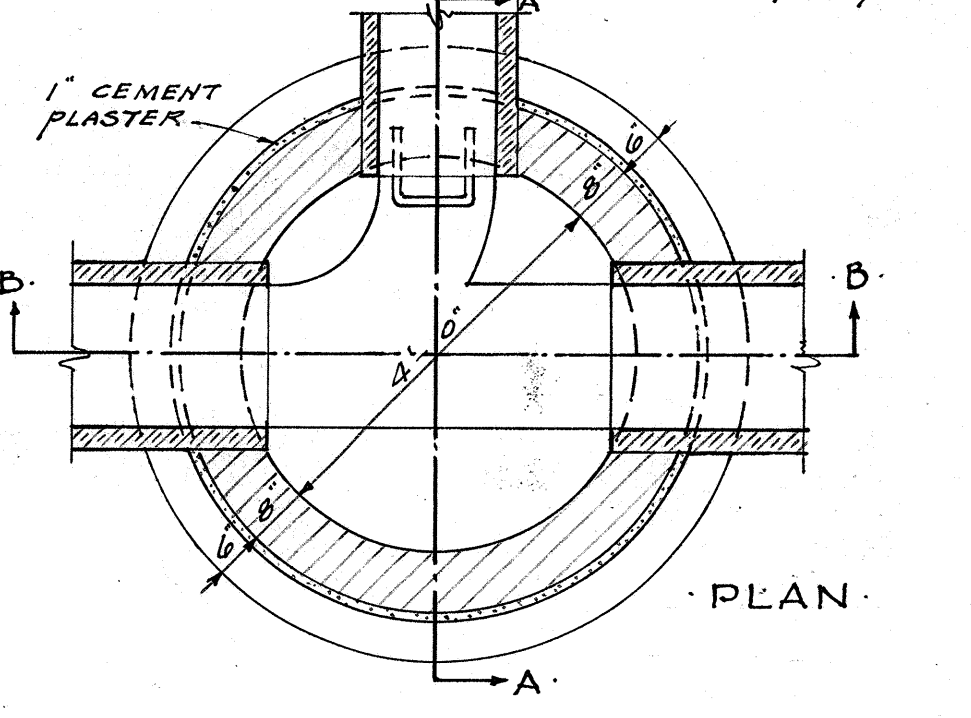
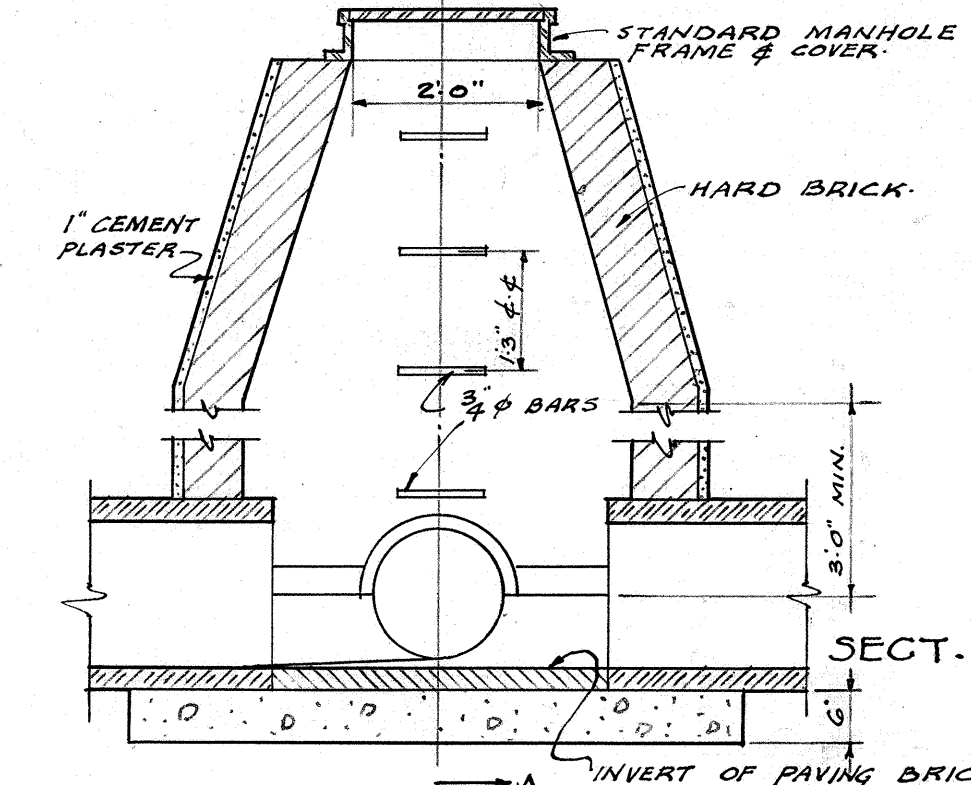
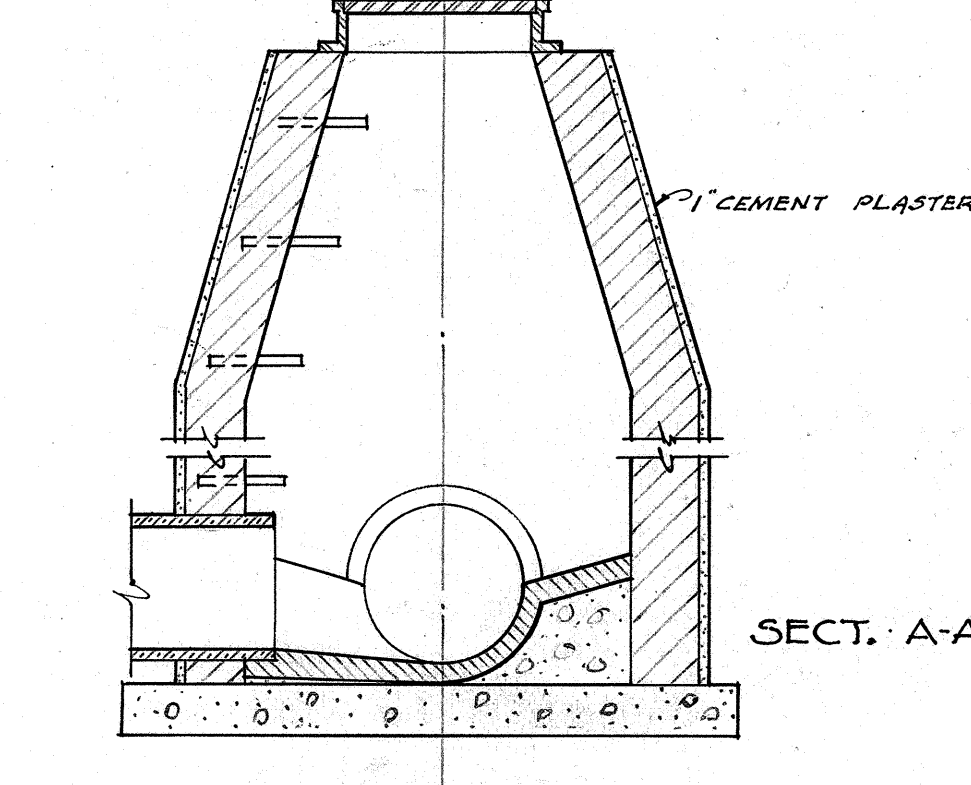
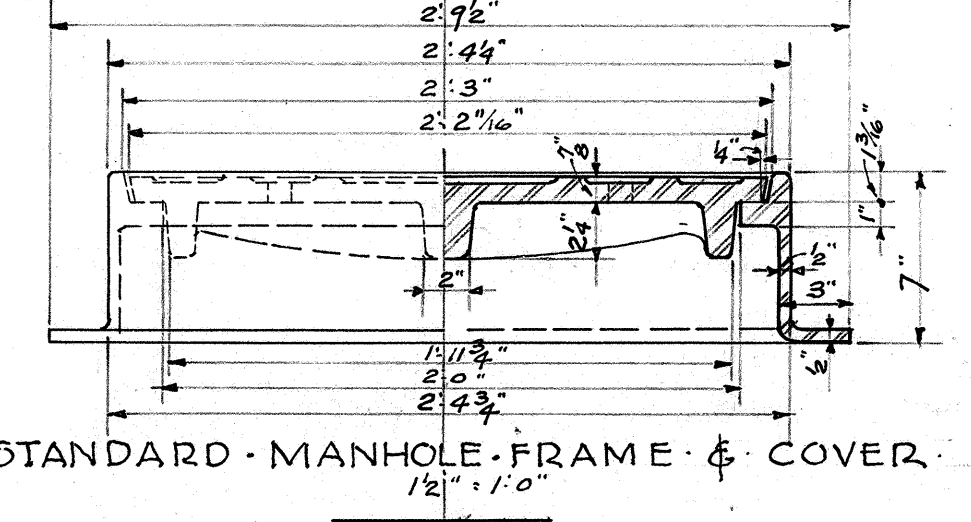
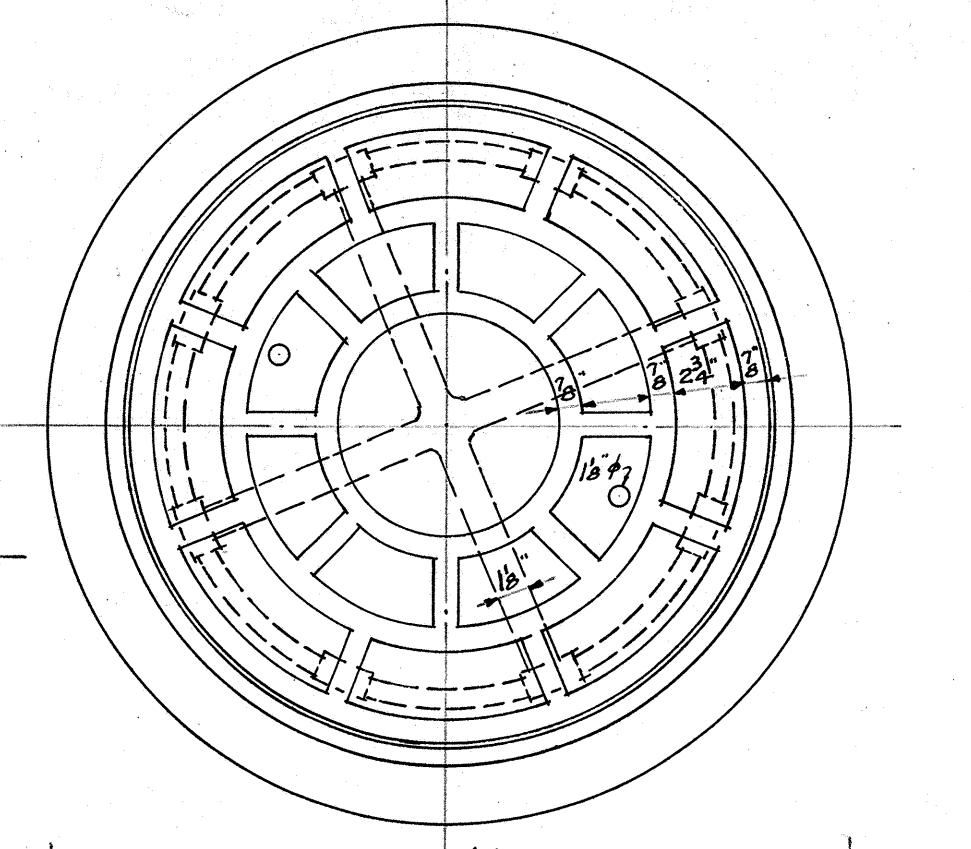
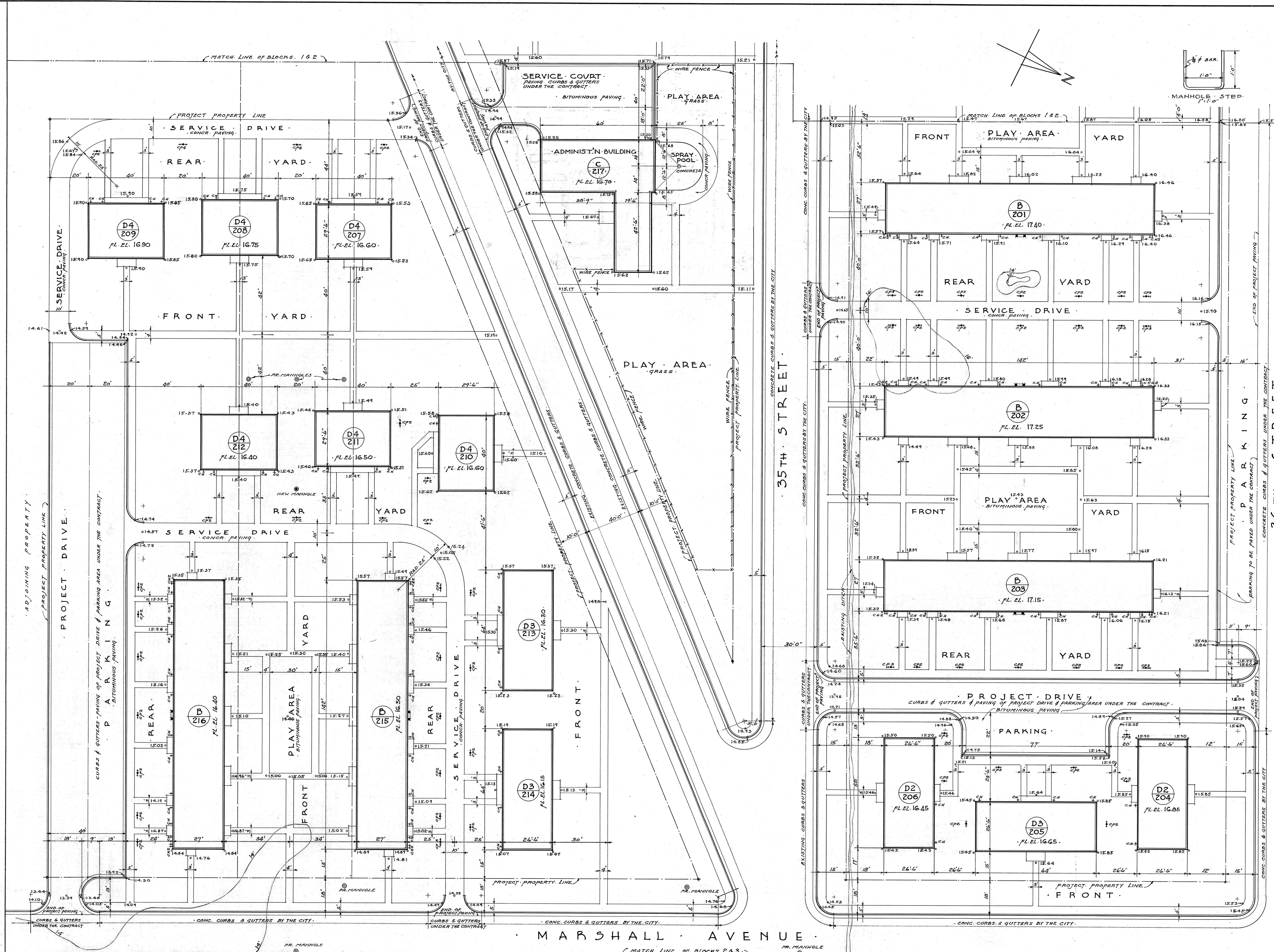
**NOTES:**  
 ALL CONCRETE CURBS & GUTTERS AND ALL CONCRETE SIDEWALKS & WALKS INSIDE AND OUTSIDE THE PROJECT PROPERTY LINES SHALL BE PART OF THE CONTRACT. EXCEPT CONCRETE CURBS & GUTTERS ON ADJOINING STREETS, TO REMAIN ON THE PLANS WILL BE DONE BY THE CITY AND ARE NOT PART OF THE CONTRACT.  
 RAISE OR LOWER EXISTING MANHOLES WITHIN THE PROJECT PROPERTY LINES TO MEET THE FINISH GRADES FOR COMPLETE SITE PLAN SEE SHEET NO. 5.  
 FOR UTILITIES SEE PLAN SEE SHEET NO. 24.

**SPECIAL NOTES:**  
 WHERE NEW CURBS & GUTTERS OCCUR IN EXISTING CURBS THE CONTRACTOR SHALL CUT OUT EXISTING WORK & INSTALL NEW WORK AS SHOWN.  
 ALL RADIUS OF CURBS AT INTERSECTIONS OF PROJECT SERVICE DRIVES & STREETS SHALL BE 7'0".

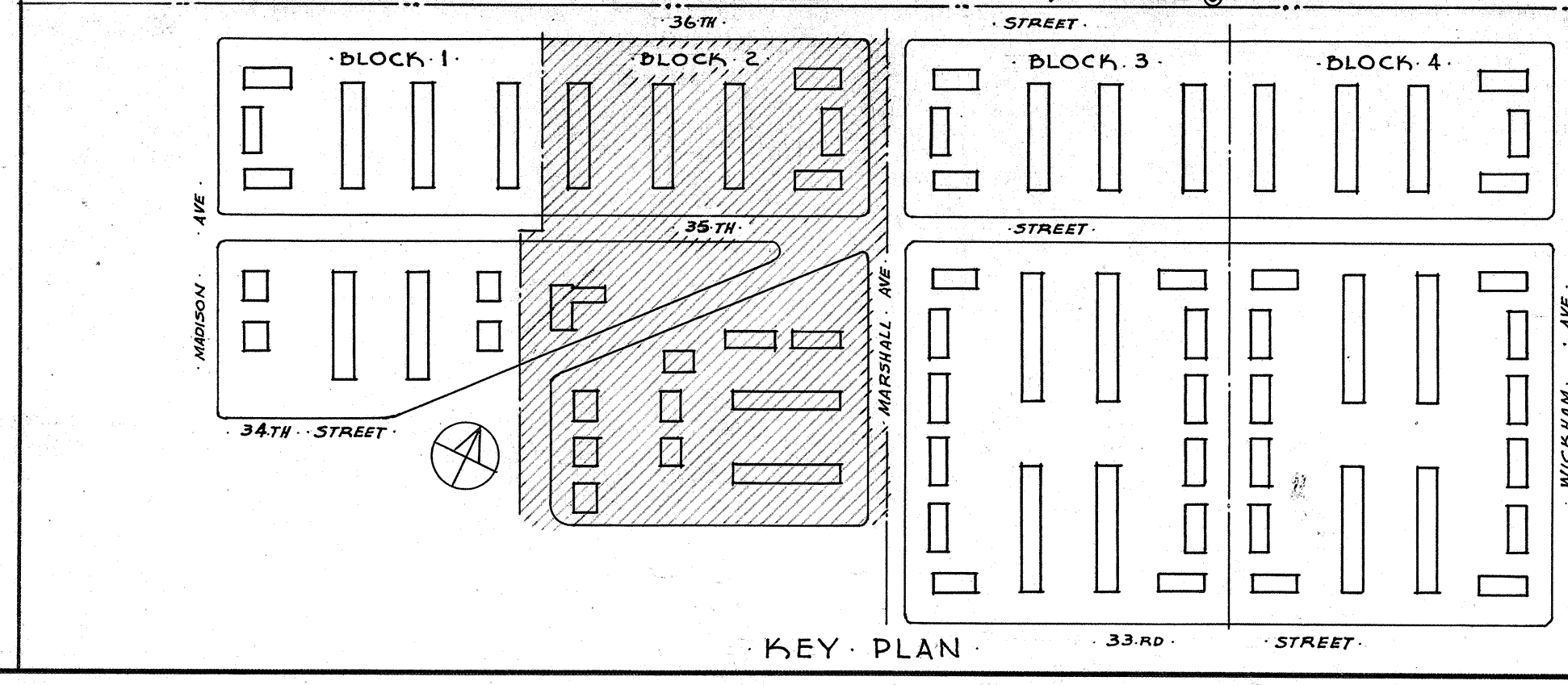
**PLAN OF BLOCK 1**  
**MARSHALL COURTS**  
 PROJECT NO. VA. 3-2  
 NEWPORT NEWS, VA.  
 DATE 8/20/40 WILLIAMS, COILE & PIPINO, ARCHITECTS  
 408 NELSON BLDG. NEWPORT NEWS, VA. 202  
 DRAWN BY B.A.P. APPROVED BY *Basel O. Pippin* CHIEF ARCHITECT  
 CHKD BY *W. H. ...* CHAIRMAN, HOUSING AUTHORITY  
 SHEET NO. 6

**HOUSING AUTHORITY OF THE CITY OF NEWPORT NEWS, VIRGINIA**





TYPICAL MANHOLE

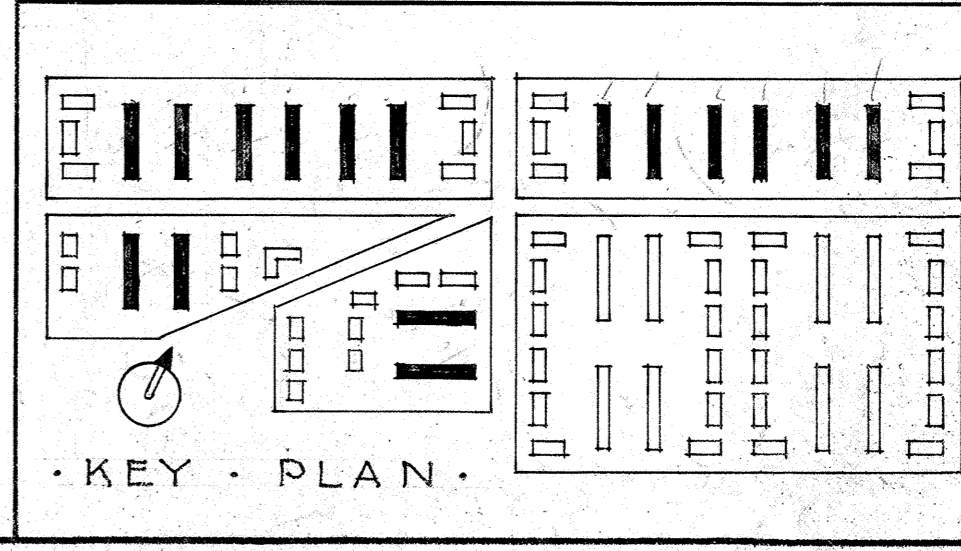
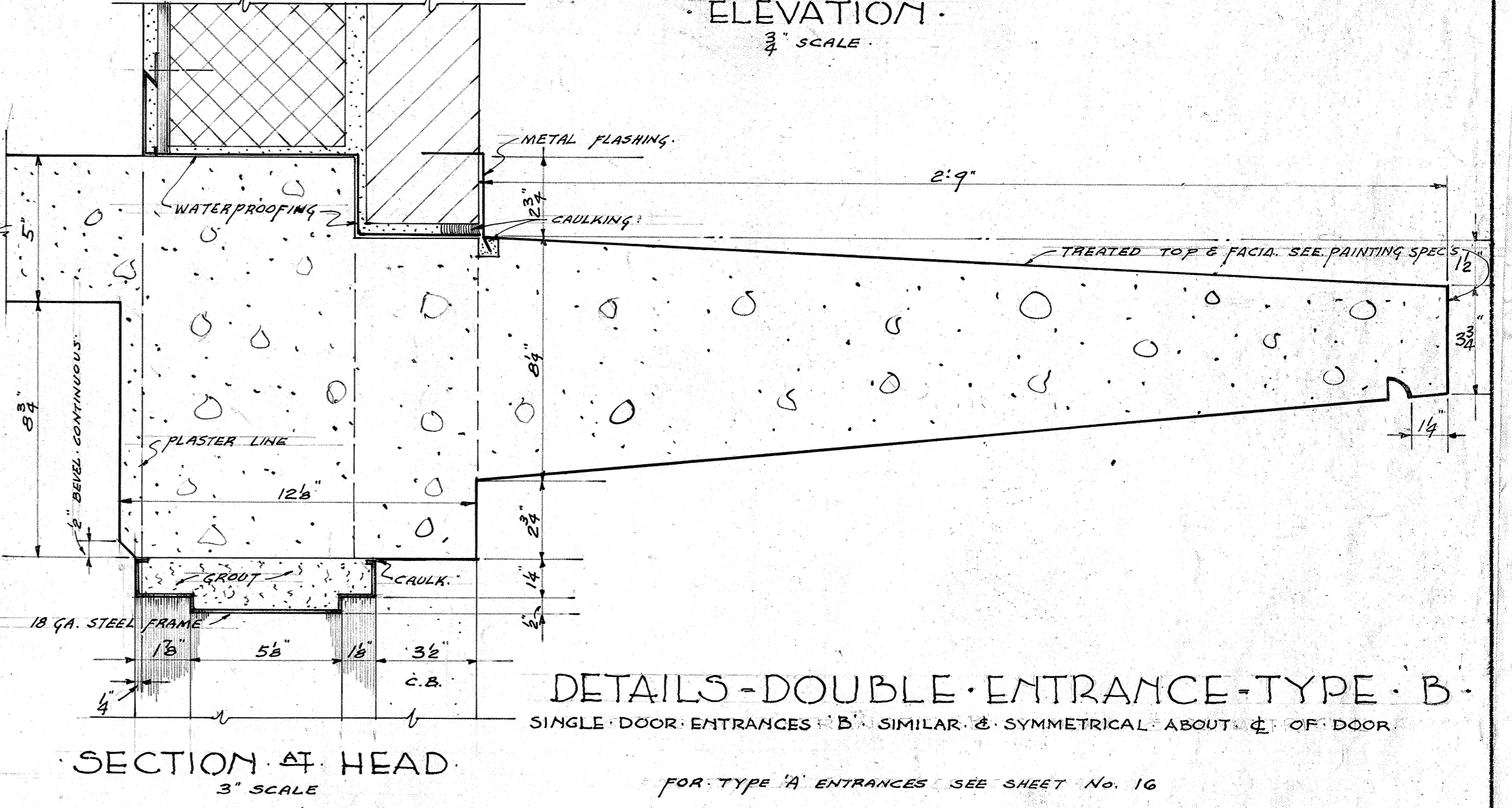
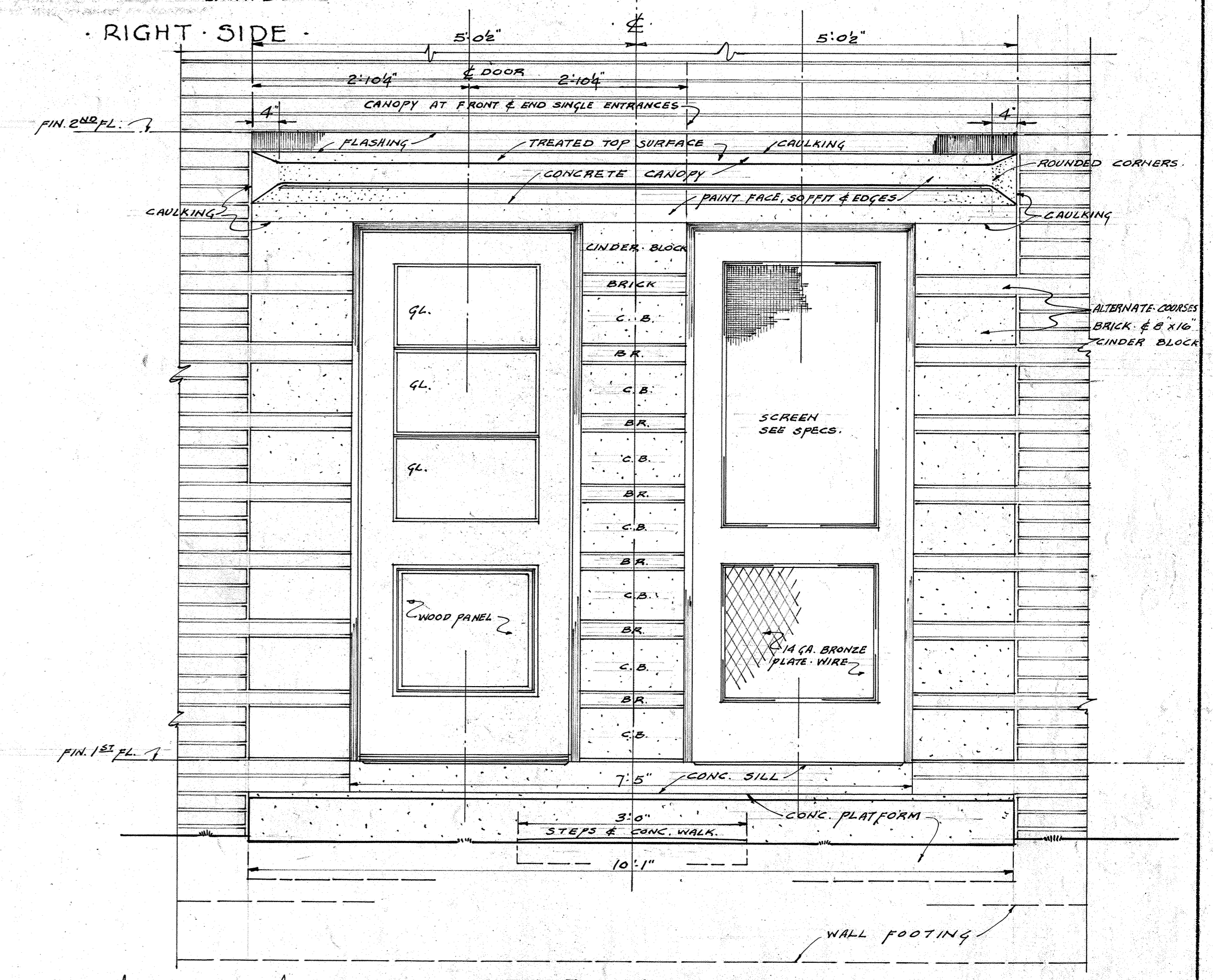
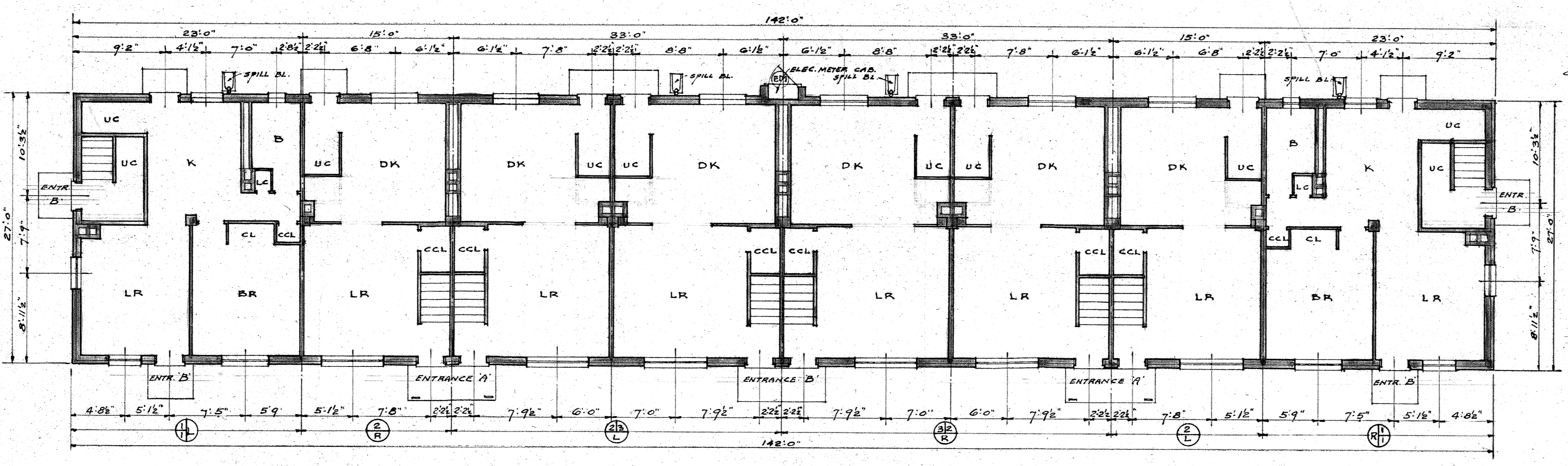
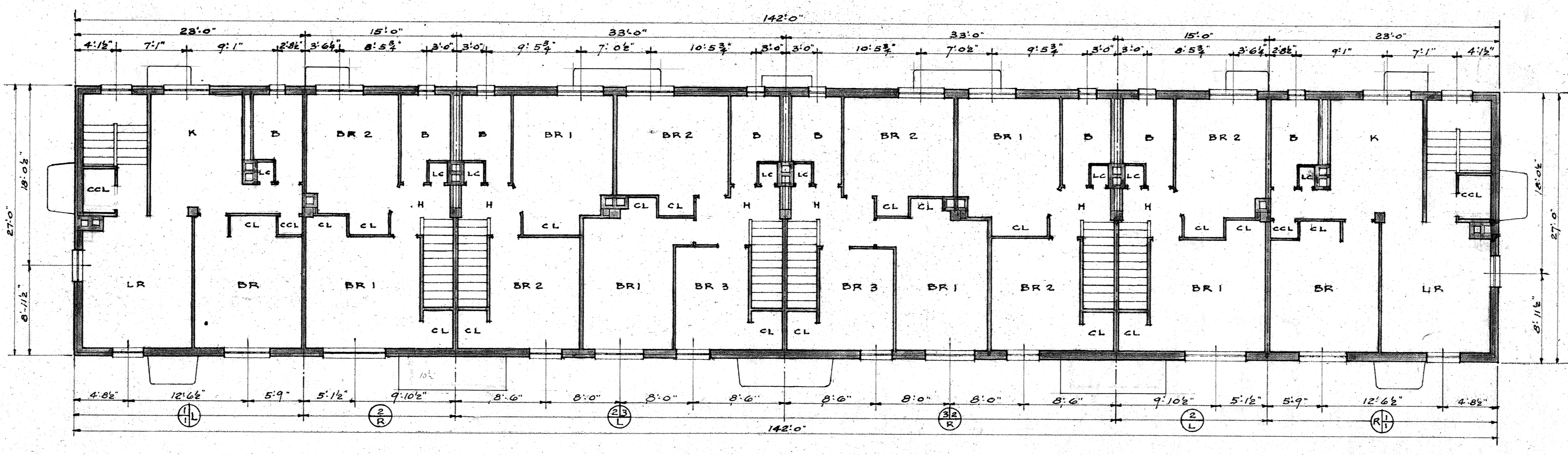
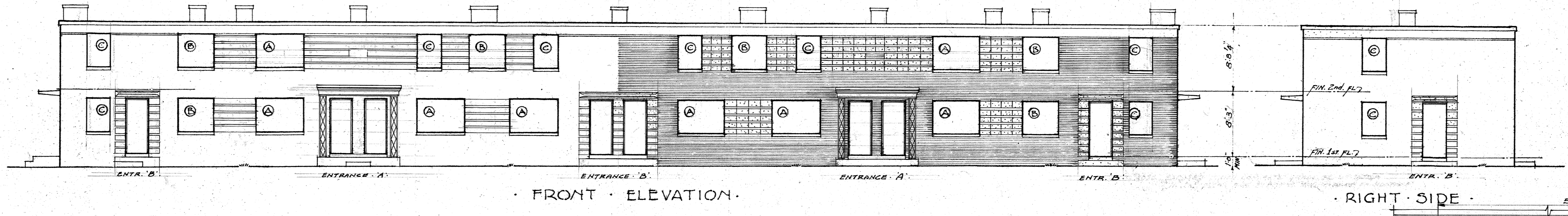
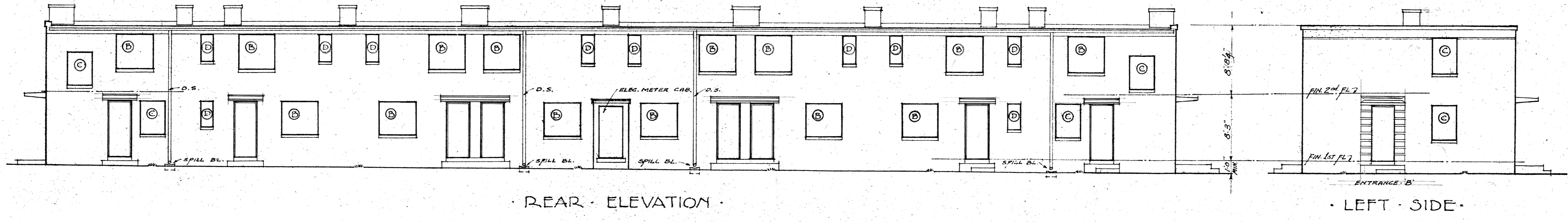


SCALE: 1" = 20 FT.  
 NOTE: LOCATE BUILDINGS, WALKS, DRIVES ETC. BY GIVEN DIMENSIONS ONLY AND IN NO CASE BY SCALE.

NOTES:  
 - FOR LEGEND OF INDICATIONS & GENERAL NOTES SEE SHEET NO. 8.  
 - WHERE NEW CURBS & GUTTERS OCCUR IN EXISTING CURBS THE CONTR'OR SHALL CUT OUT EXISTING WORK & INSTALL NEW WORK AS SHOWN.  
 - ALL REAR OF CURBS AT INTERSECTIONS OF PROJECT-SERVICE DRIVES AND STREETS SHALL BE 7'-0".

PLAN OF BLOCK 2  
 MARSHALL COURTS  
 PROJECT NO. VA. 32  
 NEWPORT NEWS, VA.  
 DATE 8/20/40 WILLIAMS, COLE & PIPINO, ARCHITECTS A-3  
 40 WELSON BLDG. NEWPORT NEWS, VA. 203  
 DRAWN BY APPROVED BY *Asst. Chief* CHIEF ARCHITECT  
 CHK'D BY *Chairman* CHAIRMAN, HOUSING AUTHORITY  
 SHEET NO. 7  
 HOUSING AUTHORITY OF THE CITY OF NEWPORT NEWS, VIRGINIA

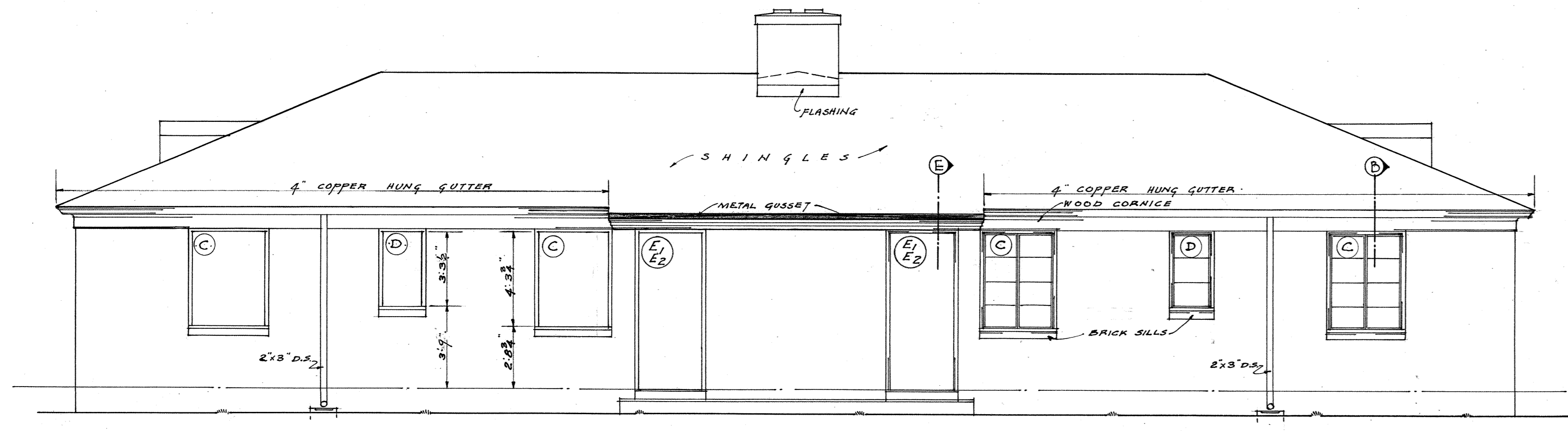




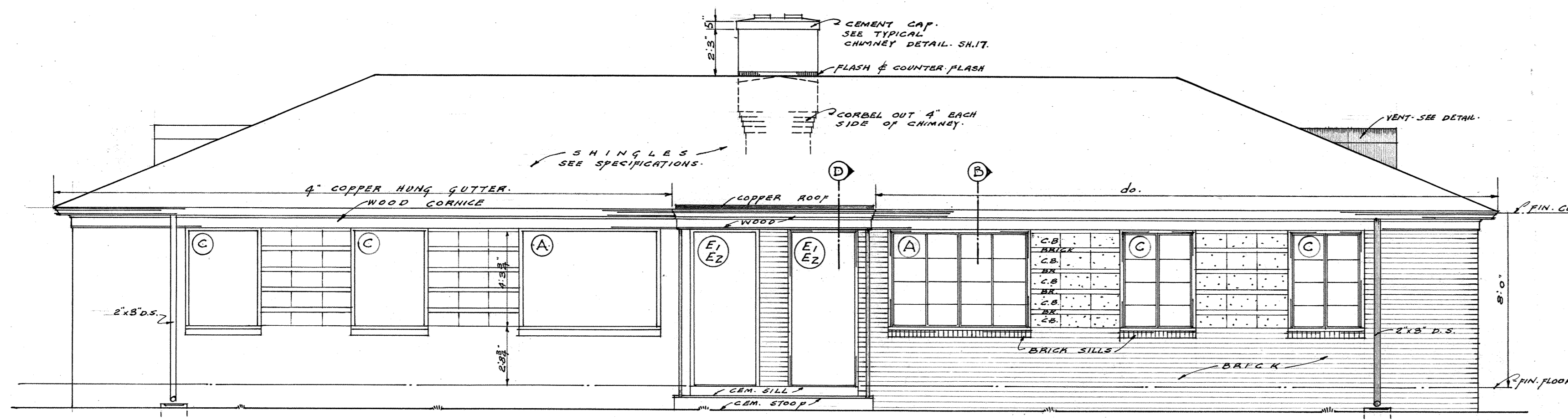
|  |   |
|--|---|
| <b>BUILDING B</b> (16 BLOCS. THUS)                 |   |
| <b>MARSHALL COURTS</b>                             |   |
| DATE: 8/24/40                                      | PROJECT NO. VA-32 NEWPORT NEWS, VA.                     |
| DRAWN BY: J.H.S.                                   | WILLIAMS, COILE & PIPINO, ARCHITECTS, NEWPORT NEWS, VA. |
| APPROVED BY: [Signature]                           | CHIEF ARCHITECT   |
| CHECKED BY: [Signature]                            | CHAIRMAN, HOUSING AUTHORITY                             |
| HOUSING AUTHORITY OF THE CITY OF NEWPORT NEWS, VA. |   |

207  
SHEET NO. 11

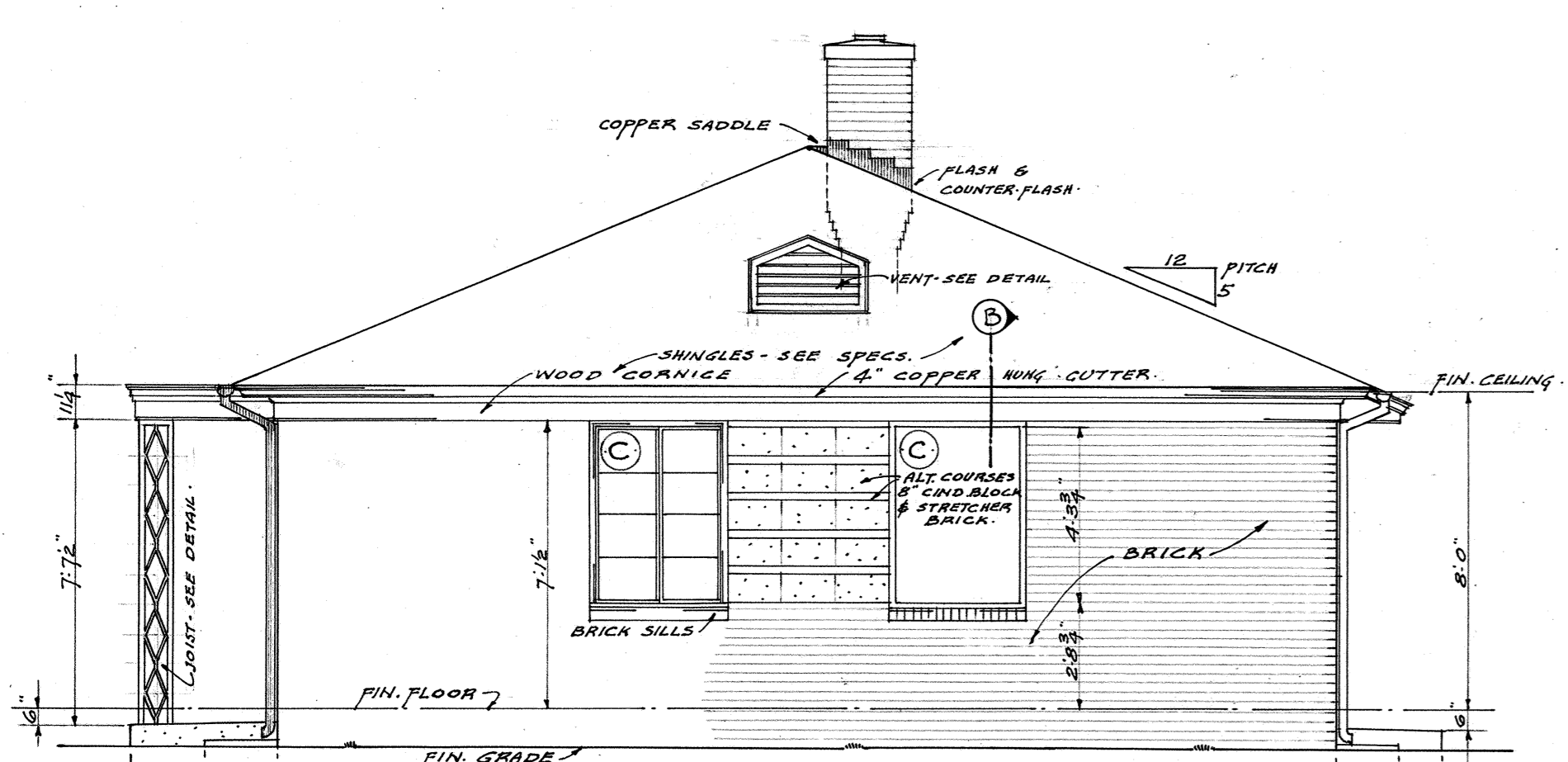




REAR ELEVATION

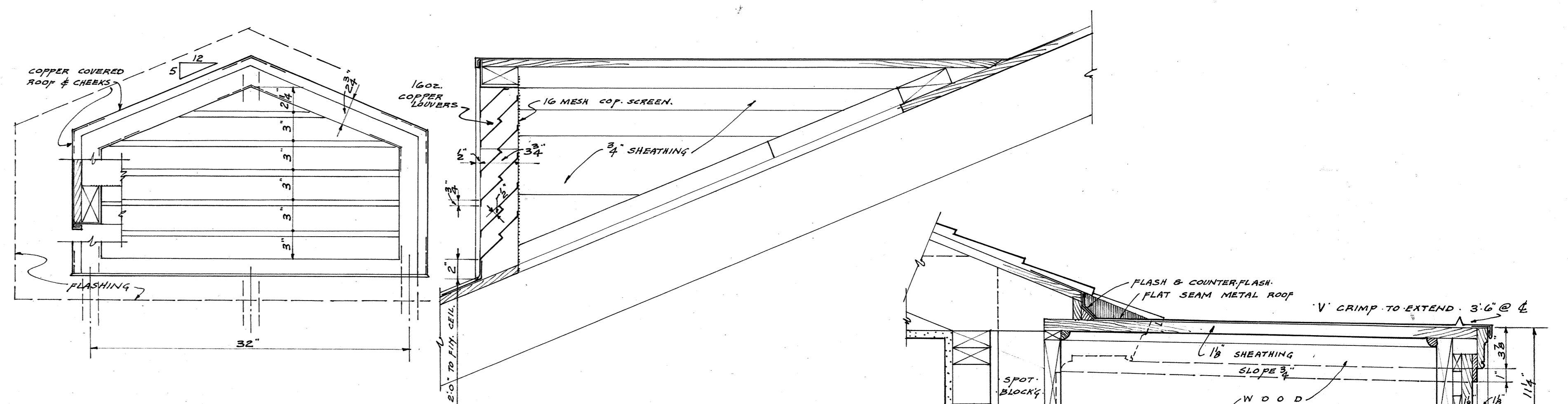


FRONT ELEVATION

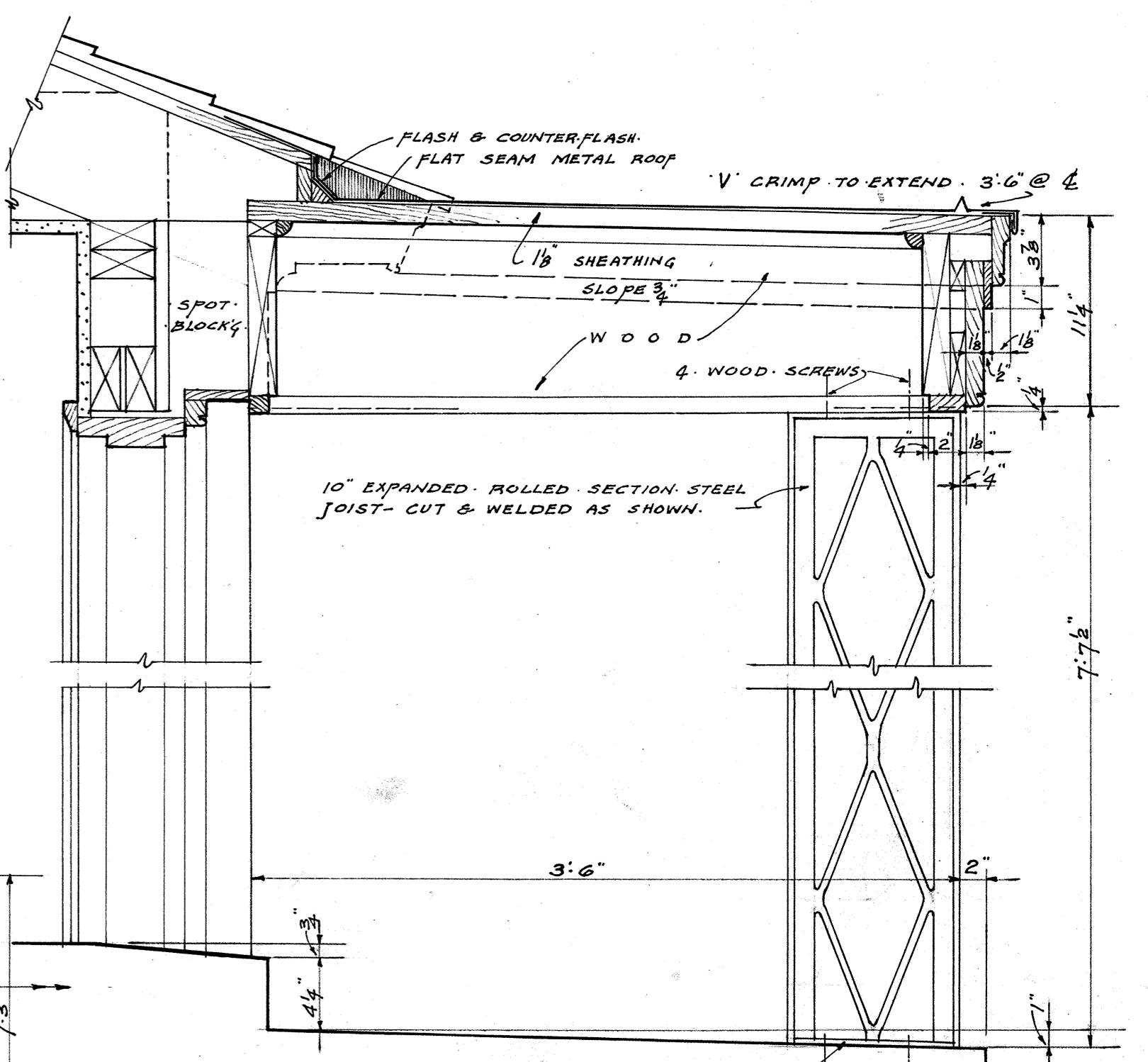


END ELEVATION  
OPPOSITE END IDENTICAL  
REVERSED

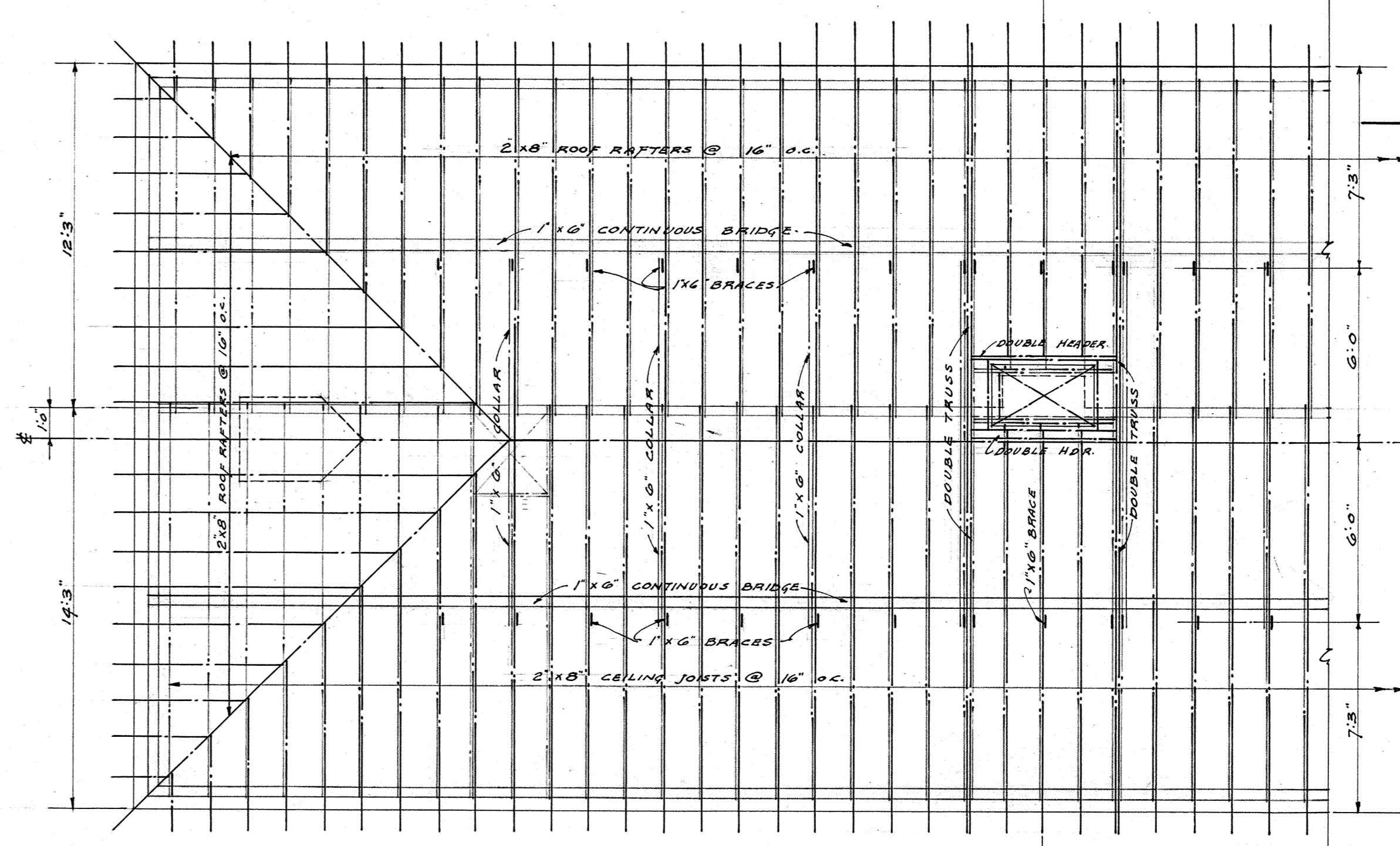
| SPACE   | SCHEDULE OF FINISHES - D-2 & D-3 |   |   |   |   |   |   |   |   |   |   |   |
|---------|----------------------------------|---|---|---|---|---|---|---|---|---|---|---|
|         | L                                | R | A | D | U | C | U | C | U | C | U | C |
| FLOOR   | C                                | C | C | C | C | C | C | C | C | C | C | C |
| WALLS   | C                                | C | C | C | C | C | C | C | C | C | C | C |
| CEILING | C                                | C | C | C | C | C | C | C | C | C | C | C |
| TRIM    | C                                | C | C | C | C | C | C | C | C | C | C | C |



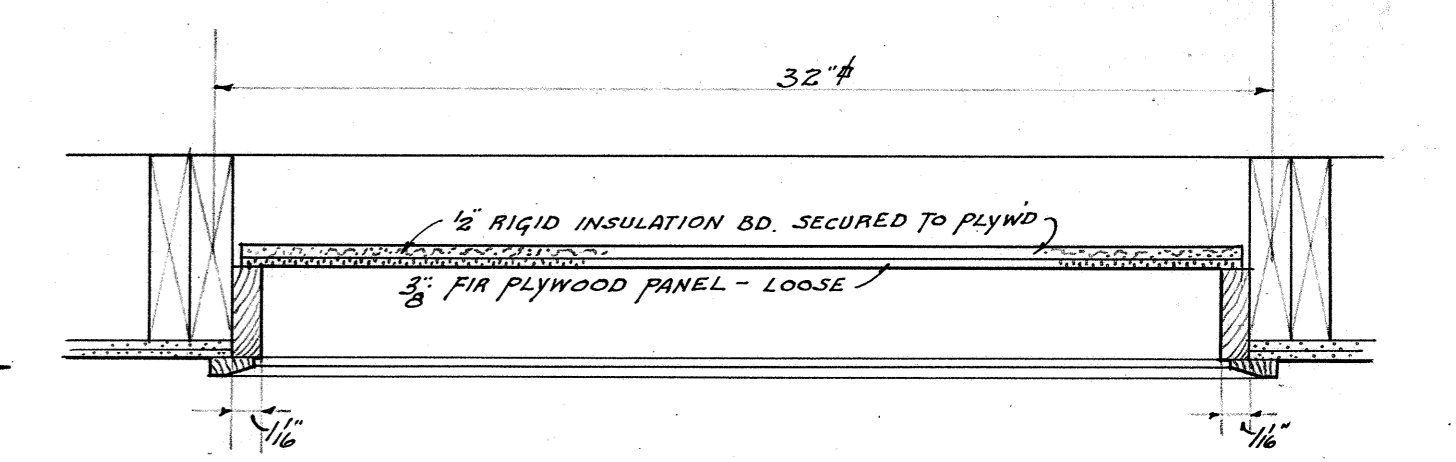
DETAIL OF ROOF VENTILATORS  
1/2" SCALE



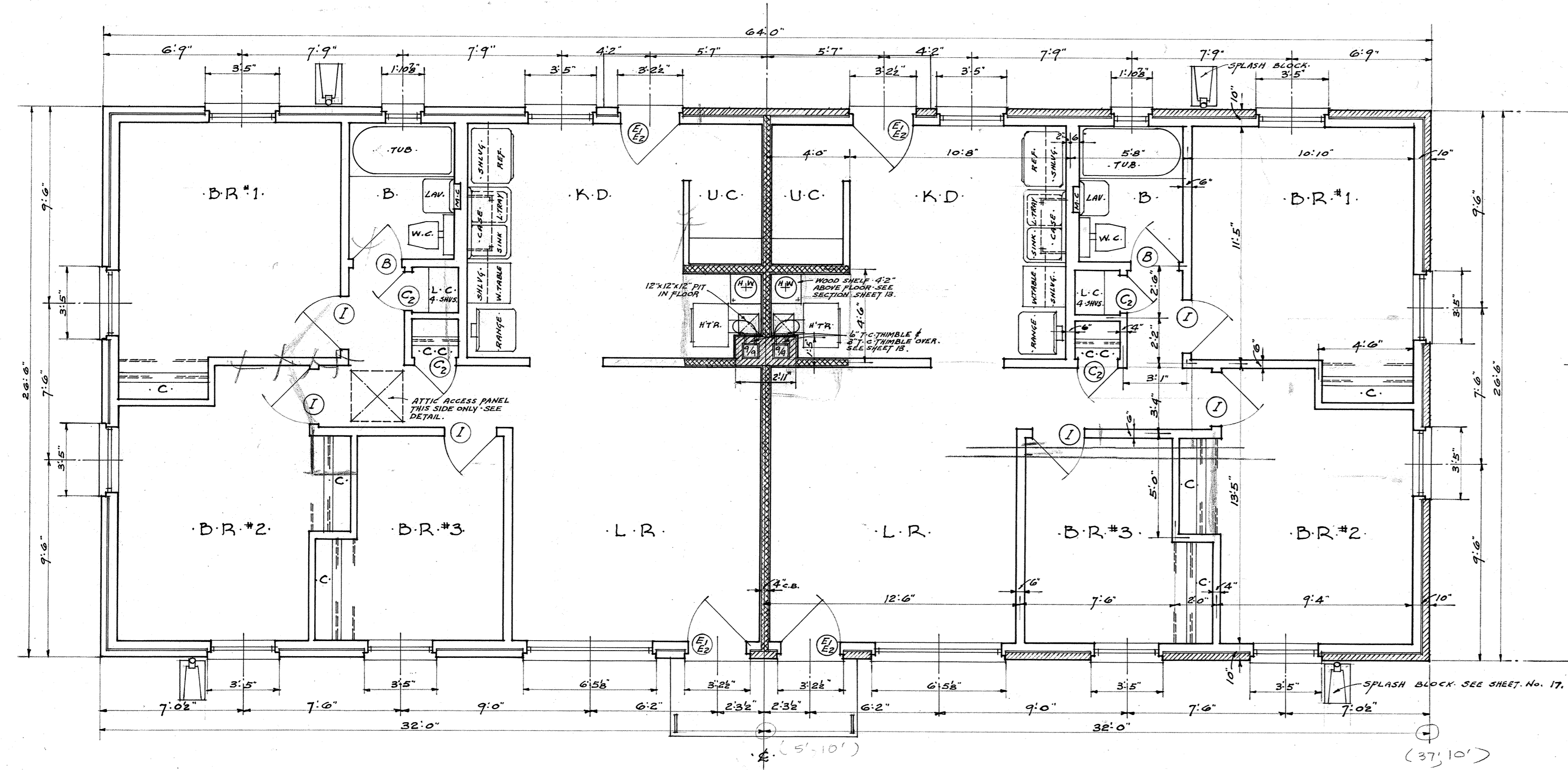
SECTION D  
AT ENTRANCE  
1/2" SCALE



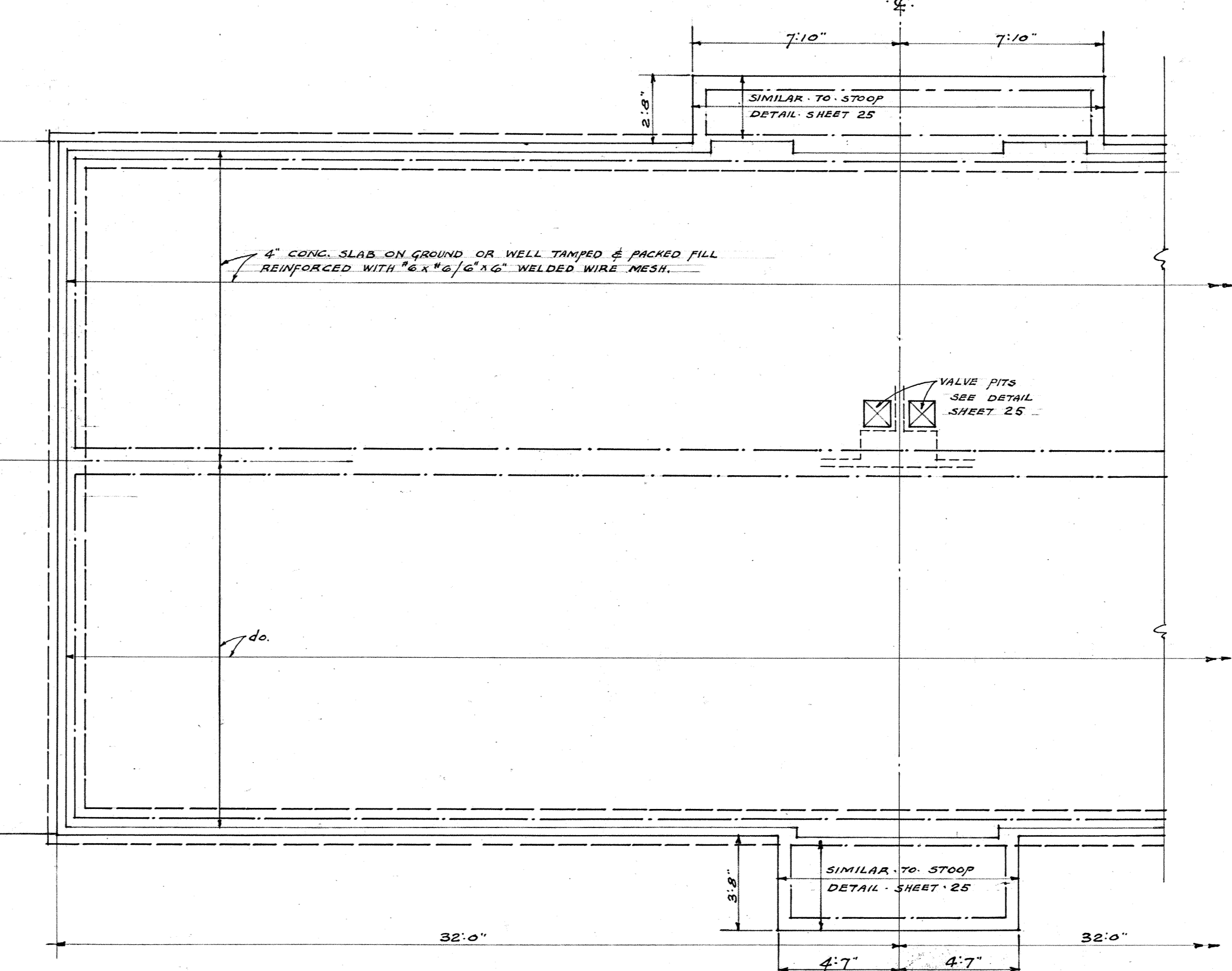
ROOF & CEILING FRAMING PLAN  
1/4" SCALE



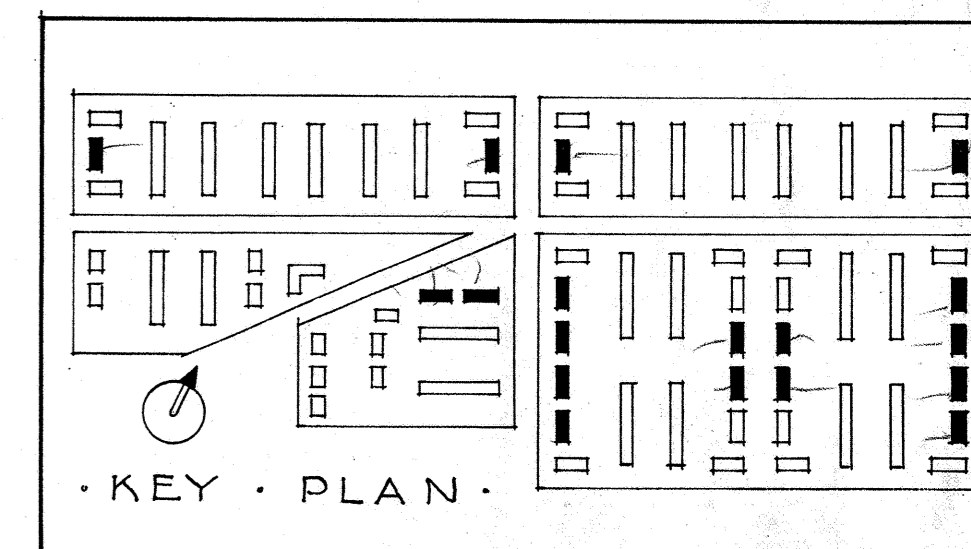
SECTION THRU ATTIC SCUTTLE  
FOR BUILDINGS D-2 & D-3  
SCALE 1/2" = 1'-0"



FLOOR PLAN  
SCALE: 1/4" = 1'-0"



FOOTING & FLOOR FRAMING PLAN  
1/4" SCALE



KEY PLAN

NOTES:  
WALL SECTIONS 'D' & 'E' SEE DETAILS SHEET NO. 13.  
TYPICAL CROSS SECTION - SEE SHEET NO. 13.  
INTERIOR DOOR FRAME & TRIM - SEE DETAIL SHEET NO. 13.  
DOORS & DETAILS - SEE SCHEDULE SHEET NO. 18.  
WINDOWS - SEE SCHEDULE SHEET NO. 18.  
CLOSET EQUIPMENT - SEE TYPICAL DETAILS SHEET NO. 18.  
KITCHEN SHELVING, ETC. - SEE SHEET NO. 18.  
BATH ROOM DETAIL - SEE SHEET NO. 18.

18 BUILDINGS THIS  
**BUILDING D-3**

**PLANS, ELEVATIONS & DETAILS**  
**MARSHALL COURTS**

DATE: 8/20/40  
DRAWN BY: J.H.S.  
CHK'D BY:

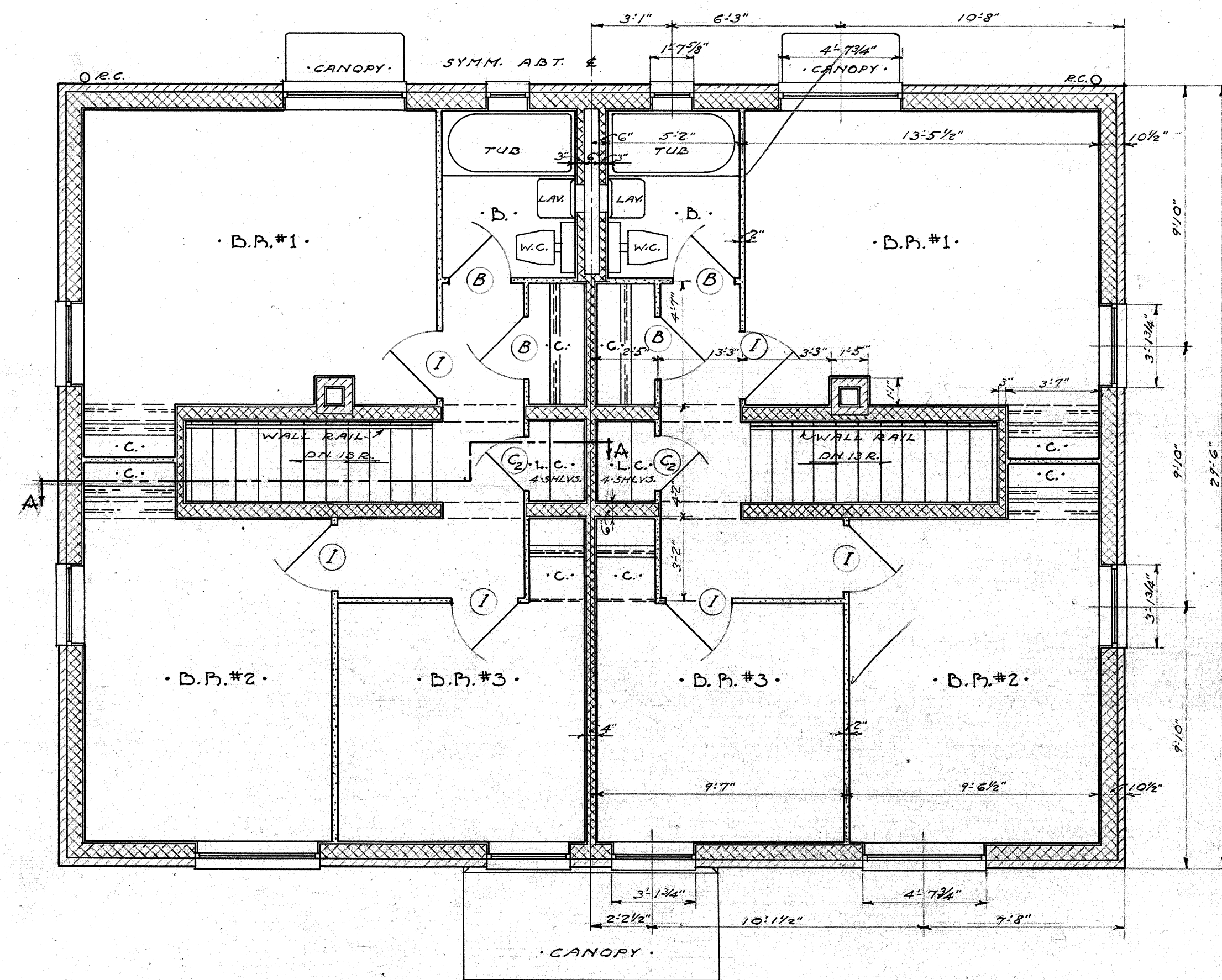
WILLIAMS, COILE & PIPINO, ARCHITECTS  
408 NELSON BLDG.  
NEWPORT NEWS, VA.

APPROVED BY: *James A. Phipps*  
CHIEF ARCHITECT  
CHAIRMAN, HOUSING AUTHORITY

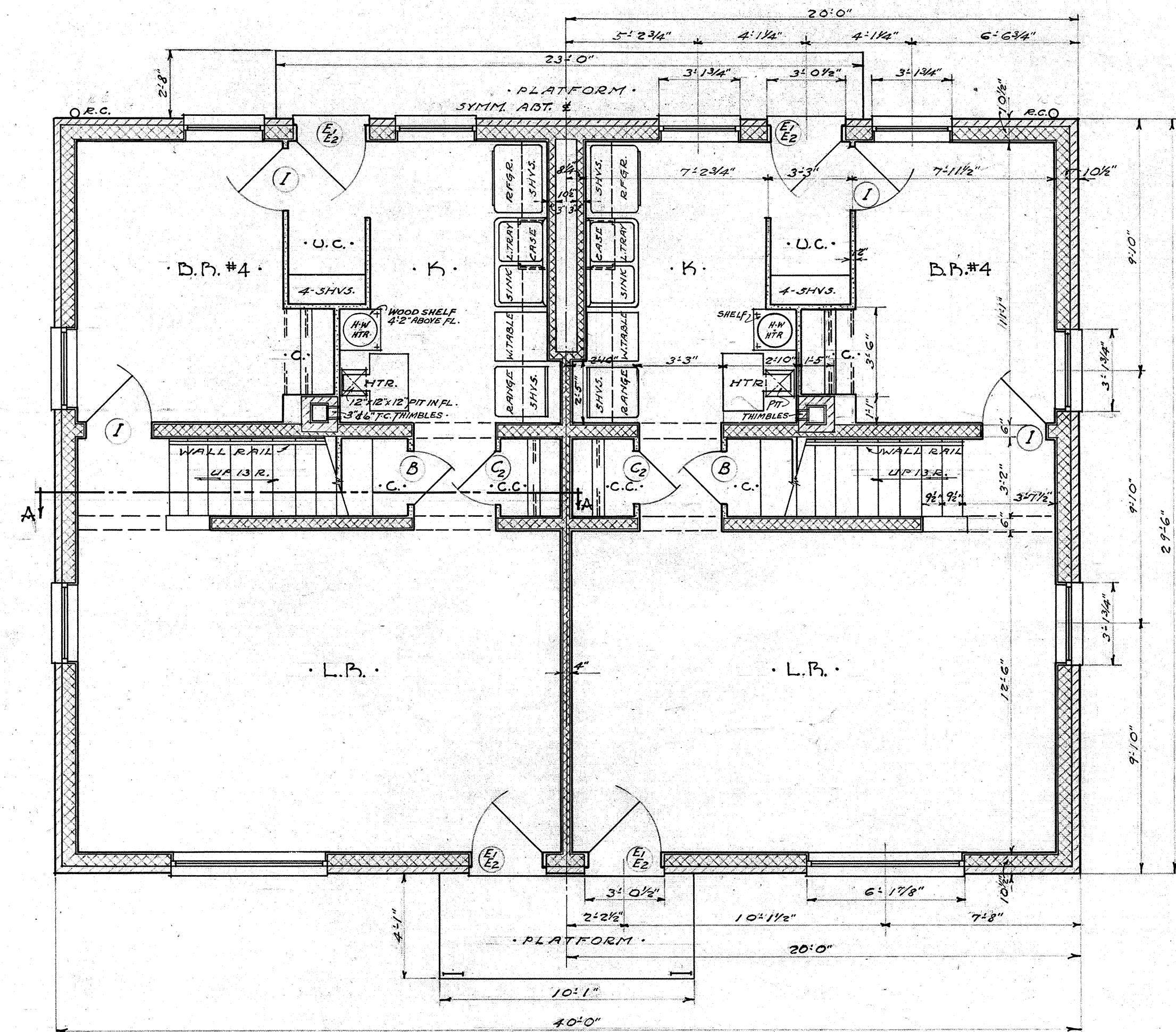
PROJECT NO. VA. 3-1  
NEWPORT NEWS, VA.  
SHEET NO. **210**  
**14**

HOUSING AUTHORITY OF THE CITY OF  
NEWPORT NEWS, VIRGINIA



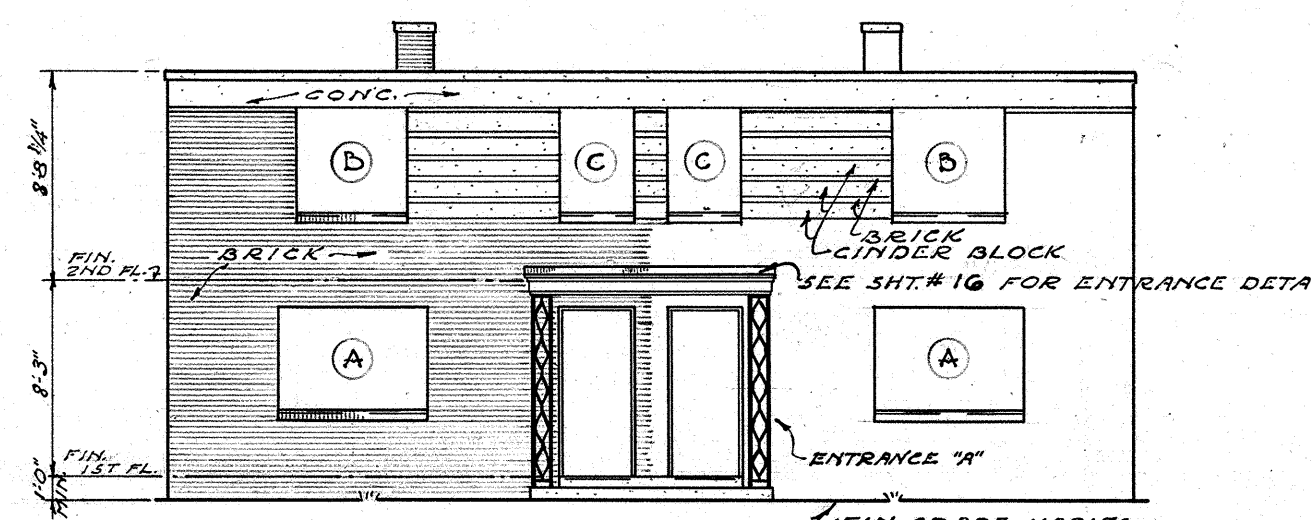


SECOND FLOOR PLAN

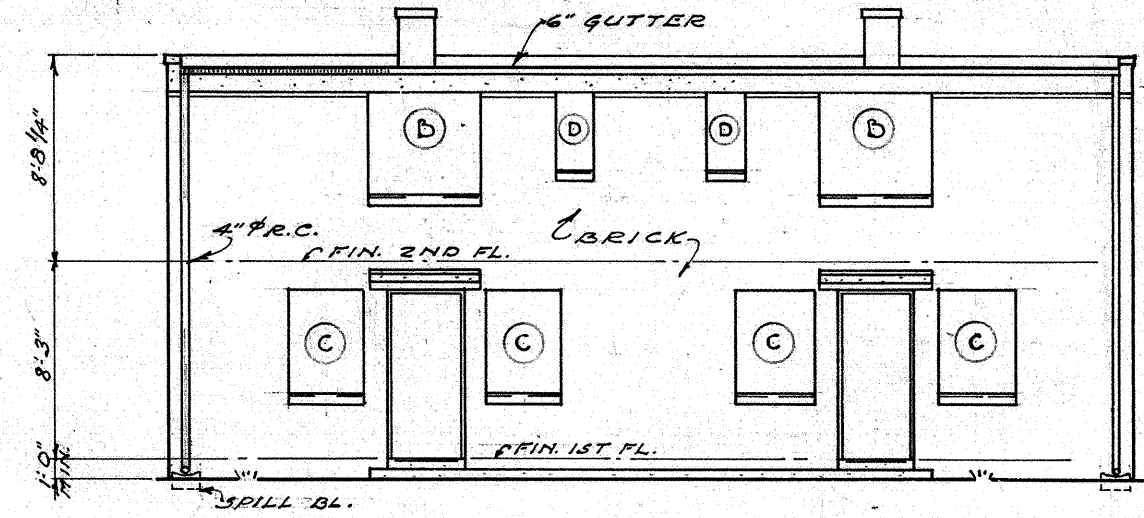


FIRST FLOOR PLAN

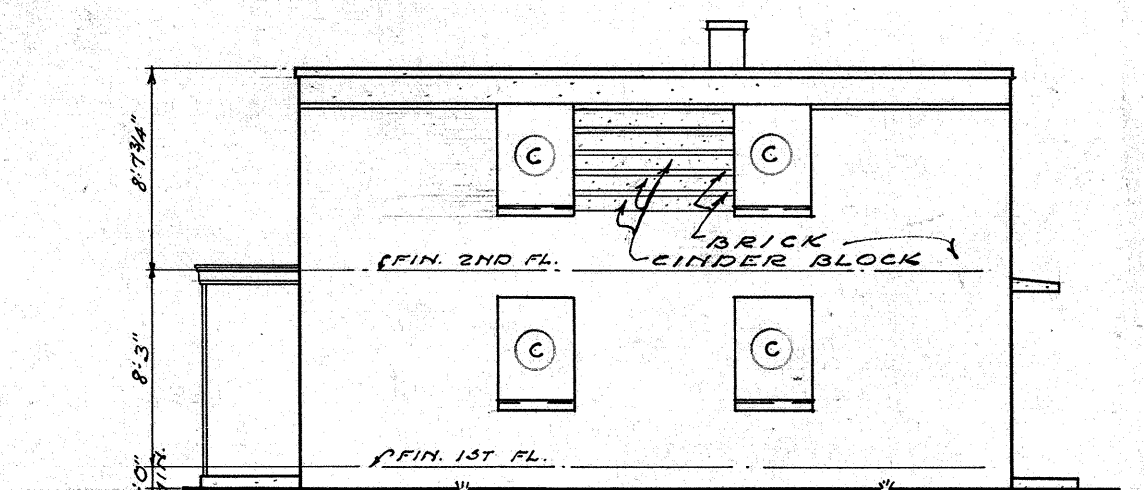
SCALE OF FLOOR PLANS - 1/8" = 1'-0"



FRONT ELEVATION



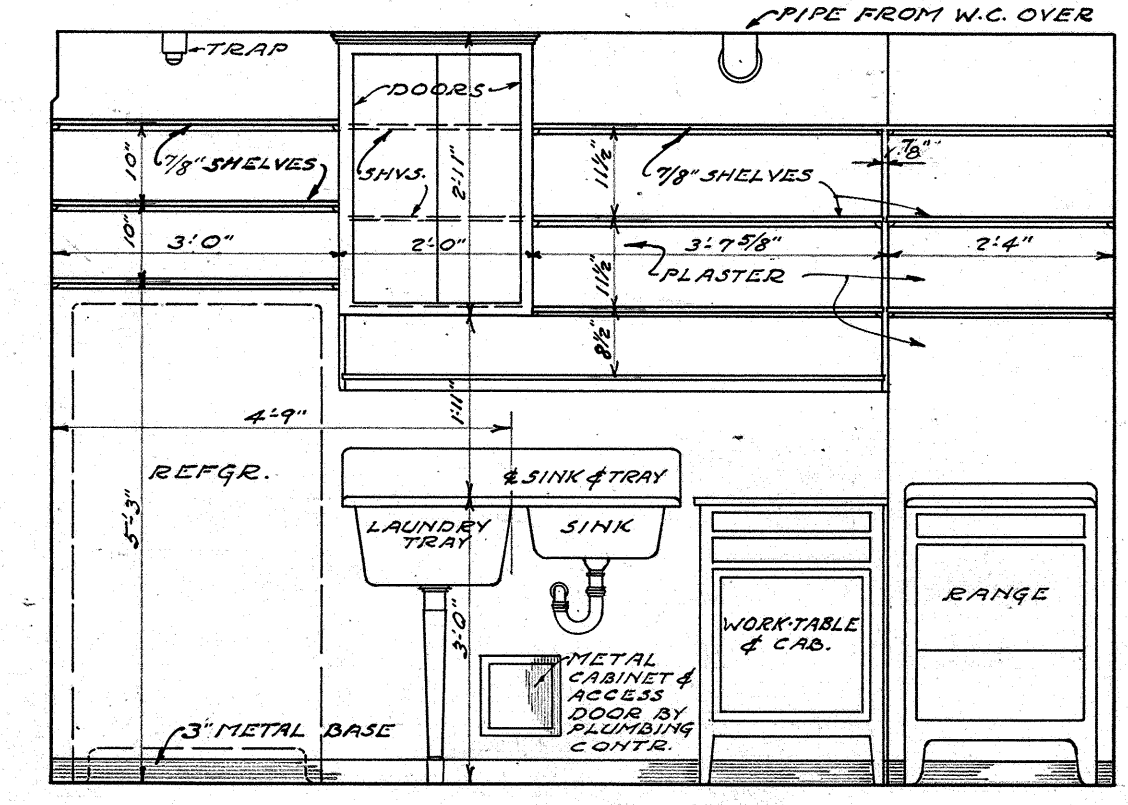
REAR ELEVATION



RIGHT SIDE ELEVATION

LEFT SIDE IDENTICAL OPP HAND

SCALE OF ELEVATIONS - 1/8" = 1'-0"



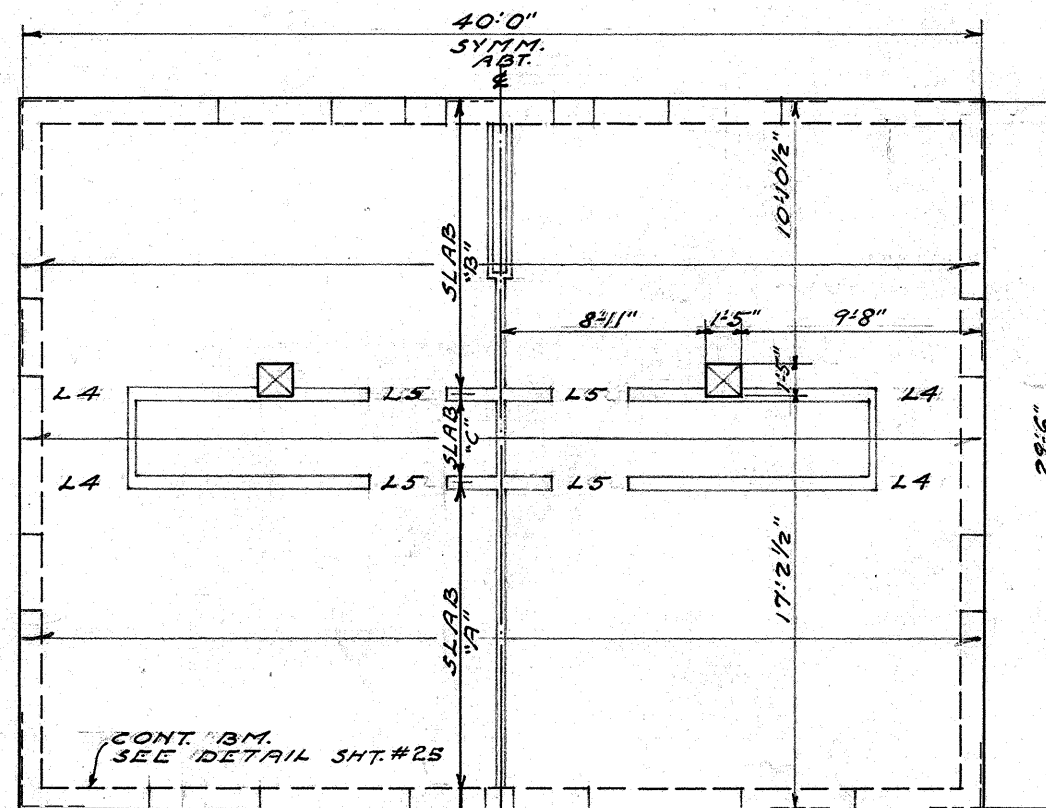
ELEVATION OF KITCHEN EQUIPMENT

| LINTEL SCHEDULE |  |
|-----------------|--|
| MARK            | DESCRIPTION  |
| L1              | 1 L 3 1/2" x 3 1/2" x 5/16" x 8'10" LG.                |
| L2              | 1 L DO 1 1/2" x 2 1/2" LG.                             |
| L3              | 1 L DO 1 1/2" x 4 1/2" LG.                             |
| L4              | 6" x 7 1/4" CINDER CONC. WITH 2-3/8" STR. BARS.        |
| L5              | DO   |
| L6              | DO   |
| L7              | 6" x 7 1/4" CINDER CONC. WITH 1-1/2" STR. ENT. AT B.C. |

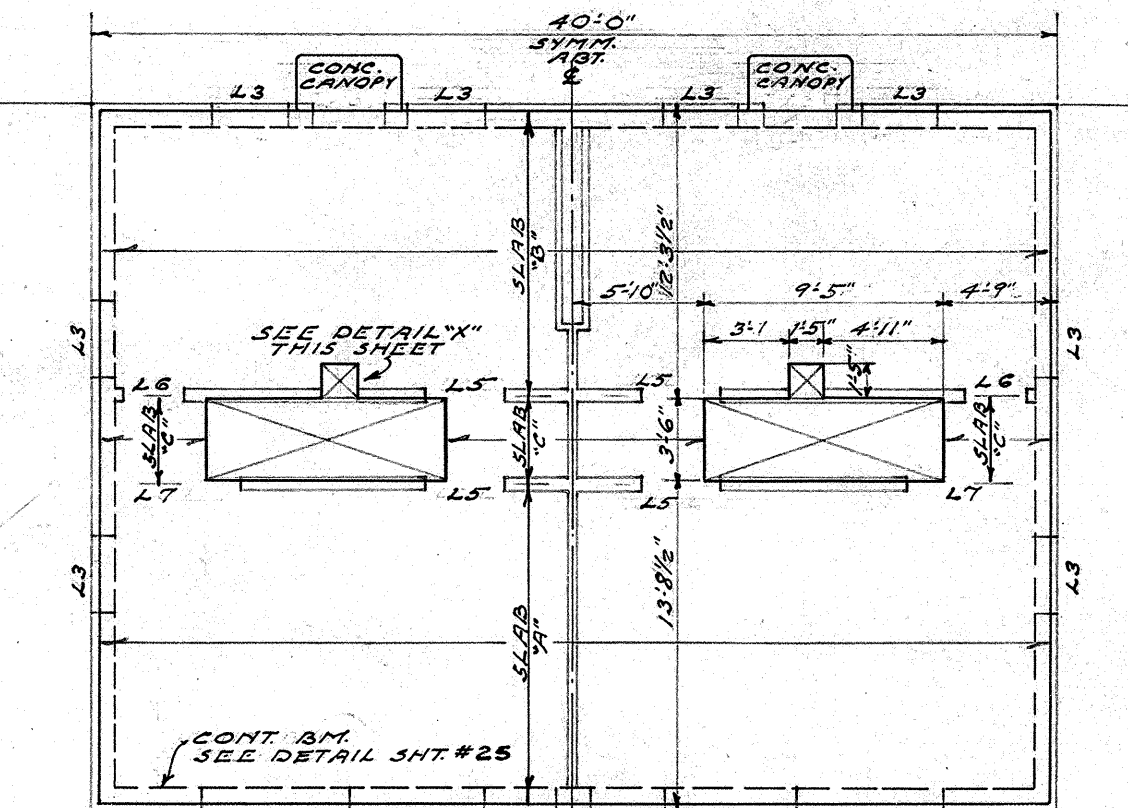
| CONC. SLAB SCHEDULE |         |                   |
|---------------------|---------|-------------------|
| MARK                | SIZE    | REINFORCING       |
| A                   | 5" THK. | 1/2" BARS 6" x 6" |
| B                   | 4" "    | 1/2" " 6" x 6"    |
| C                   | 4" "    | 1/2" " 8" x 8"    |

NOTE: ALTERNATE BARS BENT UP OVER SUPPORTS 3/8" TEMP. BARS 12" @.

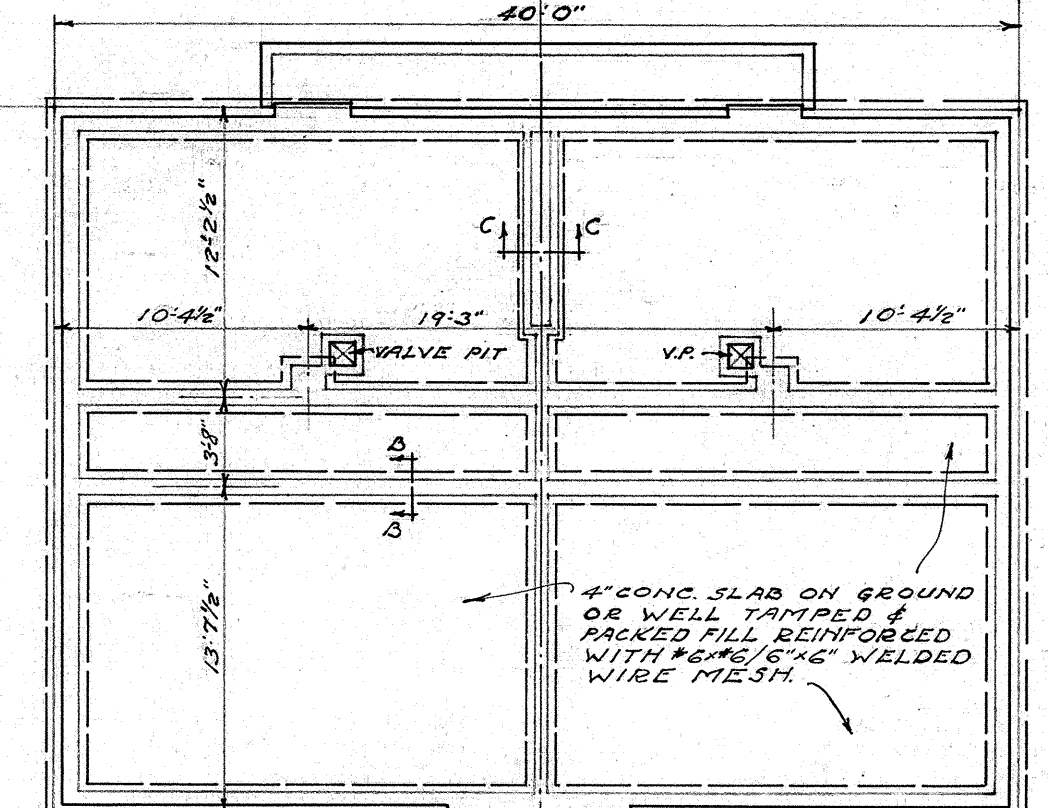
NOTE: FOR REINFORCED CONCRETE TYPICAL DETAILS AND GENERAL NOTES SEE SHEET 25



ROOF FRAMING PLAN



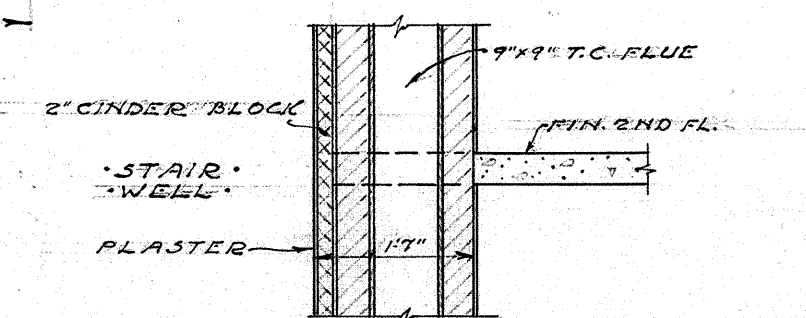
SECOND FLOOR FRAMING PLAN



FIRST FL. & FOUNDATION PLAN

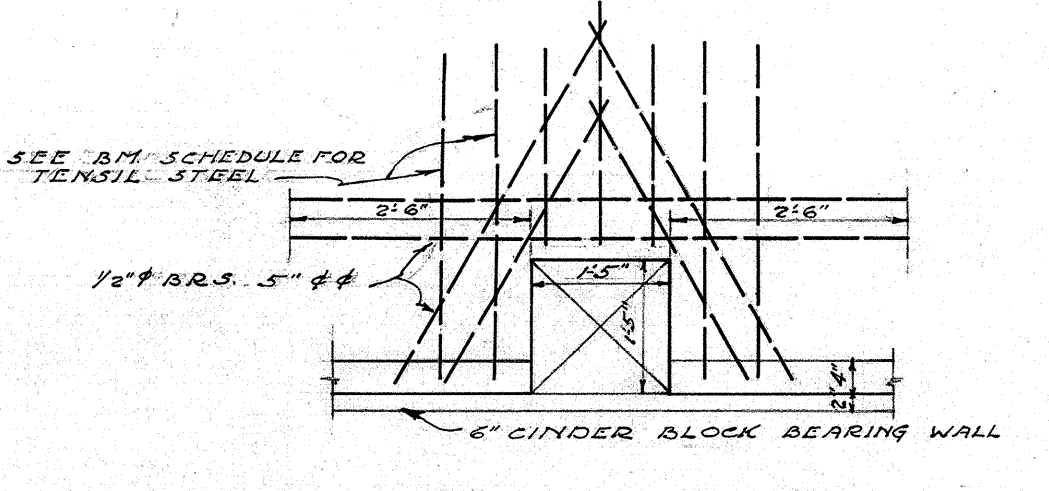
STRUCTURAL PLANS

SCALE - 1/8" = 1'-0"



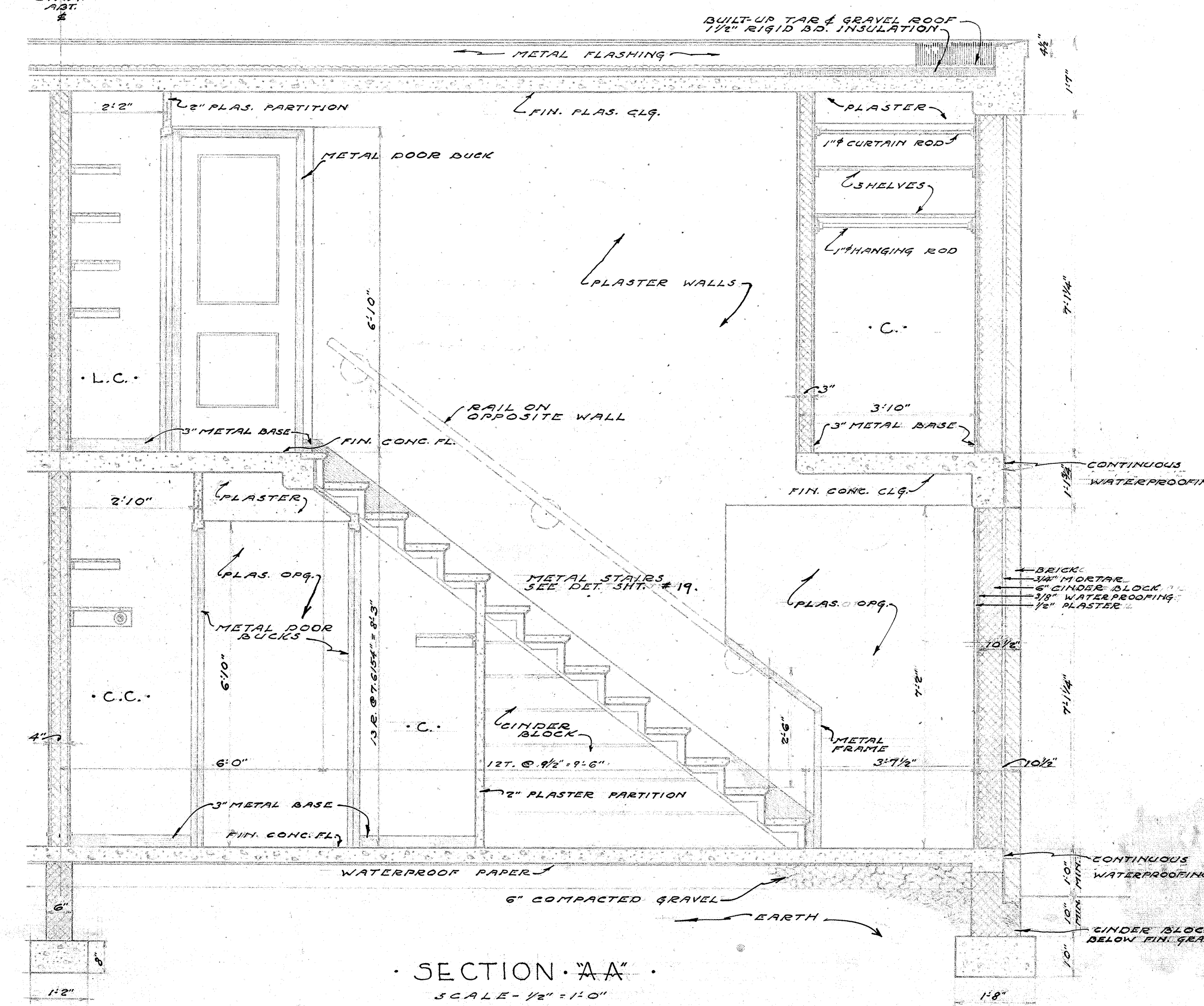
SECTION THRU CHIMNEY

SCALE - 1/8" = 1'-0"



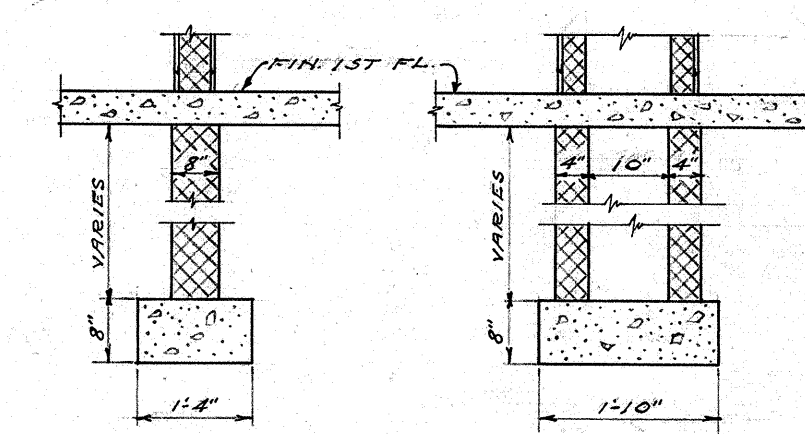
DETAIL X

SCALE - 1/8" = 1'-0"



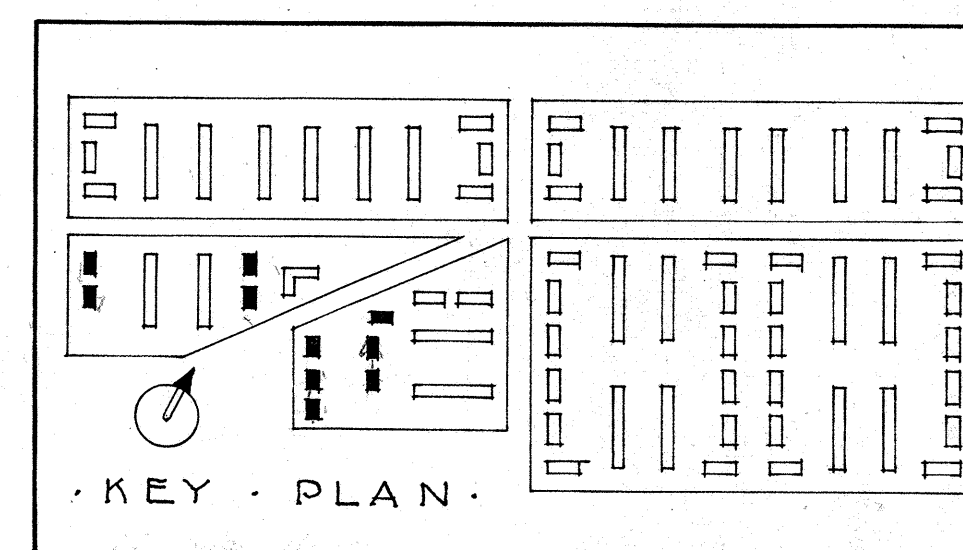
SECTION AA

SCALE - 1/8" = 1'-0"



SECT. BB SECT. CC

SCALE - 1/8" = 1'-0"



KEY PLAN

- LEGEND:
- CINDER BLOCK
  - BRICK
  - 2" SOLID PLASTER PARTITION
  - CONCRETE

REFERENCE NOTES:

NECESSARY DETAILS AND NOTES APPLYING TO BLDG. OR, BUT NOT SHOWN ON THIS SHEET, ARE LOCATED AS FOLLOWS:-

| FINISH SCHEDULE  | SHEET NO. |
|--|-----------|
| DOOR SCHEDULE  | 18        |
| WINDOW SCHEDULE  | 18        |
| DOOR, WINDOW & PARTITION DETAILS   | 18        |
| WALL SECTION WITH WINDOWS SAME AS ON TYPICAL CROSS SECTION                             | 18        |
| STAIR DETAILS  | 18        |
| ROOF, LEADER & MISC. DETAILS   | 17        |
| ENTRANCE "X" DETAIL  | 16        |
| CANOPY DETAIL  | 10        |
| BATH ROOM DETAILS  | 16        |
| STAIR CONNECTION TO SLAB - SEE TYPICAL CONNECTION SIDE STAIR AND "X" STAIR TO STRINGER | 25        |
| TYPICAL REIN. CONC. DETAILS  | 25        |
| CLOSET DETAILS   | 16        |
| FOOTING ELEVATIONS - SEE STRIP ELEVATIONS  | 21        |

PLANS, ELEVATIONS & DETAILS

**BUILDING 'D-4'** (10 BLDGS. - THUS)

**MARSHALL COURTS** PROJECT NO. VA. 32 NEWPORT NEWS, VA.

DATE: 8/20/40 WILLIAMS, COILE & PIPINO, ARCHITECTS NEWPORT NEWS, VA.

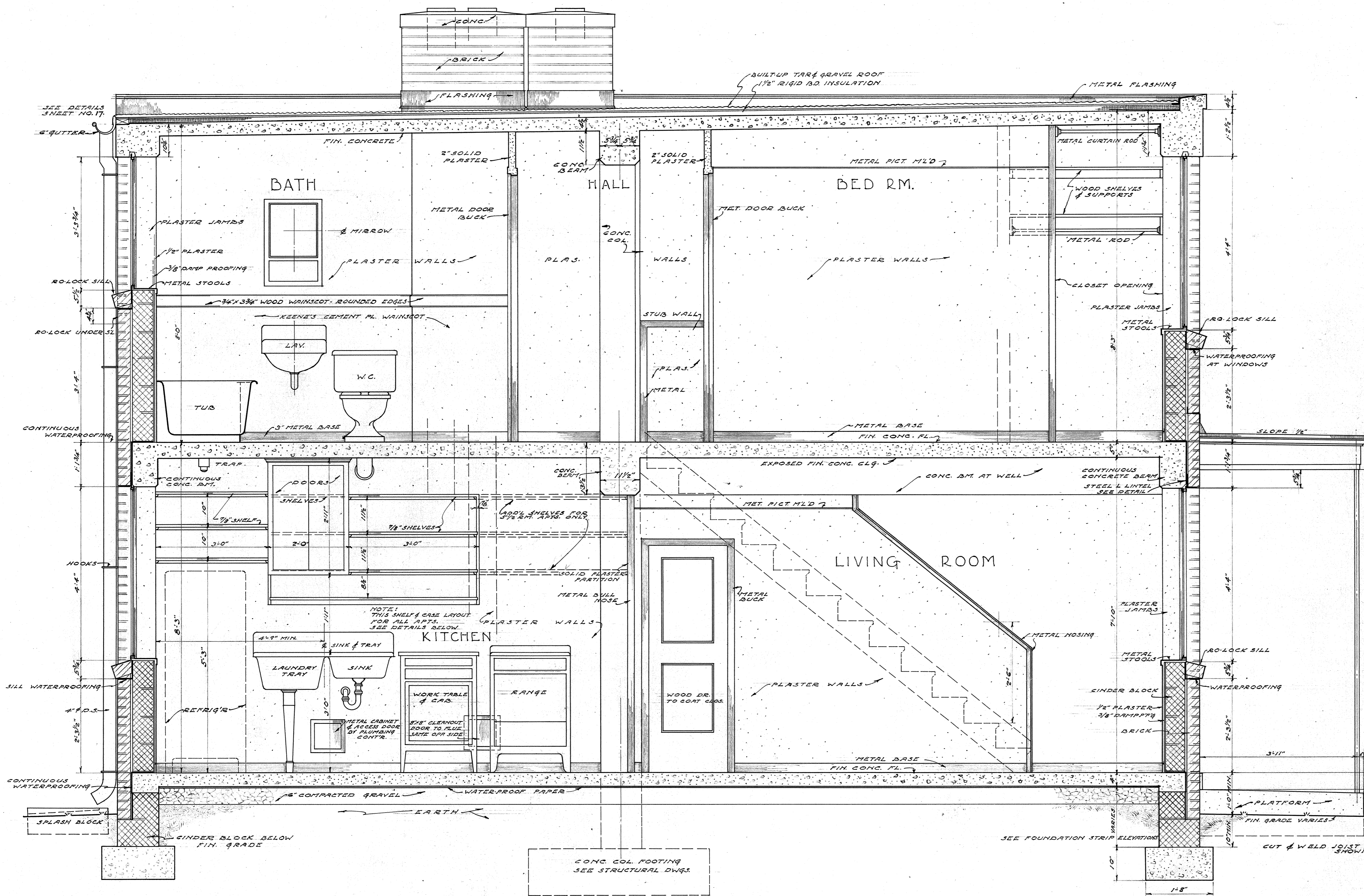
DRAWN BY: w.g.w. APPROVED BY: *Paula P. P.* CHIEF ARCHITECT

CHKD BY: *M.B. P.* CHAIRMAN, HOUSING AUTHORITY

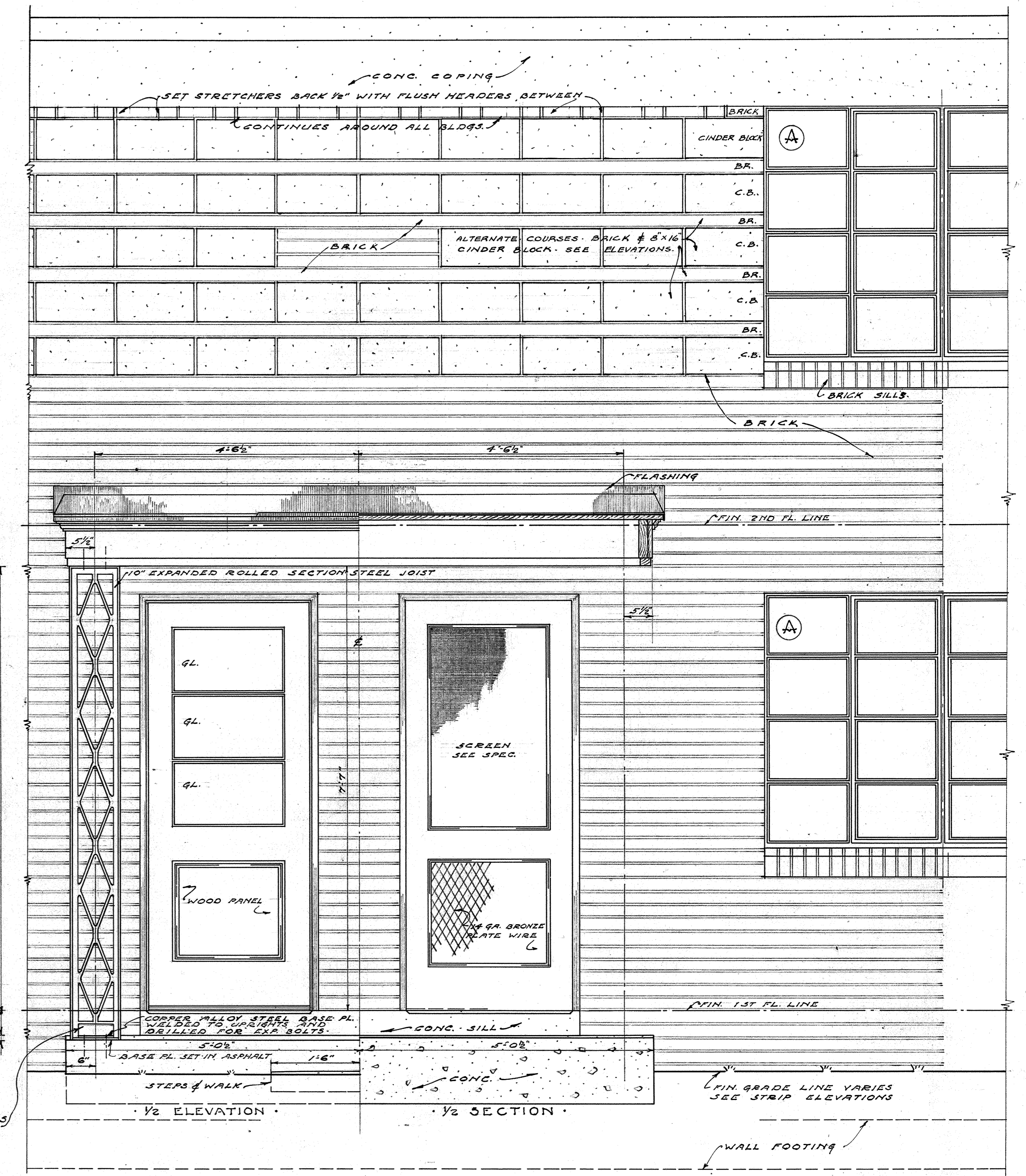
HOUSING AUTHORITY OF THE CITY OF NEWPORT NEWS, VIRGINIA

SHEET NO. 211 OF 215

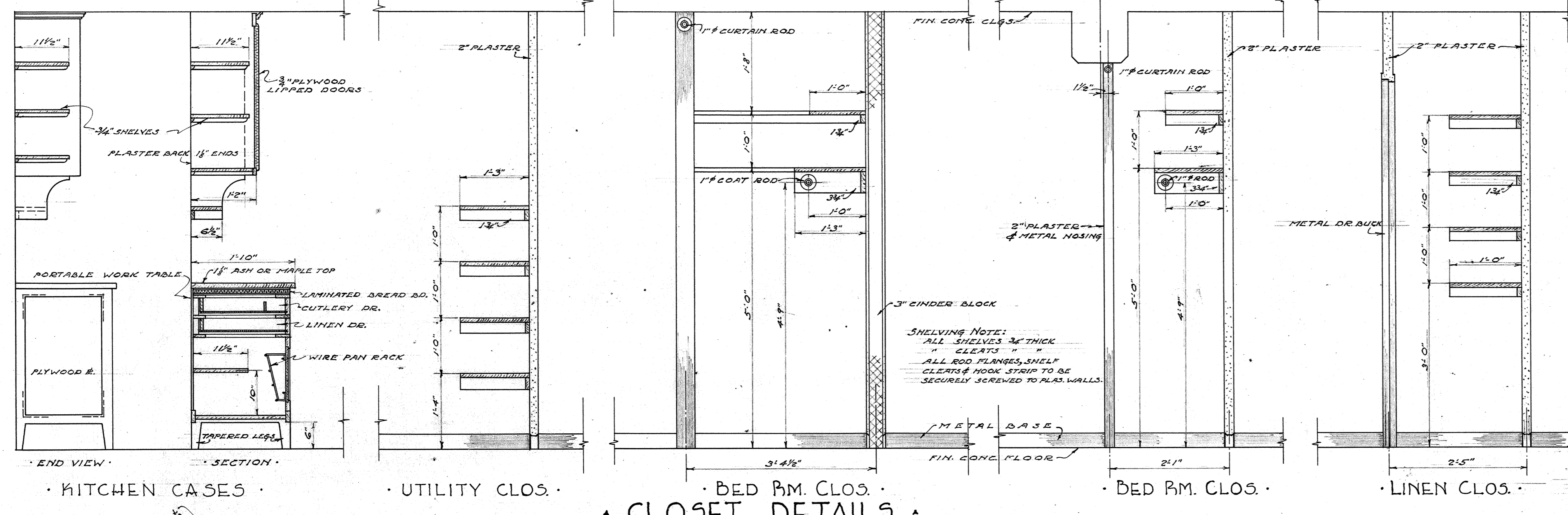




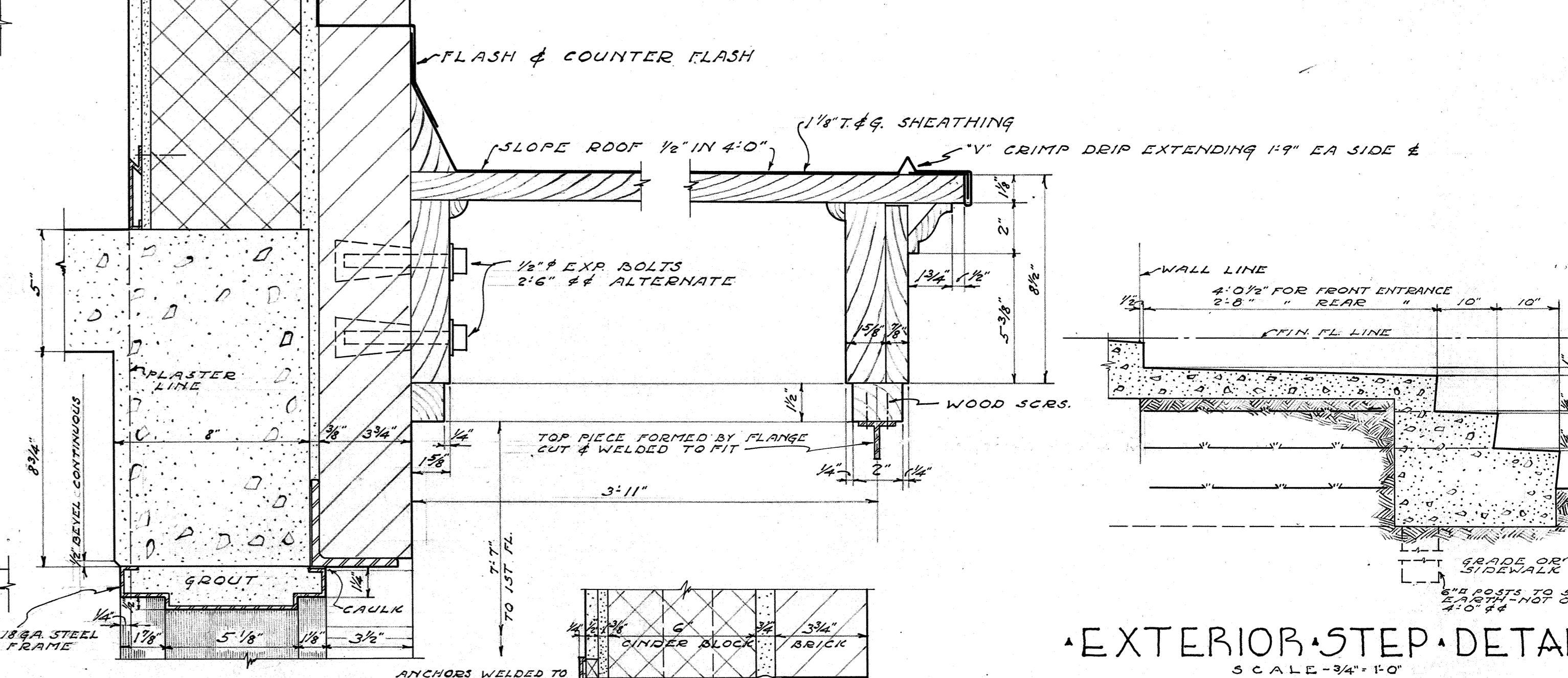
TYPICAL CROSS SECTION  
SCALE - 3/4" = 1'-0"



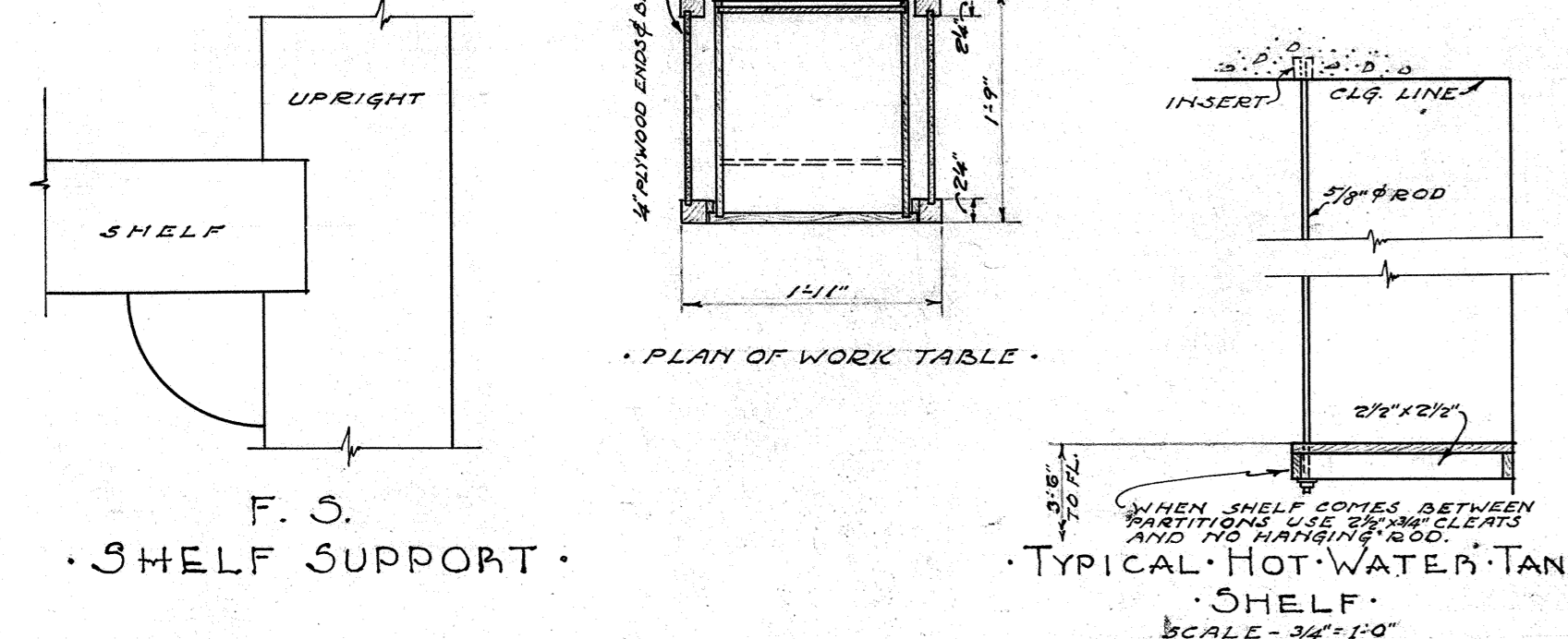
TYPICAL DOUBLE ENTRANCE DETAIL - TYPE 'A'  
SCALE - 3/4" = 1'-0"  
FOR DETAIL OF TYPE 'B' ENTRANCES SEE SHEET NO. 11.



KITCHEN CASES · UTILITY CLOS. · BED RM. CLOS. · CLOSET DETAILS · BED RM. CLOS. · LINEN CLOS. · SCALE - 3/4" = 1'-0"



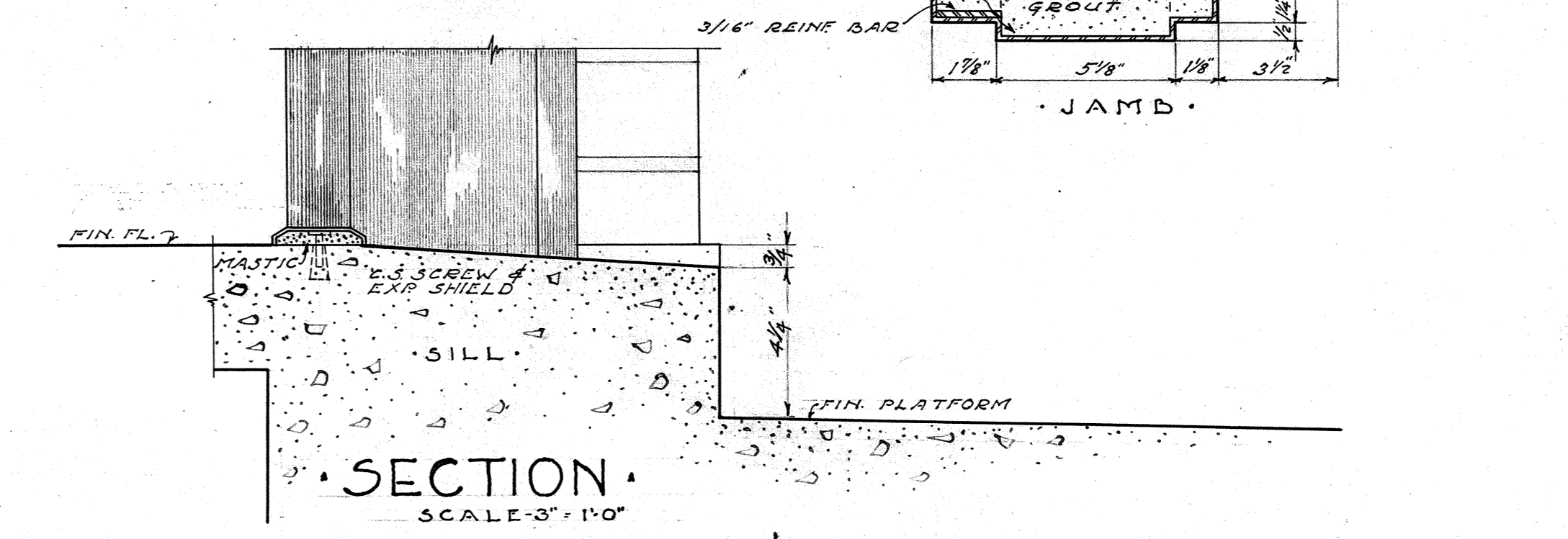
EXTERIOR STEP DETAIL  
SCALE - 3/4" = 1'-0"



F.S. SHELF SUPPORT · TYPICAL HOT WATER TANK · SCALE - 3/4" = 1'-0"

INTERIOR FINISH SCHEDULE FOR BLDGS. A, B, & D4

| ROOM         | DWELLING UNITS                      | LIVING RPTS      | KITCHENS        | BED ROOMS       | HALLS           | BATHS-2nd FL. | BATHS-1st FL.     | BED RM. CLOS.     | LINEN CLOS. | COAT CLOS.         | UTILITY CLOS.       | STAIRS                 |
|--------------|-------------------------------------|------------------|-----------------|-----------------|-----------------|---------------|-------------------|-------------------|-------------|--------------------|---------------------|------------------------|
| WALLS/FLOORS | CEMENT                              | COLOR & HARDENER | PAINTED PLASTER | EXPOSED MASONRY | STOOLS & BRICKS | 1" METAL BASE | WOOD WAINSCOT CAP | METAL PICT. MLDG. | PAINTED     | EXPOSED CONC. SLAB | EXPOSED STEEL STAIR | PAINTED WATER CEM.     |
| DOORS        | ALL INTL. DOORS STAINED & VARNISHED |                  |                 |                 |                 |               |                   |                   |             |                    |                     |                        |
| CEILING      | KEYNES CEMENT PL. WAINSCOT          |                  |                 |                 |                 |               |                   |                   |             |                    |                     |                        |
| STAIRS       |                                     |                  |                 |                 |                 |               |                   |                   |             |                    |                     | ON INTERIOR WALLS ONLY |



SECTION · SCALE - 3/4" = 1'-0"

TYPICAL CROSS SECT. BLDGS. A & B  
PROJECT NO. VA-3-2 NEWPORT NEWS, VA.

MARSHALL COURTS

DATE 8/20/40 WILLIAMS, COLE & PIPINO, ARCHITECTS NEWPORT NEWS, VA.

DRAWN BY W.C.W. APPROVED BY *Paulo P. P.* CHIEF ARCHITECT

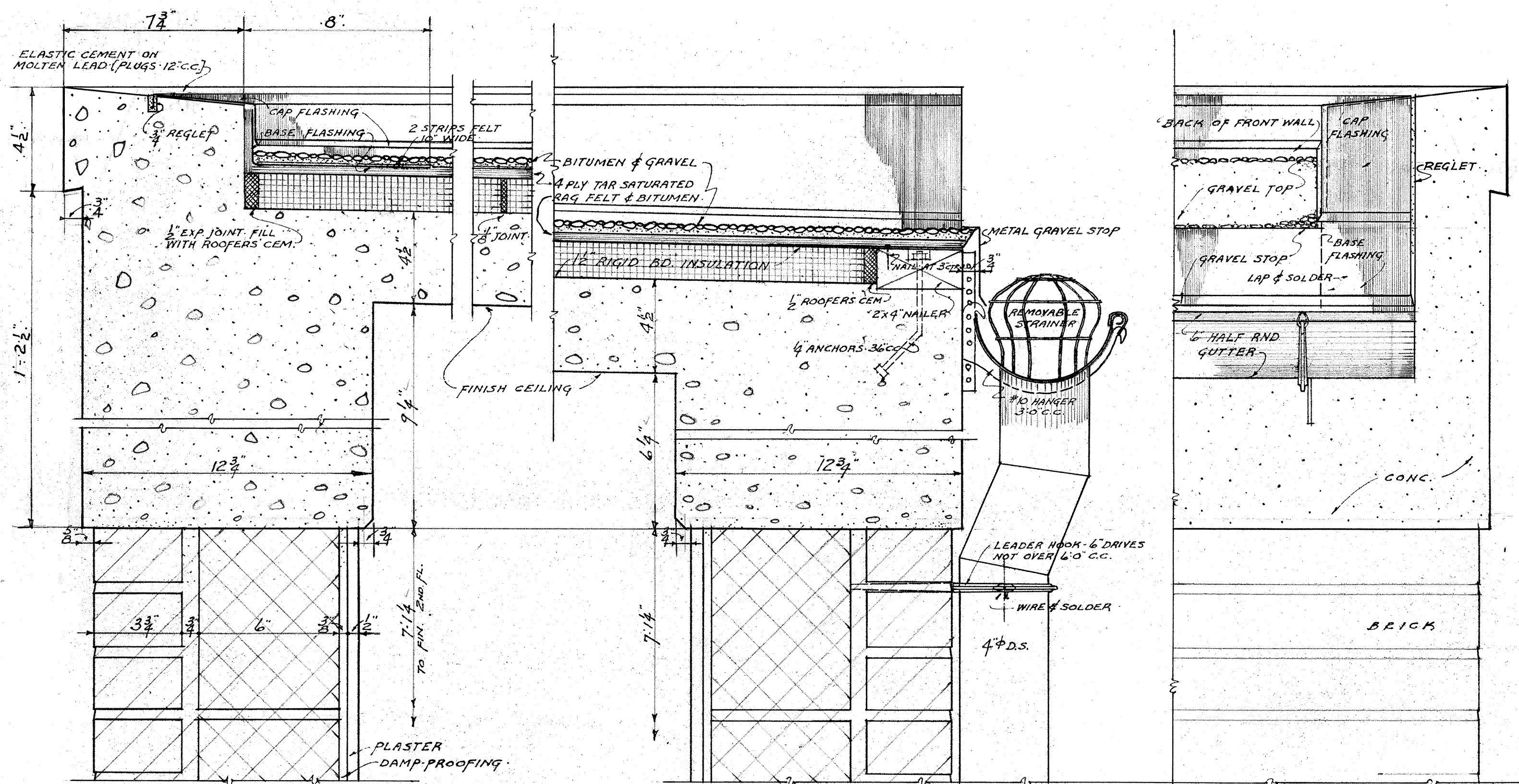
CHKD BY *Paulo P. P.* CHIEF ARCHITECT

SHARMA, HOUSING AUTHORITY

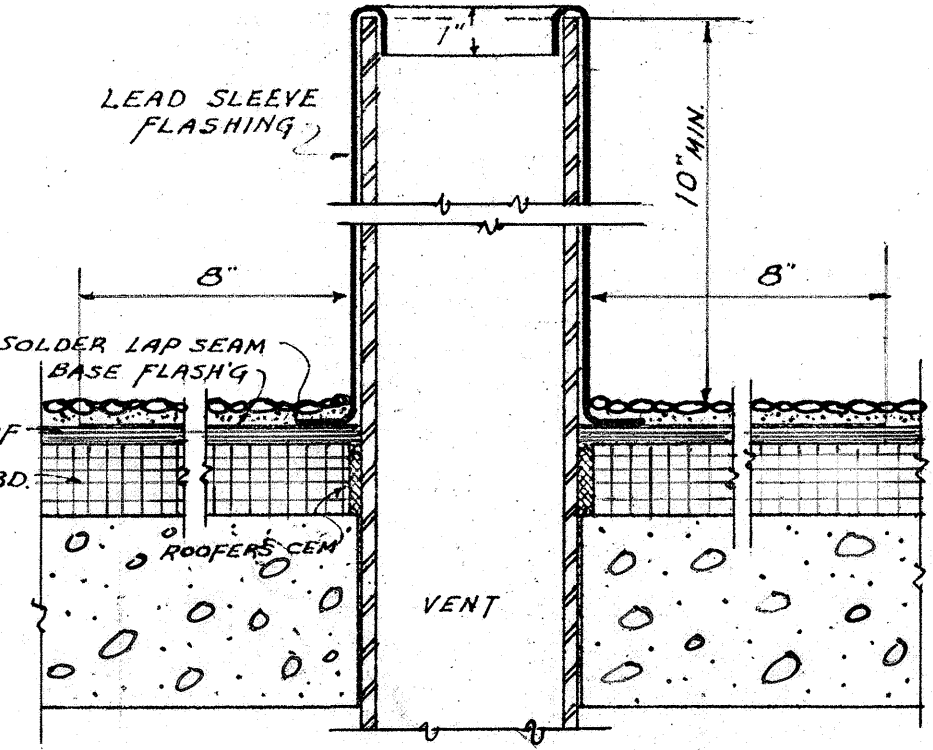
HOUSING AUTHORITY OF THE CITY OF NEWPORT NEWS, VIRGINIA

212 SHEET NO. 16

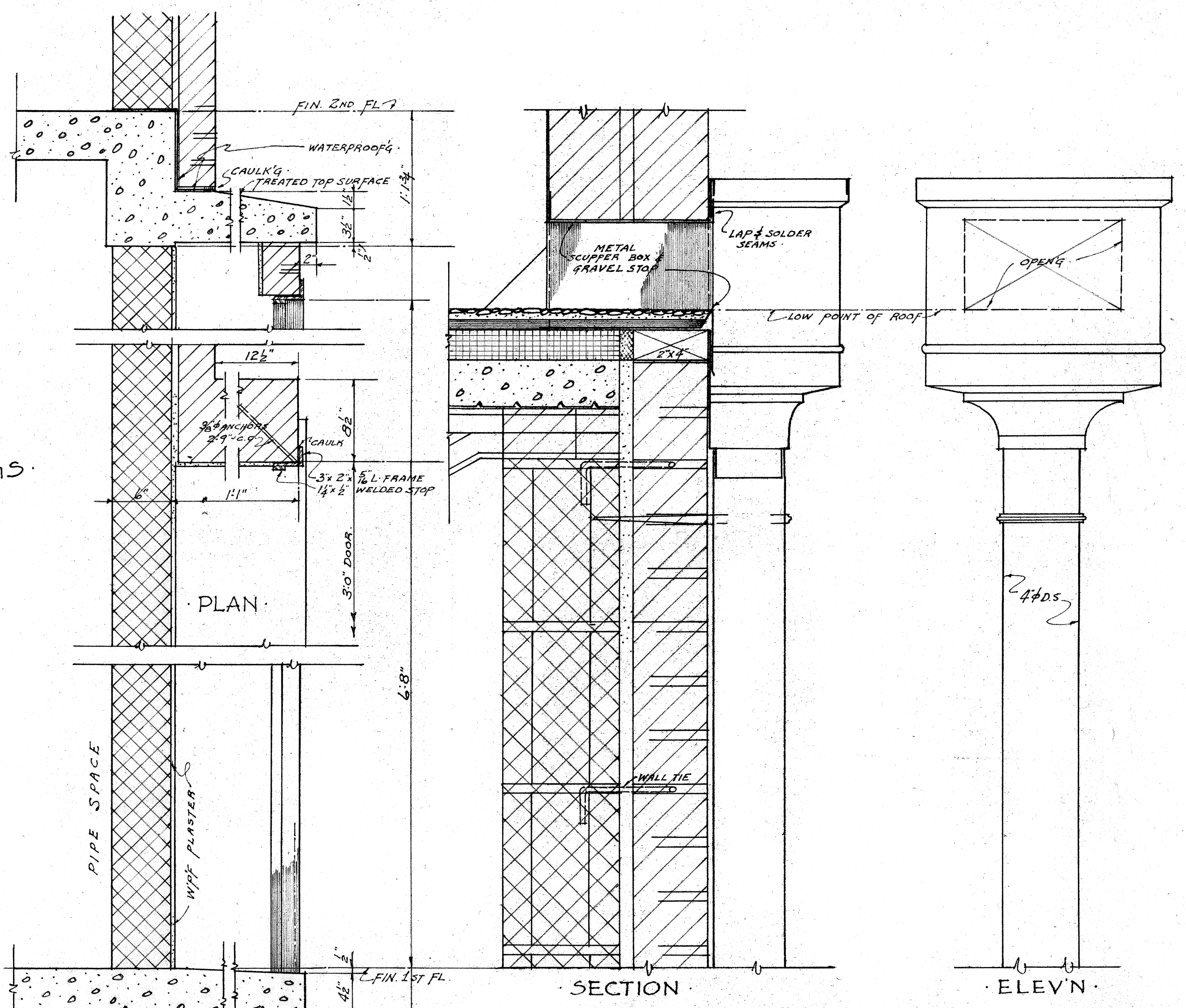




FRONT WALL REAR WALL END RETURN



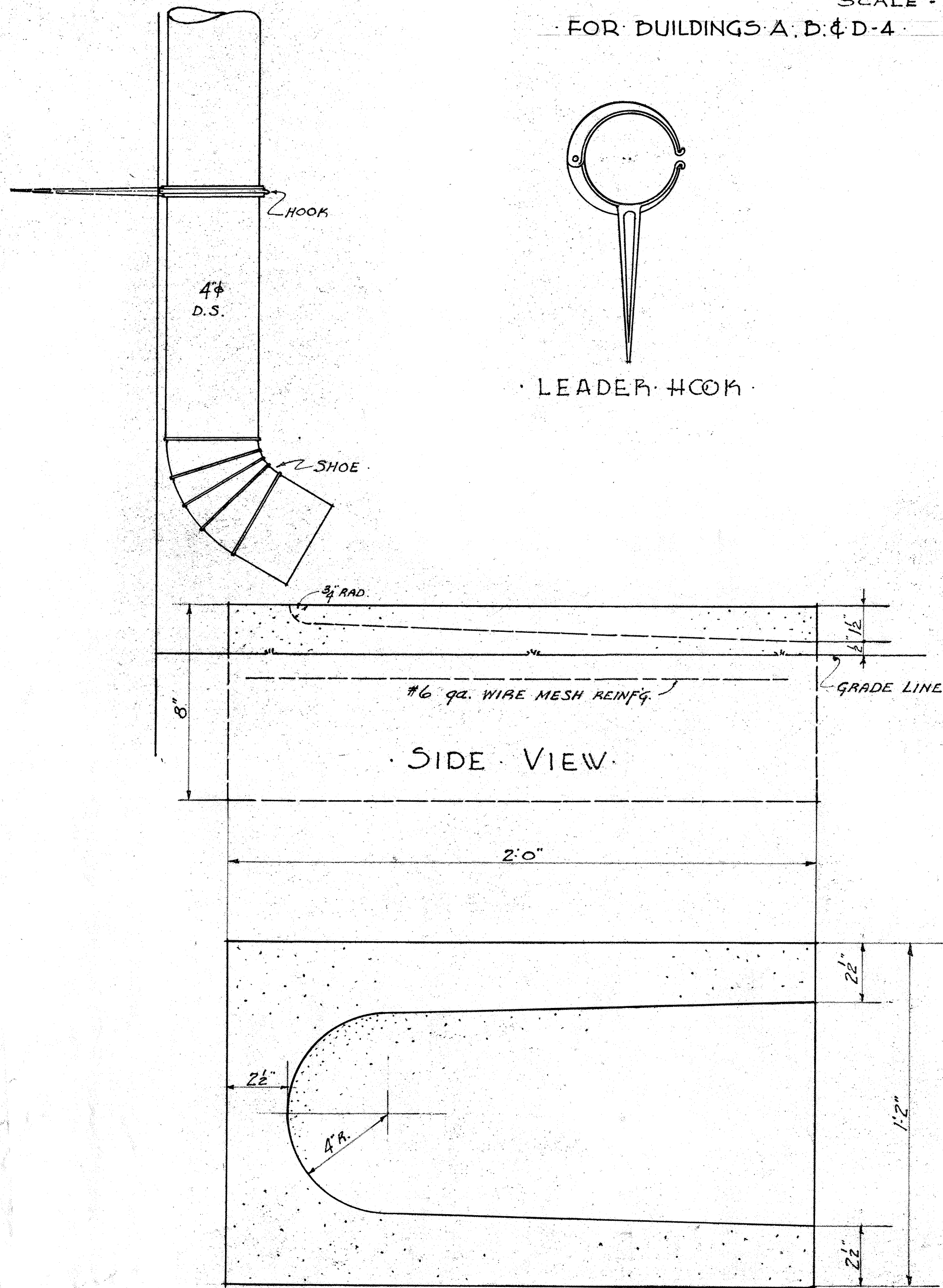
FLASHING FOR PLUMBING VENT STACKS  
3" SCALE



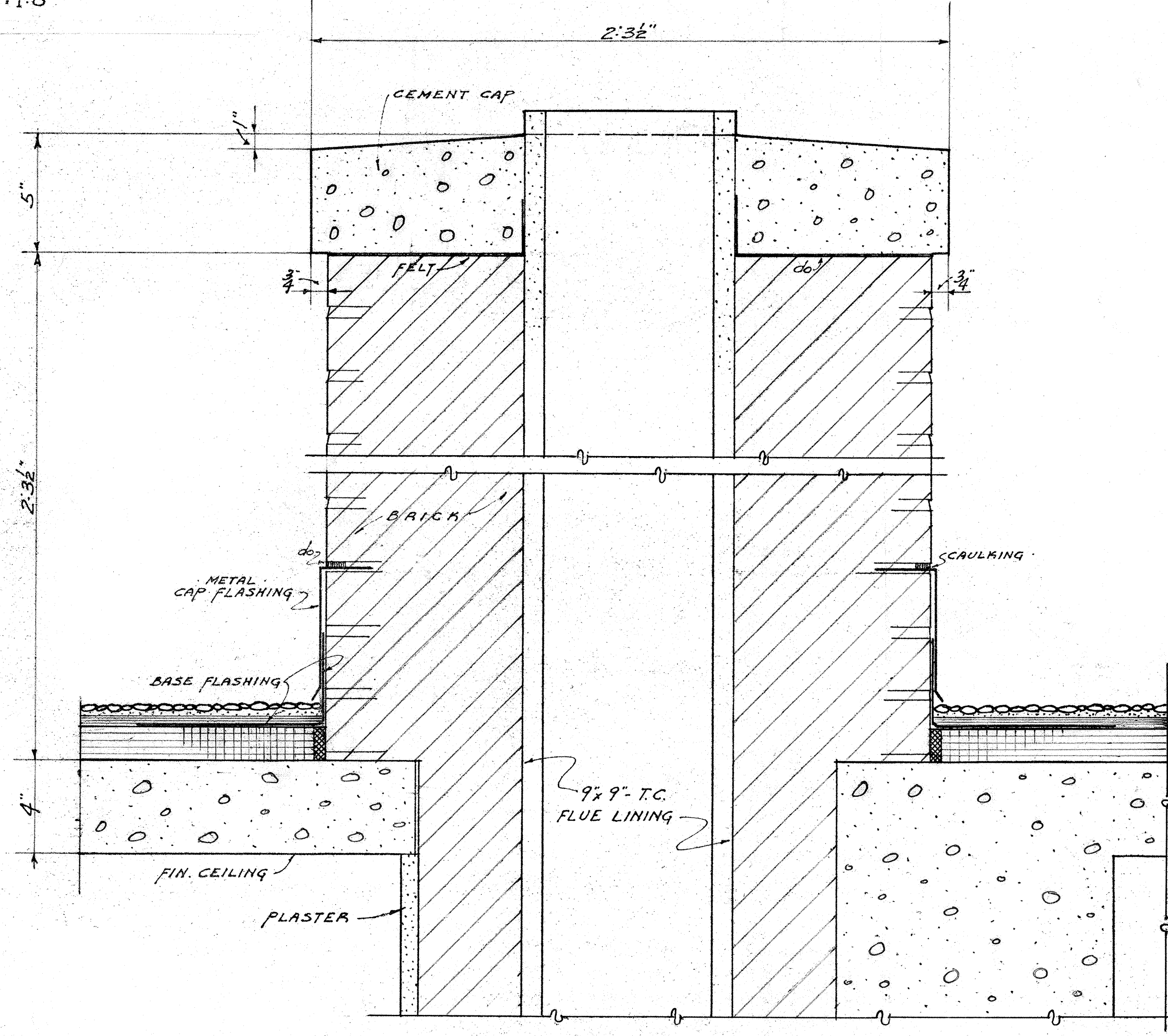
SECTION LEADER HEAD FOR ADMINISTRATION BLDG.  
SCALE 3" = 1'-0"

TYPICAL COPING DETAILS

SCALE - 3" = 1'-0"  
FOR BUILDINGS A, D, & D-4

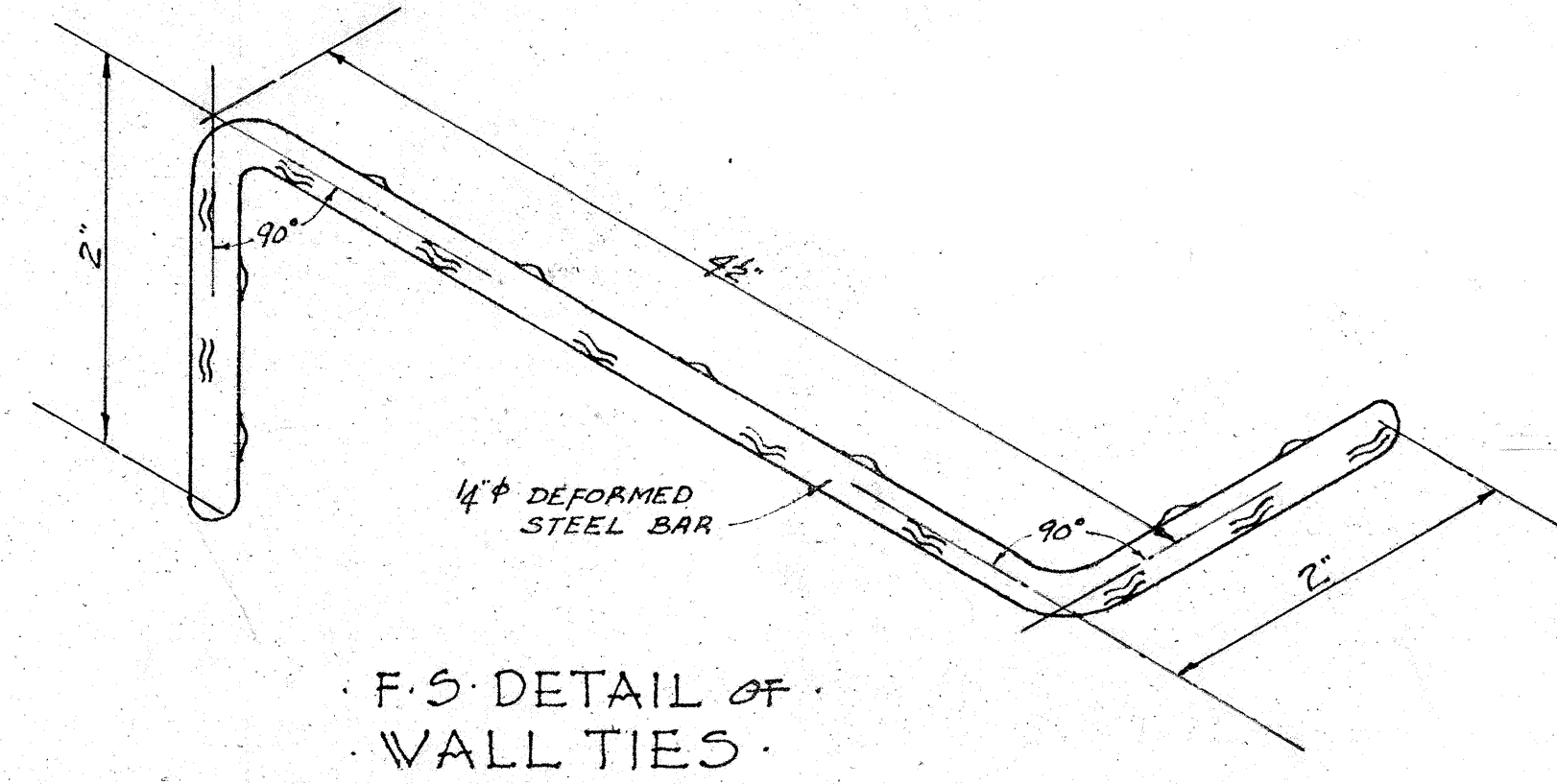


DETAIL OF LEADER SHOE & CONCRETE SPILL BLOCKS  
3" SCALE  
FOR ALL BUILDINGS

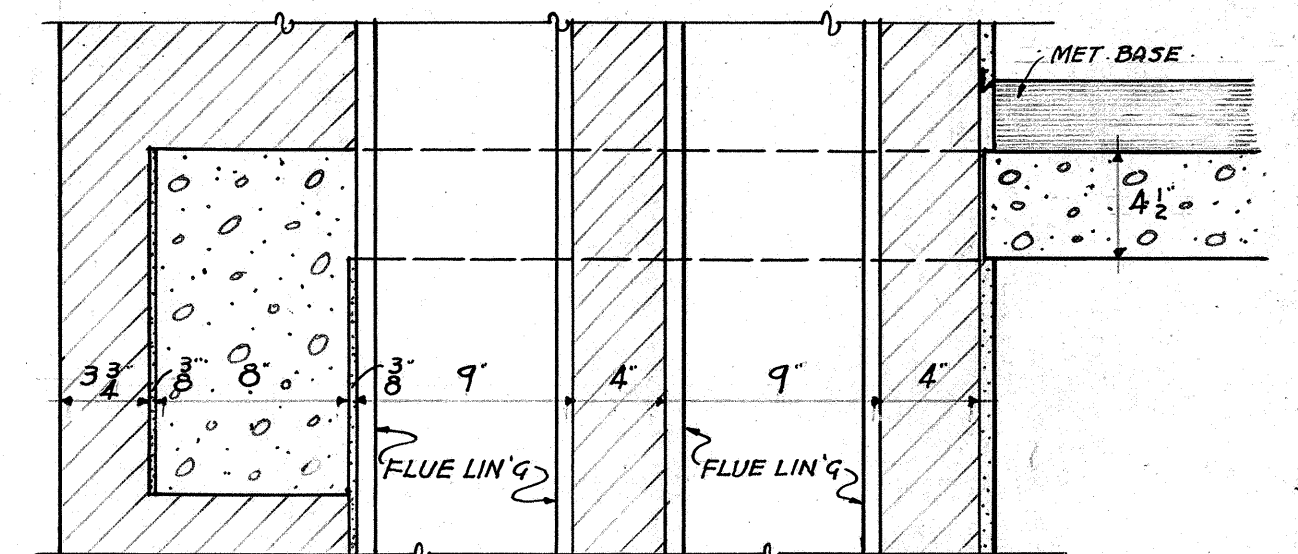


SECTION THRU TYPICAL CHIMNEY SHOWING CONCRETE CAP & FLASHING  
3" SCALE  
FOR BUILDINGS A, D, D-4 & ADMIN. BLDG.  
CAP TYPICAL FOR ALL BUILDINGS

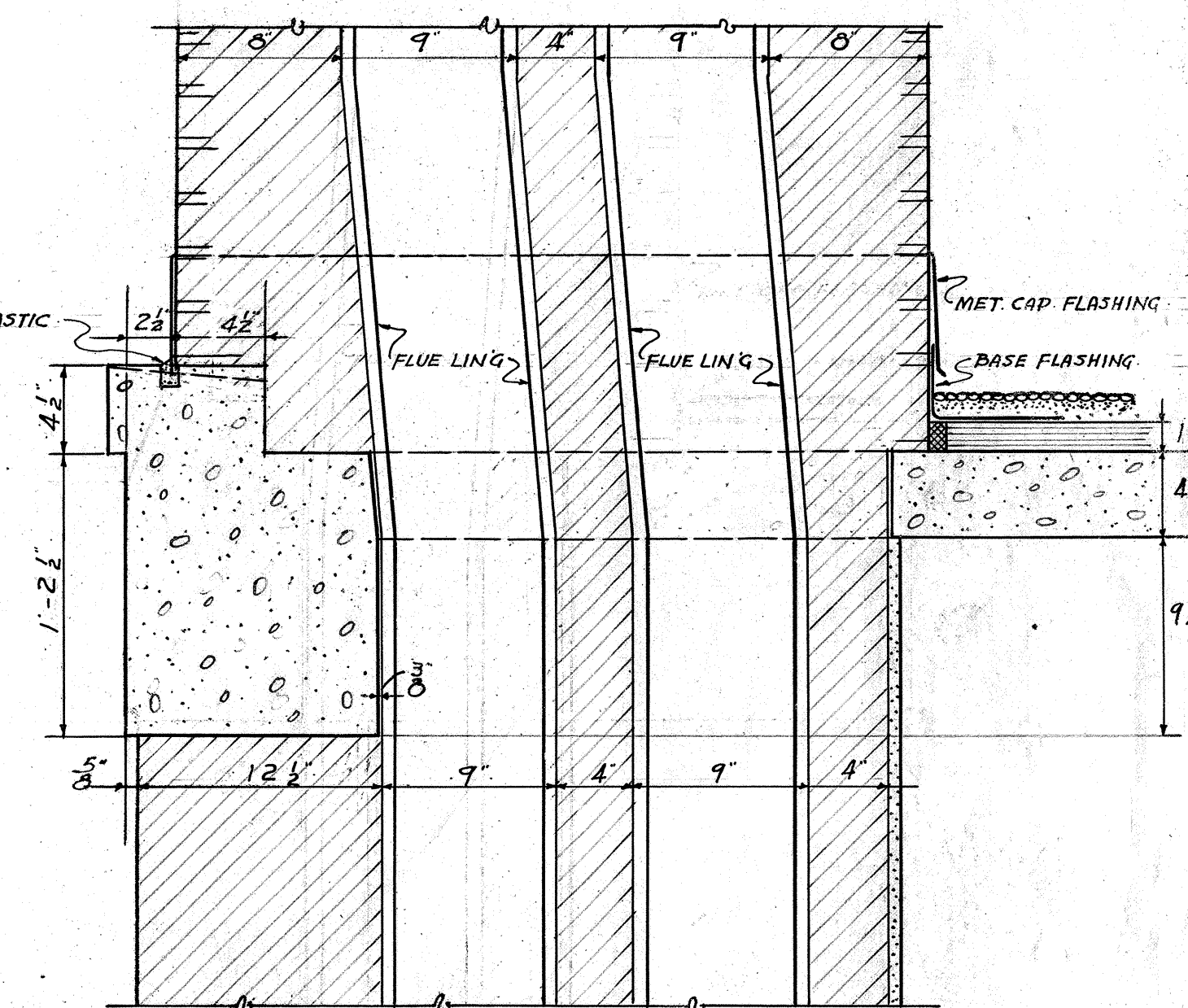
SECTION THRU TYPICAL EXTRA ELEC. METER CABINETS  
SCALE 1/2" = 1'-0"



F.S. DETAIL OF WALL TIES  
PLACE AT CTR OF EACH 3RD BRICK HORIZONTALLY AND STAGGER VERTICALLY AT EACH 3RD COURSE BLOCK COURSE IN ALL WALLS IN BLDGS. A, B, D, & ADMINISTRATION BLDG.



SECTION THRU CHIMNEYS AT OUTSIDE WALLS AT SECOND FLOOR SLAB



SECTION THRU CHIMNEYS AT OUTSIDE WALLS & PARAPET  
1/2" SCALE

|   |                                     |                     |   |
|---|-------------------------------------|---------------------|---|
| ROOF, LEADER & MISC. DETAILS                            |                                     |                     |   |
| MARSHALL COURTS   |                                     |                     |   |
| DATE  | WILLIAMS, COILE & PINNO, ARCHITECTS | PROJECT NO. VA. 132 | A |
| 8/20/40   | 408 NELSON BLDG.                    | NEWPORT NEWS, VA.   |   |
| DRAWN BY  | APPROVED BY                         | 213                 |   |
|   | <i>Paul A. Poino</i>                | SHEET NO.           |   |
| CHKD BY   | CHIEF ARCHITECT                     | 17                  |   |
|   | CHAIRMAN, HOUSING AUTHORITY         |                     |   |
| HOUSING AUTHORITY OF THE CITY OF NEWPORT NEWS, VIRGINIA |                                     |                     |   |

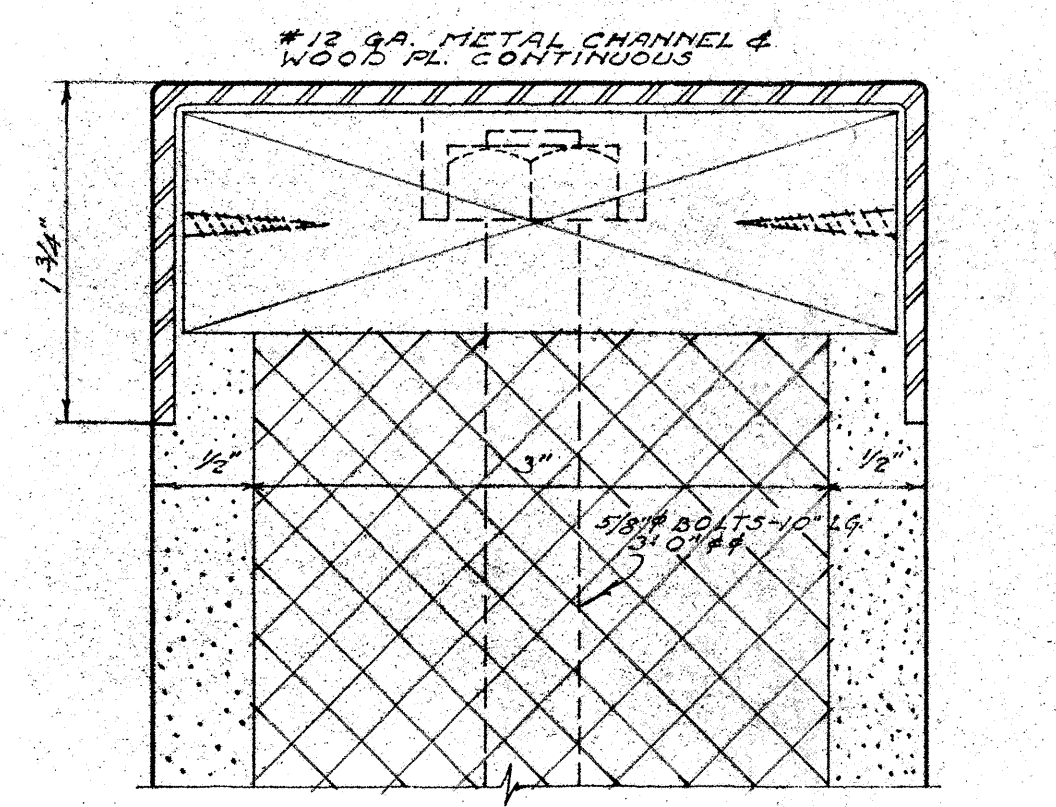
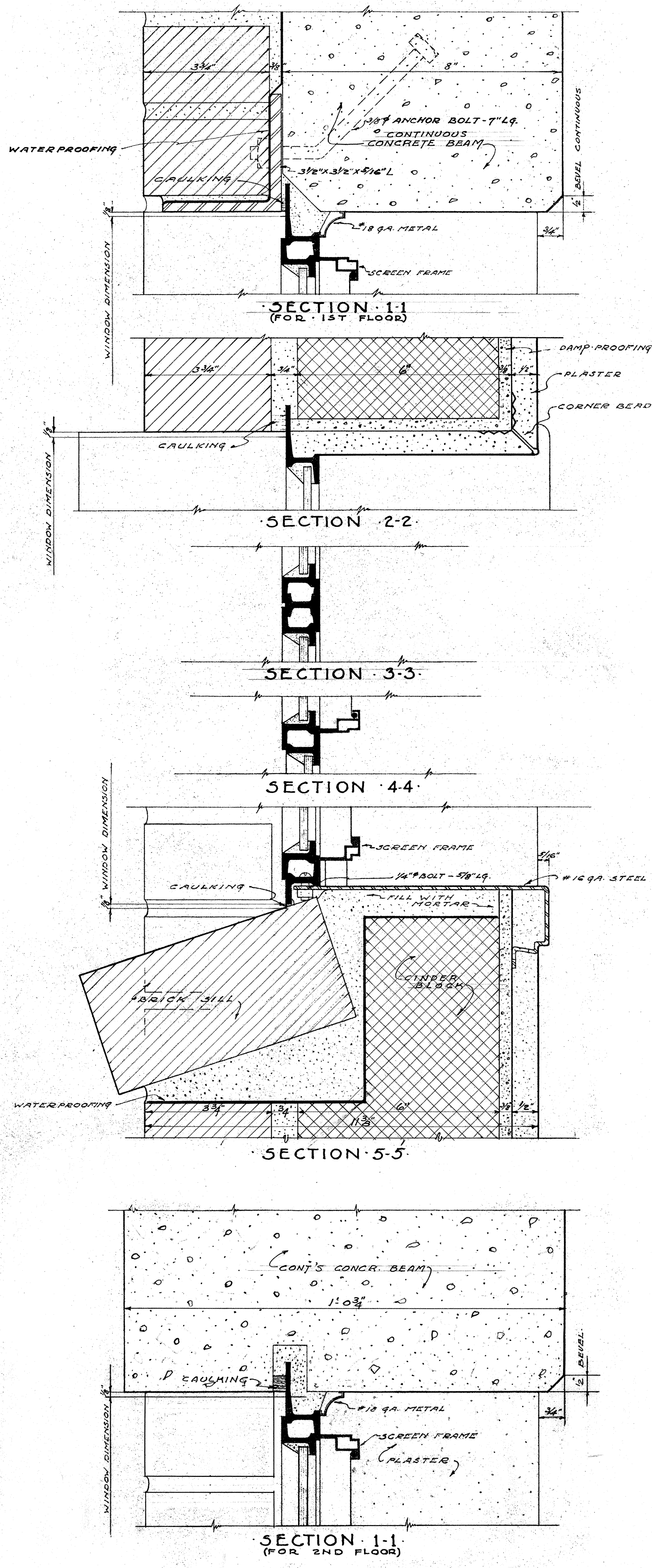


DOOR SCHEDULE

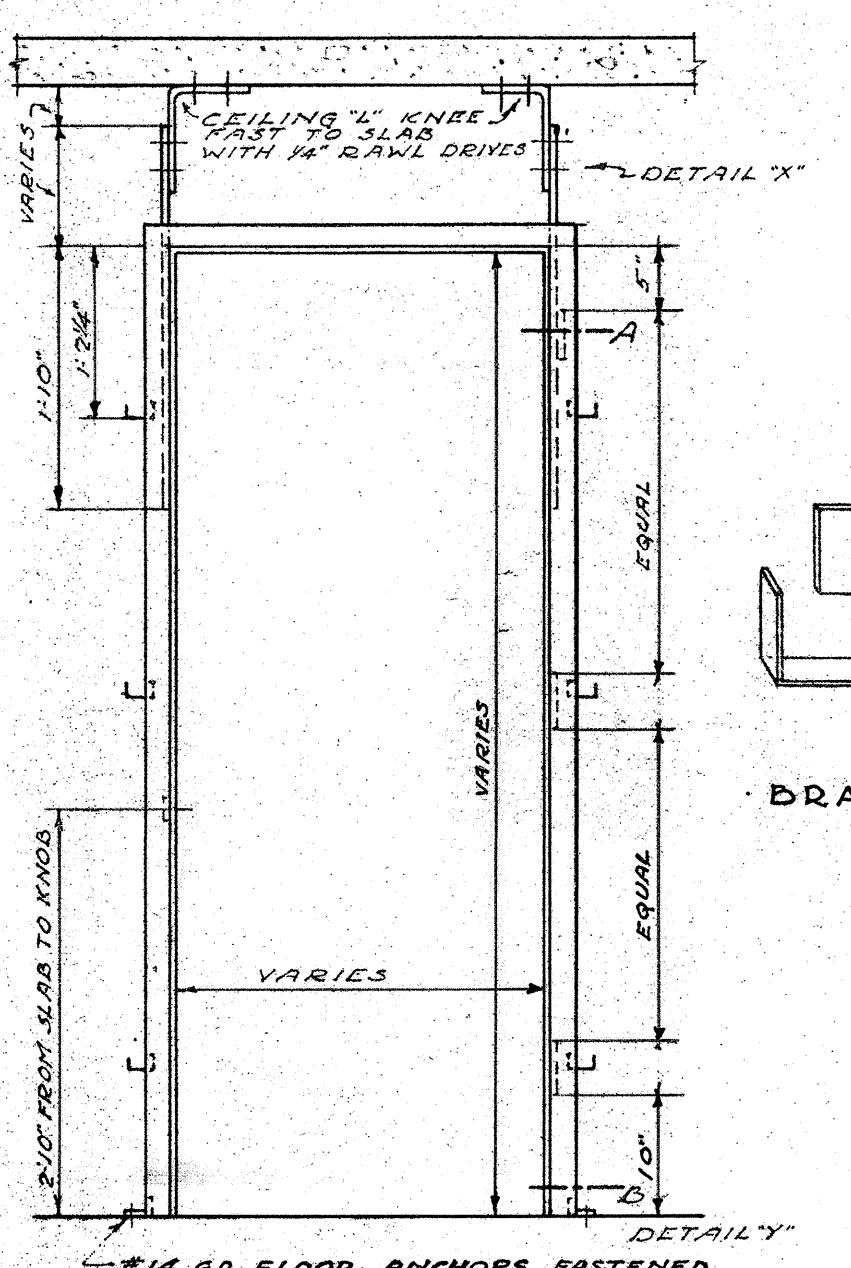
| LOCATION        | DWELLING BUILDINGS     |   |             |             |                                 |                                 | ADMINISTRATION BUILDING |  |  |                  |                 |             |             |             |             |             |             |  |
|-----------------|------------------------|---|-------------|-------------|---------------------------------|---------------------------------|-------------------------|--|--|------------------|-----------------|-------------|-------------|-------------|-------------|-------------|-------------|--|
|                 | ENTRANCE               | BED RM.                                   | BATH        | CORR. CLOS. | LINEN CL.                       | EXTERIOR ELECT. METER CABINETS  | EXTERIOR                | EXTERIOR   | EXTERIOR   | EXTERIOR         | EXTERIOR        | INTERIOR    |             |             |             |             |             |  |
| DOOR ELEVATIONS |                        |   |             |             |                                 |                                 |                         |  |  |                  |                 |             |             |             |             |             |             |  |
| MARK            | E-1                    | E-2                                       | I           | B           | C1 & C2                         | L1 & L2                         | E-M                     | A-E1 (SCREEN)                                      | A-E2 (SCREEN)                                      | A-E3             | A-I-1           | A-I-2       | A-I-3       | A-I-4       | A-I-5       | A-I-6       | Y           |  |
| SIZE            | 2'10" x 7'0"           | 2'10" x 7'0 1/2"                          | 2'6" x 6'8" | 2'4" x 6'8" | C1: 2'0" x 6'8" C2: 2'0" x 6'8" | L1: 2'0" x 6'8" L2: 2'0" x 6'8" | 3'0" x 6'8"             | 3'0" x 7'0"  | 2'10" x 7'0"                                       | 2'10" x 7'0" EA. | 2'4" x 6'8" EA. | 3'0" x 7'0" | 2'8" x 6'8" | 2'2" x 6'8" | 2'4" x 6'8" | 2'0" x 6'8" | 2'0" x 6'8" |  |
| THICKNESS       | 1 3/4"                 | 1 3/8"                                    | 1 3/8"      | 1 3/8"      | 1 3/8"                          | 1 3/8"                          | 1 3/8"                  | 1 3/8"   | 1 3/8"   | 1 3/8"           | 1 3/8"          | 1 3/8"      | 1 3/8"      | 1 3/8"      | 1 3/8"      | 1 3/8"      | 1 3/8"      |  |
| DOOR MATL.      | WOOD & GLASS           | WOOD & SCREEN                             | WOOD        | WOOD        | WOOD                            | WOOD                            | WOOD                    | WOOD & GLASS                                       | WOOD & GLASS                                       | WOOD             | WOOD            | WOOD        | WOOD        | WOOD        | WOOD        | WOOD        | WOOD        |  |
| FRAME "         | METAL IN BLDG. A1 & D4 | METAL                                     | METAL       | METAL       | METAL                           | METAL                           | METAL                   | METAL  | METAL  | METAL            | METAL           | METAL       | METAL       | METAL       | METAL       | METAL       | METAL       |  |
| REMARKS         | WOOD IN BLDG. A1 & D4  | WOOD SILL IN LOWER PORTION OF SCREEN DOOR |             |             |                                 |                                 |                         | C.I. THRESHOLD 1/2" x 10" x 10" (SEE SPEC. TO E-2) | C.I. THRESHOLD 1/2" x 10" x 10" (SEE SPEC. TO E-2) | C.I. THRESHOLD   |                 |             |             |             |             |             |             |  |

| WINDOW ELEVATIONS | WINDOW SCHEDULE |                 |                 |                     |
|-------------------|-----------------|-----------------|-----------------|---------------------|
|                   | A               | B               | C               | D                   |
| MARK              | A               | B               | C               | D                   |
| SASH SIZE         | 4'1" x 4'3 3/8" | 4'7" x 4'3 3/8" | 3'1" x 4'3 3/8" | 1'7" x 3'3 3/8"     |
| MASONRY OPN.      | 4'1 1/2" x 4'4" | 4'7 1/2" x 4'4" | 3'1 1/2" x 4'4" | 1'7 1/2" x 3'3 3/8" |

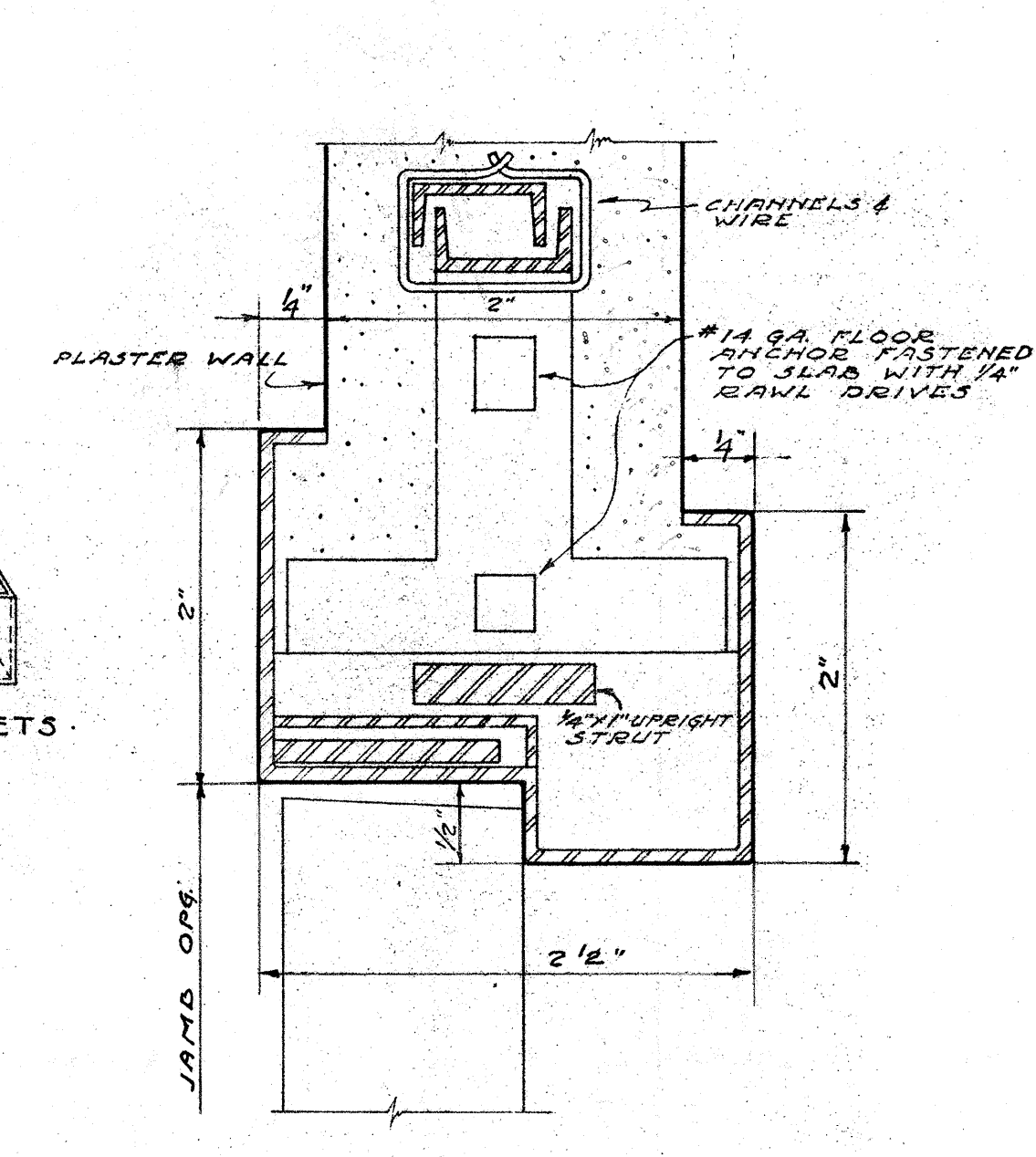
NOTES: FOR WINDOW MASONRY OPENINGS OF BUILDINGS D-2 & D-3, SEE SHEET NOS. 13 & 14. ALL WINDOW VENTILATORS SHALL BE PROVIDED WITH SCREEN FRAMES & SCREENS AS SHOWN. SEE SPECIFICATIONS.



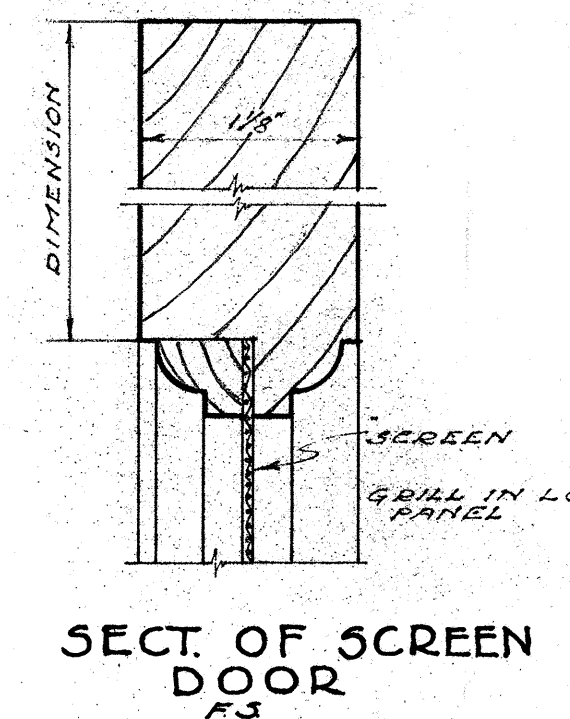
METAL FRAME AT BALUSTRADE-STAIR RAIL & JAMBS IN 3" CINDER BLOCK PLASTERED WALLS.



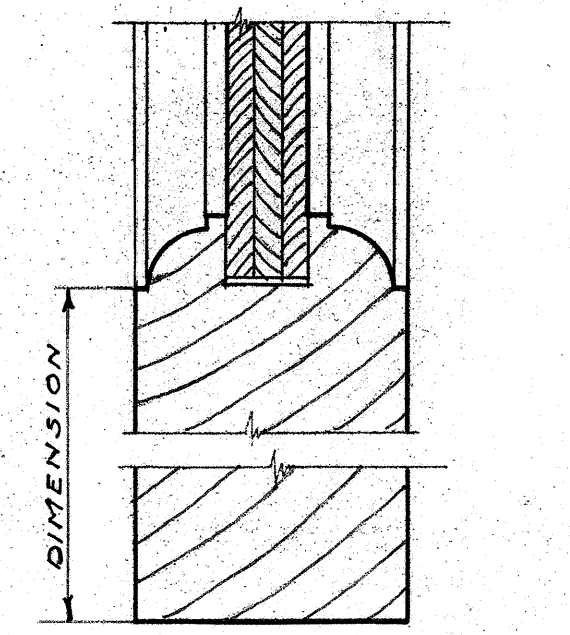
ELEVATION OF FRAMES AT 2' PARTITIONS



SECTION @ 'A' & 'B'

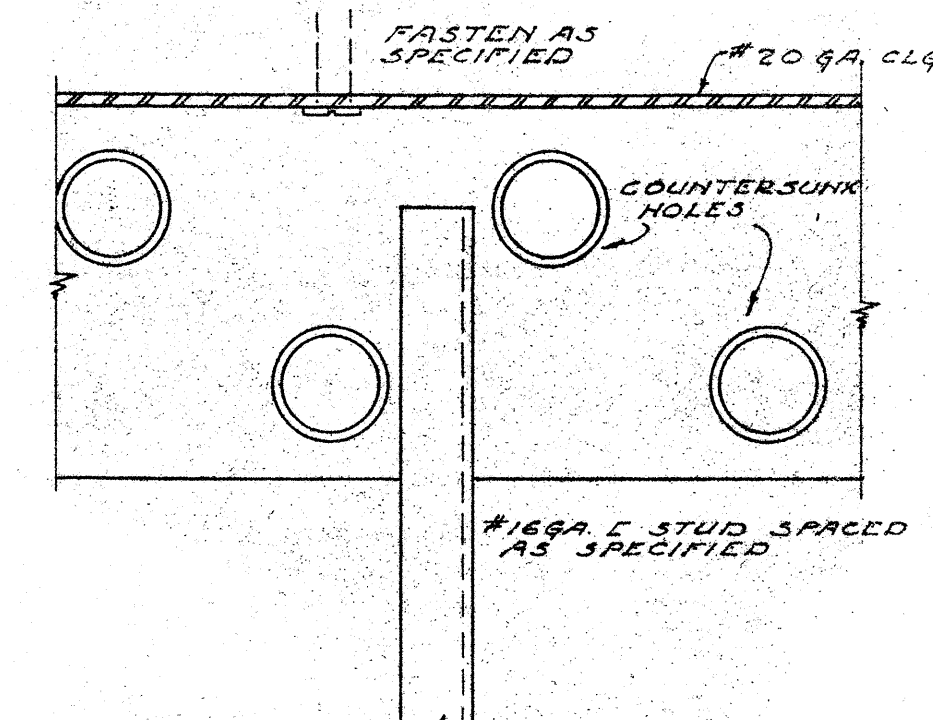


SECT. OF SCREEN DOOR

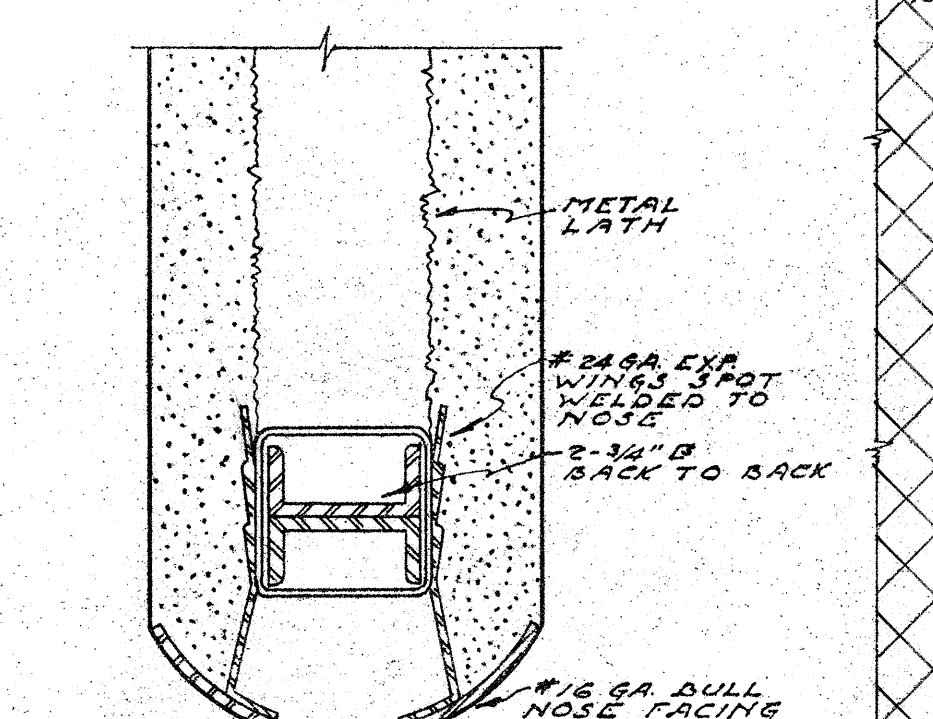


SECT. OF INTERIOR DOORS

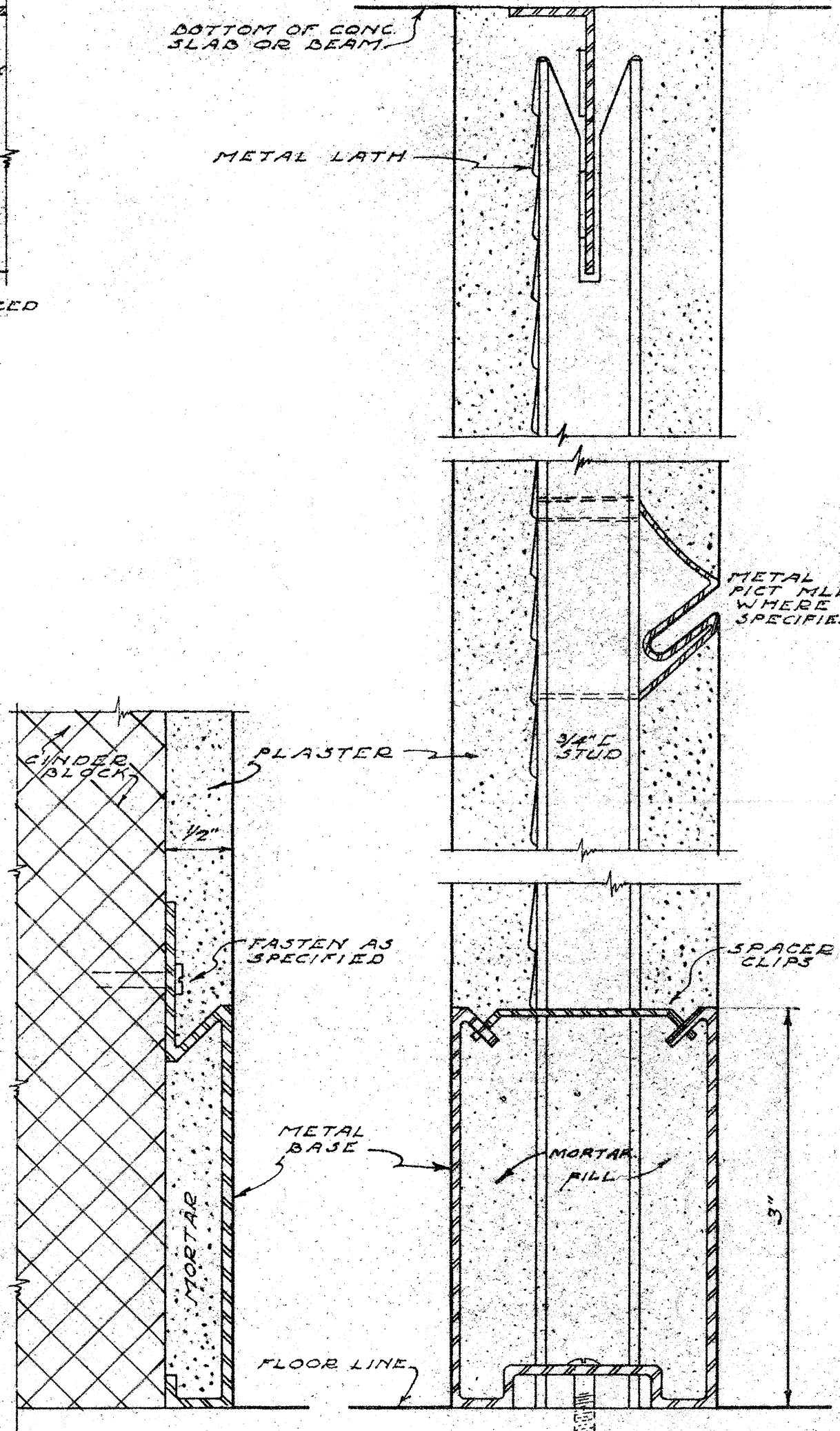
FOR ALL BLDGS.



ELEVATION OF CEILING RUNNER



SECTION THRU WALL AT CASED OPENING



BASE DETAIL CINDER BLOCK WALLS & PARTITION

SECTION THRU 2" STUD PLAS. PARTITION

F.5. PARTITION DETAILS FOR BLDGS. A, B, D-4, & ADMINISTRATION

WINDOW DETAILS

SCALE: HALF FULL SIZE  
FOR BLDGS. A, B, D-4, & ADMINISTRATION  
SEE ADMINISTRATION BLDG. WALL SECTION FOR DIFFERENT HEAD CONDITION IN THAT BLDG. ONLY.

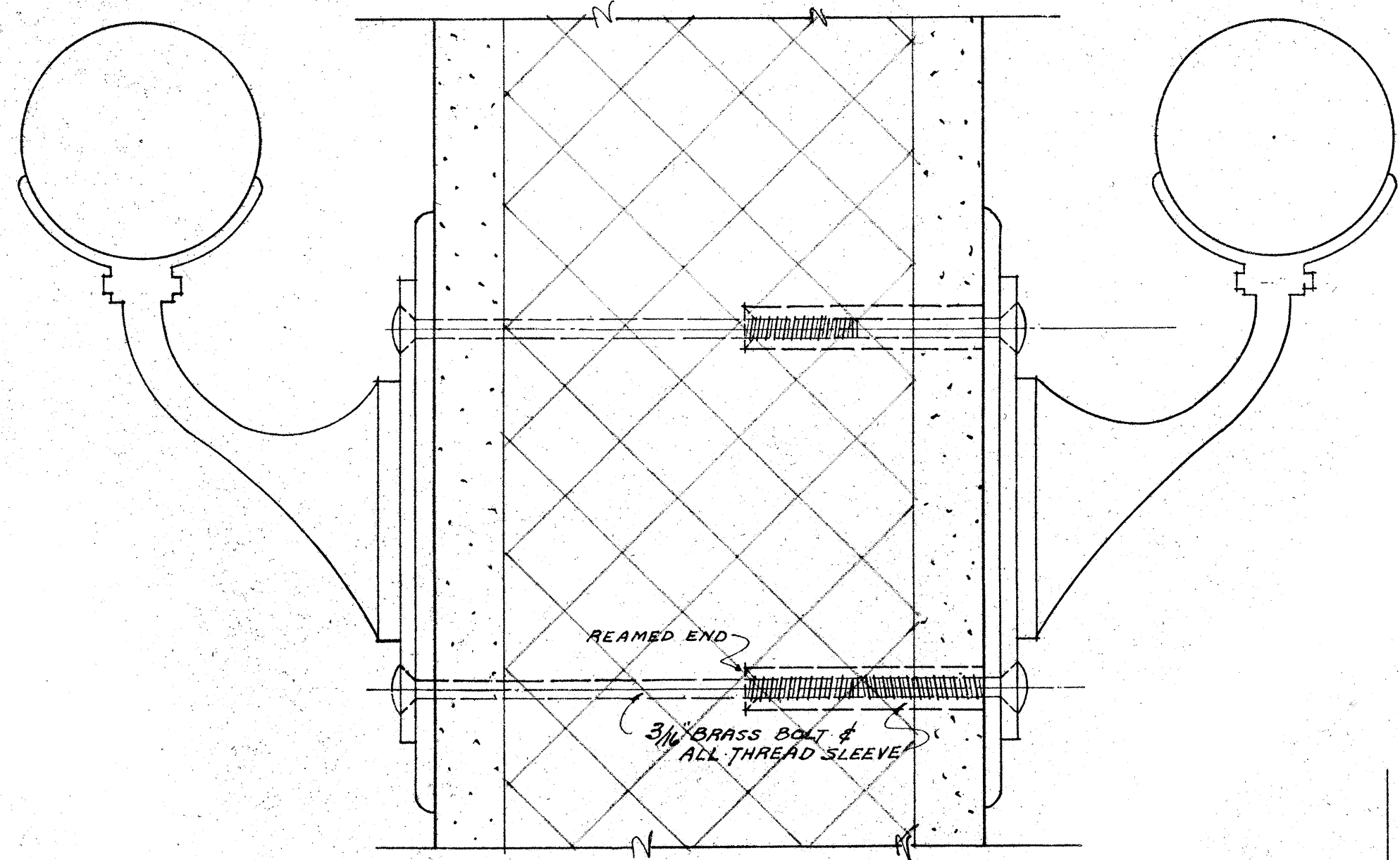
JAMB AT CINDER BLOCK OR BRICK PARTITION

METAL FRAME & DOOR DETAILS

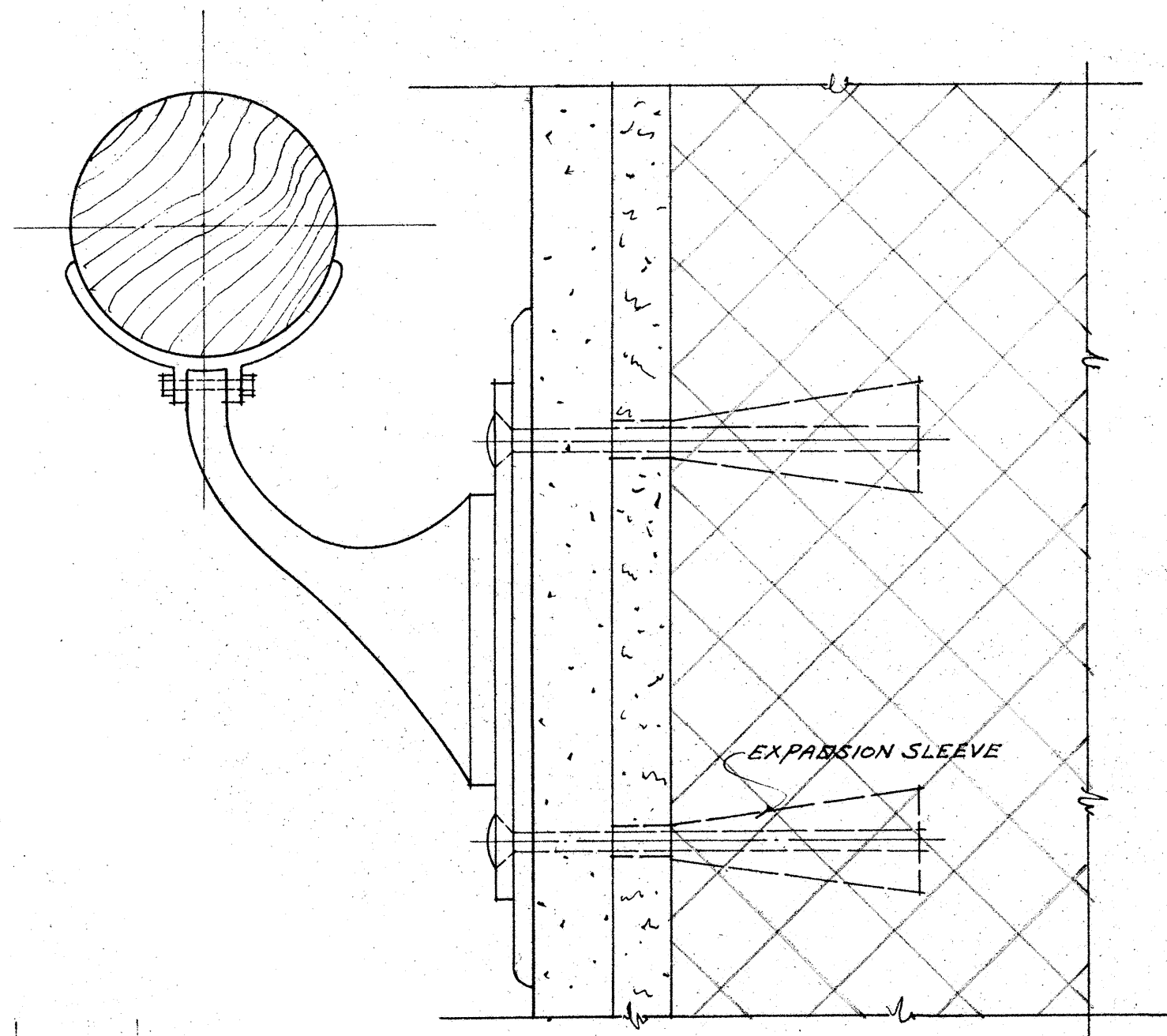
FOR BLDGS. A, B, D-4, & ADMIN.

|                                  |                                      |                     |
|----------------------------------|--------------------------------------|---------------------|
| DOOR, WINDOW & PARTITION DETAILS |                                      | PROJECT NO. VA. 3-2 |
| MARSHALL COURTS                  |                                      | NEWPORT NEWS, VA.   |
| DATE                             | WILLIAMS, COILE & PIPINO, ARCHITECTS | A                   |
| 8/29/40                          | NEWPORT NEWS, VA.                    | 214                 |
| DRAWN BY                         | APPROVED BY                          | SHEET NO.           |
| W.G.W.                           | <i>W.G. Williams</i>                 | 18                  |
| CHECKED BY                       | CHIEF ARCHITECT                      |                     |
|                                  |                                      |                     |
| HOUSING AUTHORITY                |                                      | 302-133             |
| NEWPORT N                        |                                      |                     |

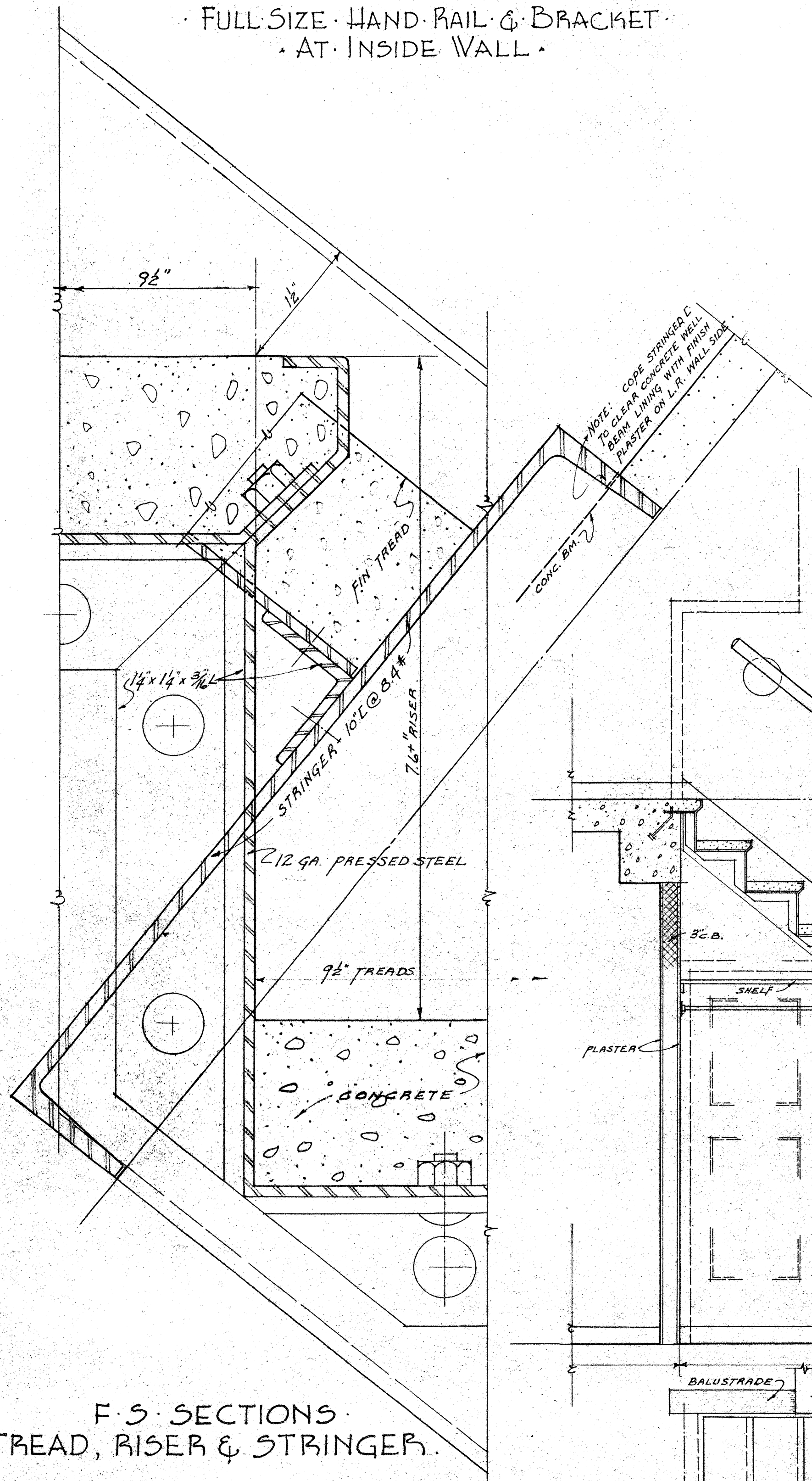




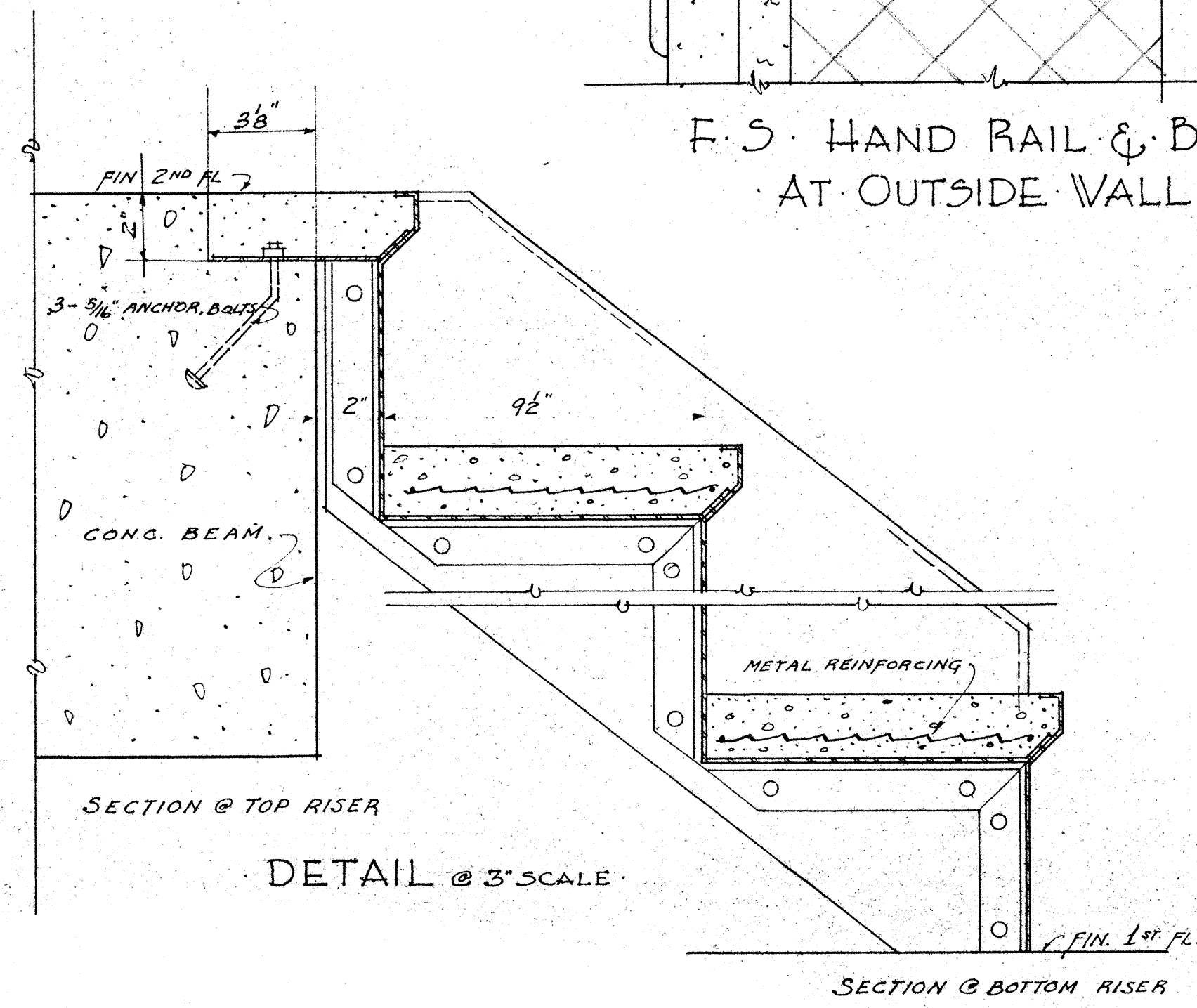
FULL SIZE HAND RAIL & BRACKET  
AT INSIDE WALL



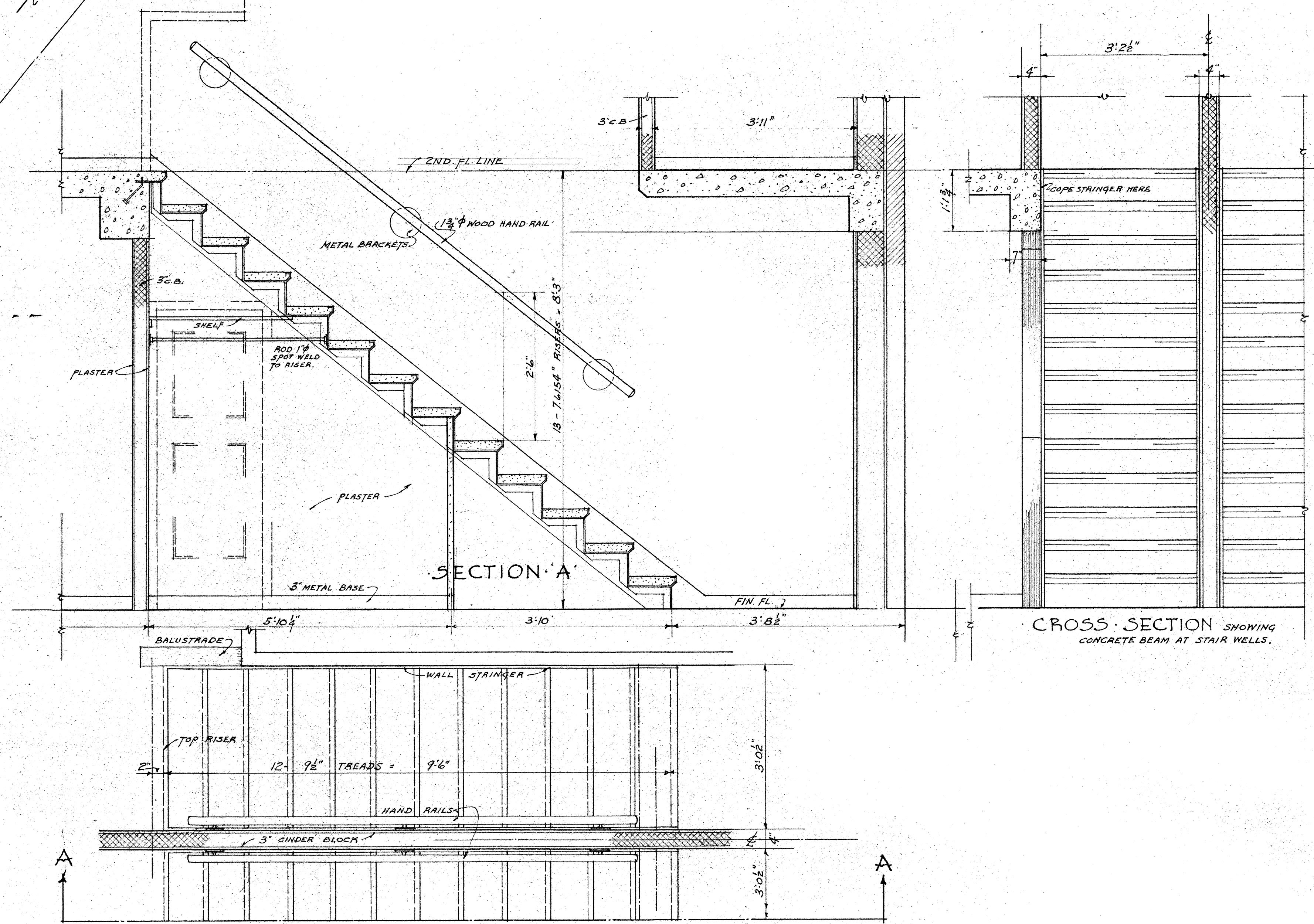
F.S. HAND RAIL & BRACKET  
AT OUTSIDE WALL



F.S. SECTIONS  
TREAD, RISER & STRINGER.

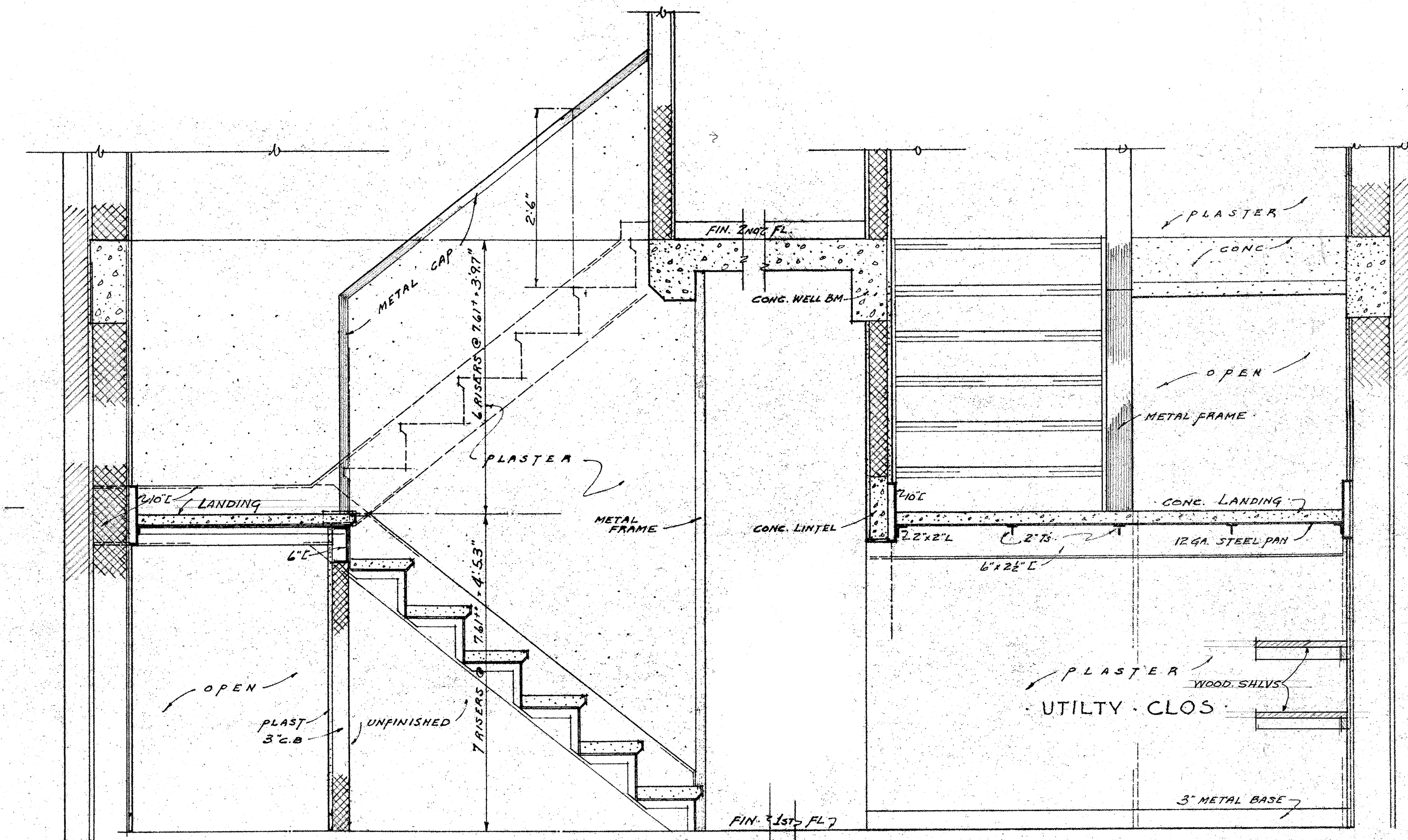


SECTION @ TOP RISER  
DETAIL @ 3/4" SCALE



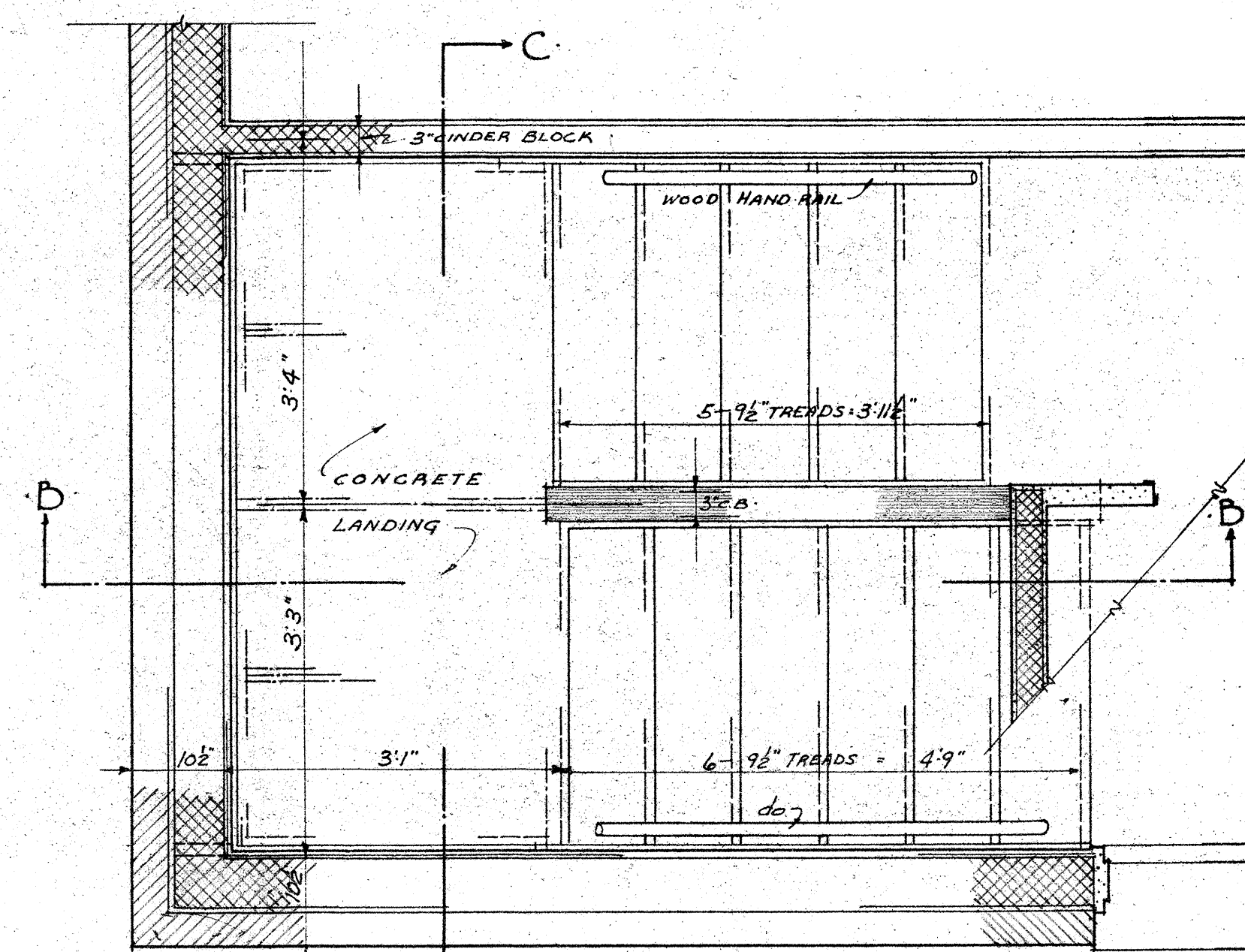
CROSS SECTION SHOWING  
CONCRETE BEAM AT STAIR WELLS.

PLAN  
TYPICAL STAIR DETAILS  
SCALE: 3/4" = 1'-0"



SECTION 'B'

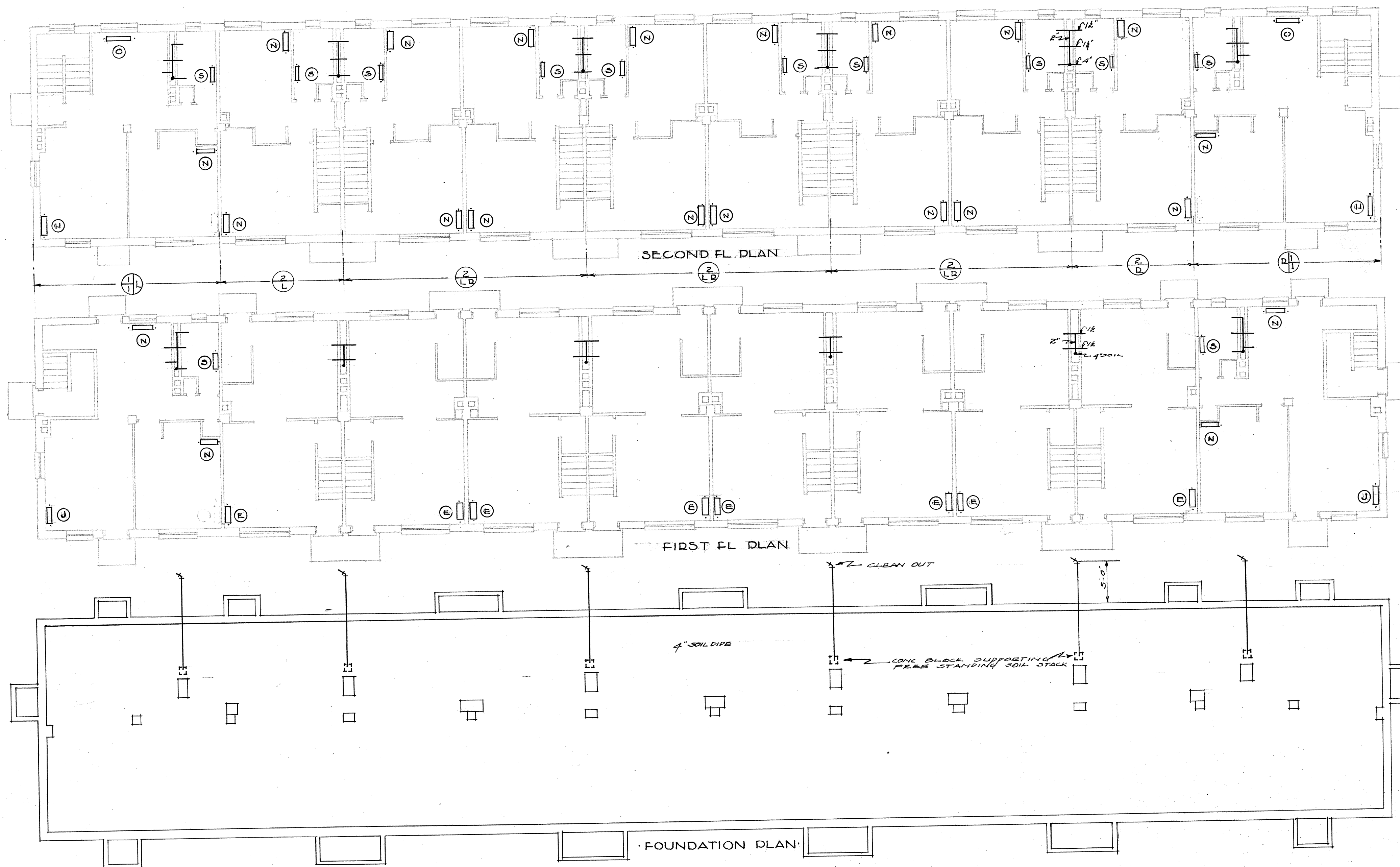
SECTION 'C'



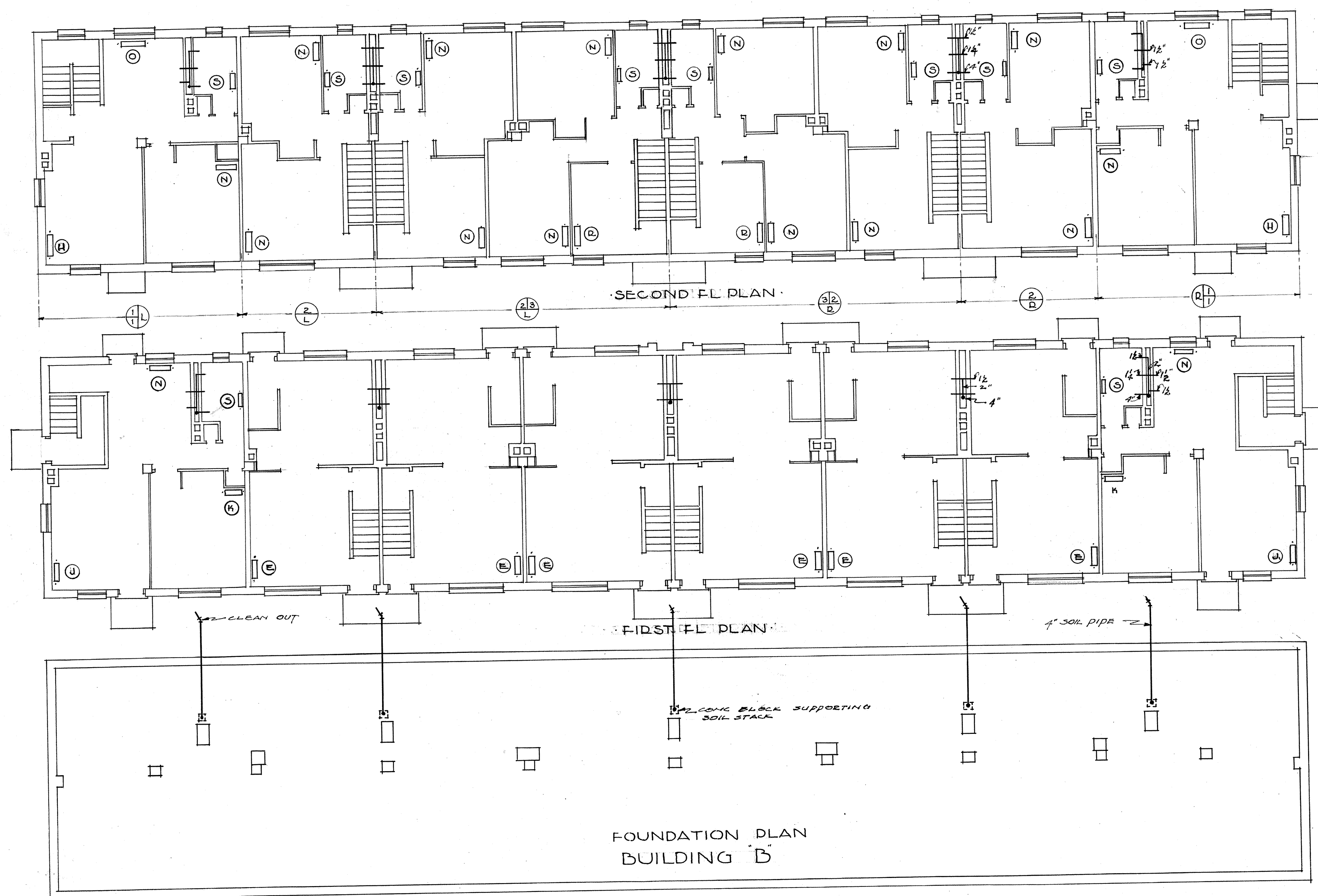
PLAN  
TYPICAL STAIR AT  
END UNITS

| STAIR DETAILS - FOR BLDGS 'A', 'B' & 'D-4'              |                                      |                     |           |
|---|--------------------------------------|---------------------|-----------|
| MARSHALL COURTS   |                                      |                     |           |
| DATE  | WILLIAMS, COILE & PIPINO, ARCHITECTS | PROJECT NO. VA. 32- | A         |
| 01/20/40  | 408 NELSON BLDG.                     | NEWPORT NEWS, VA.   |           |
| DRAWN BY  | APPROVED BY                          | 215                 | SHEET NO. |
| CHKD BY   | CHIEF ARCHITECT                      |                     | 19        |
| HOUSING AUTHORITY OF THE CITY OF NEWPORT NEWS, VIRGINIA |                                      |                     |           |





BUILDING A  
SCALE 1/8"



BUILDING B  
SCALE 1/8"

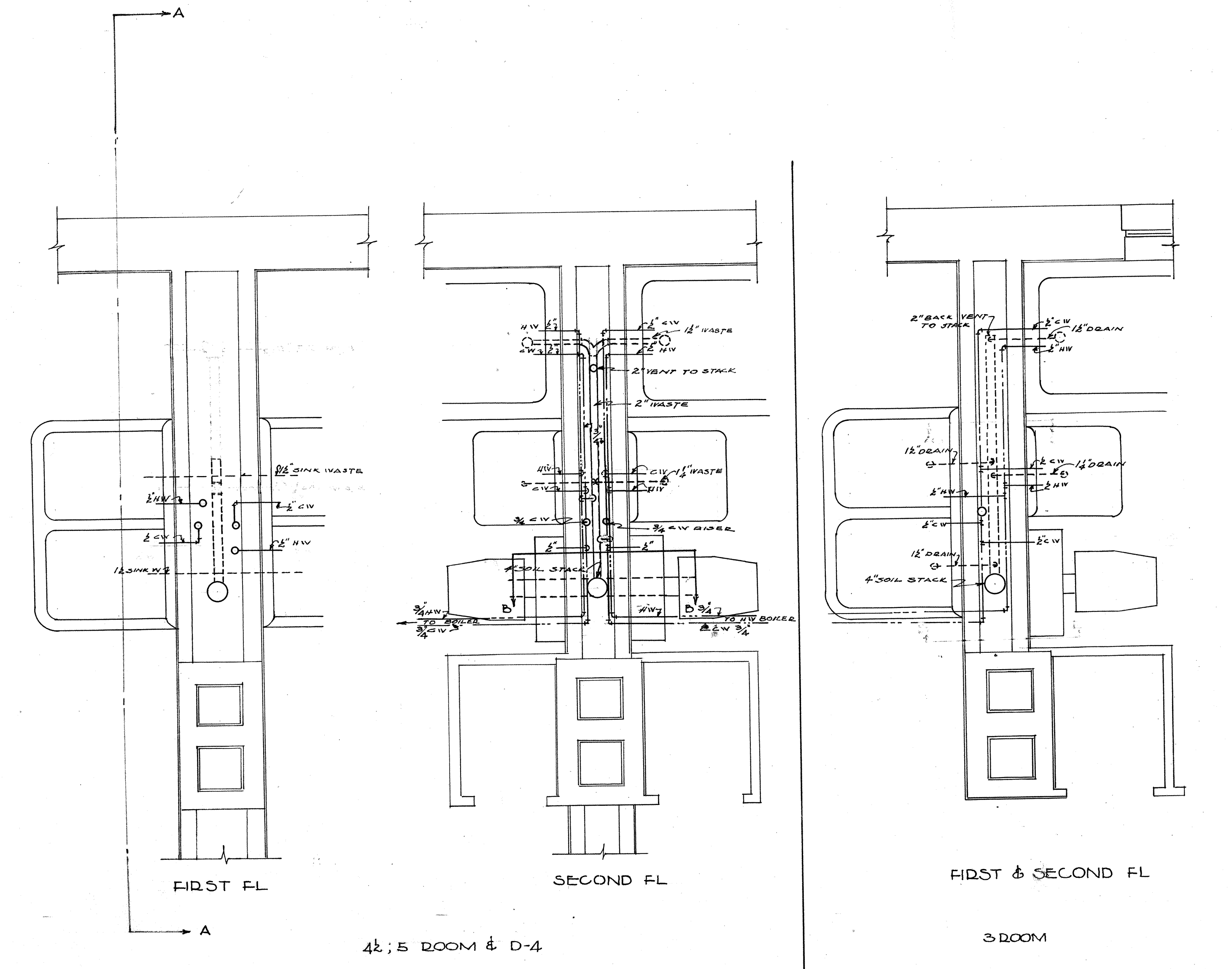
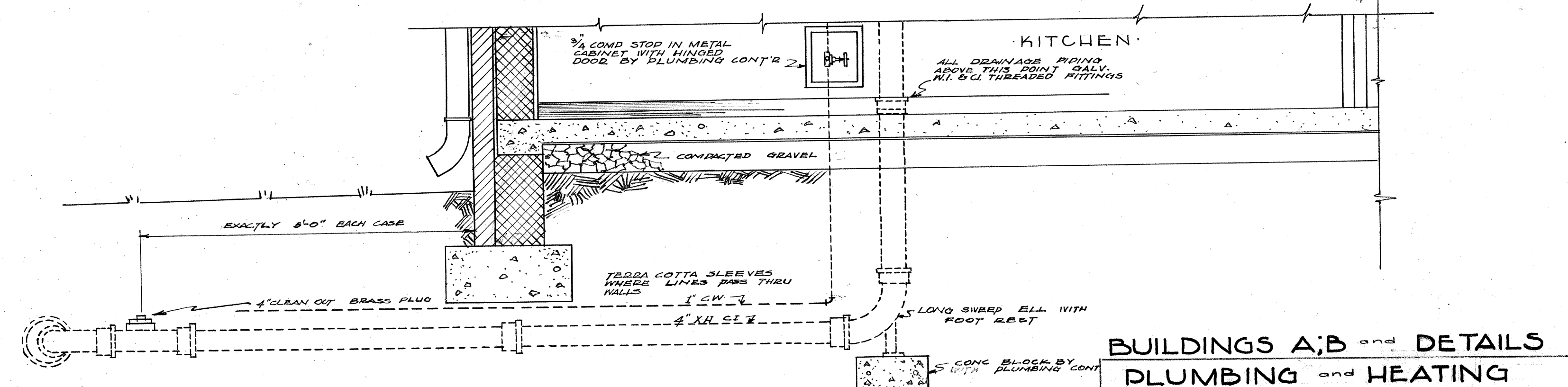
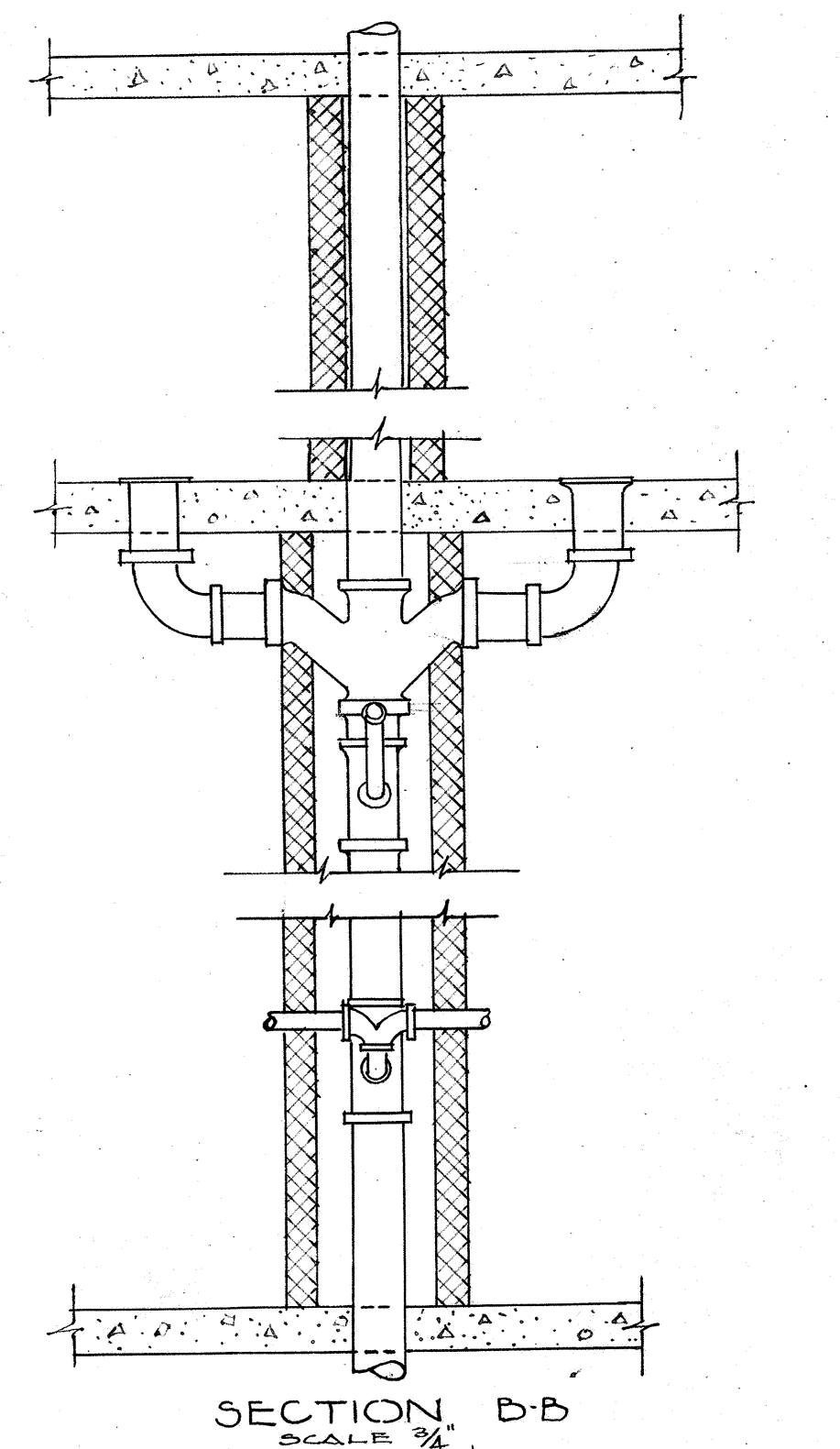


DIAGRAM SHOWING CONNECTIONS BETWEEN UNITS  
SCALE 3/4" = 1'-0"

RADIATOR SCHEDULE

| MARK | NO | SECT | N° TUBES | SO FT BAR | HEIGHT | LENGTH | N° REQ'D |
|------|----|------|----------|-----------|--------|--------|----------|
| A    | 26 | 4    | 31       | 32        | 65     |        |          |
| B    | 22 | 4    | 77       | 32        | 55     |        |          |
| C    | 16 | 4    | 63       | 32        | 45     |        |          |
| D    | 16 | 4    | 56       | 32        | 40     |        |          |
| E    | 14 | 4    | 54       | 32        | 35     |        |          |
| F    | 16 | 4    | 56       | 32        | 40     |        |          |
| G    | 13 | 4    | 55 1/2   | 32        | 32 1/2 |        |          |
| H    | 12 | 4    | 51       | 32        | 30     |        |          |
| I    | 14 | 4    | 49       | 32        | 35     |        |          |
| J    | 11 | 4    | 46 3/4   | 32        | 27 1/2 |        |          |
| K    | 10 | 4    | 42 1/2   | 32        | 25     |        |          |
| L    | 7  | 4    | 38 1/2   | 32        | 22 1/2 |        |          |
| M    | 10 | 4    | 35       | 32        | 25     |        |          |
| N    | 9  | 4    | 34       | 32        | 20     |        |          |
| O    | 7  | 4    | 29 3/4   | 32        | 17 1/2 |        |          |
| P    | 6  | 4    | 25       | 32        | 15     |        |          |
| Q    | 16 | 3    | 25.6     | 25        | 20     |        |          |
| R    | 9  | 4    | 21 1/2   | 32        | 12 1/2 |        |          |
| S    | 10 | 3    | 16       | 25        | 17 1/2 |        |          |



**BUILDINGS A; B and DETAILS**  
**PLUMBING and HEATING**

**MARSHALL COURTS**

PROJECT NO. VA-33  
NEWPORT NEWS, VA.

DATE: 8/20/40  
DRAWN BY: pdv  
CHECKED BY: E. H. ...

WILLIAMS, COILE & PINO, ARCHITECTS  
402 WELSON BLDG.  
NEWPORT NEWS, VA.

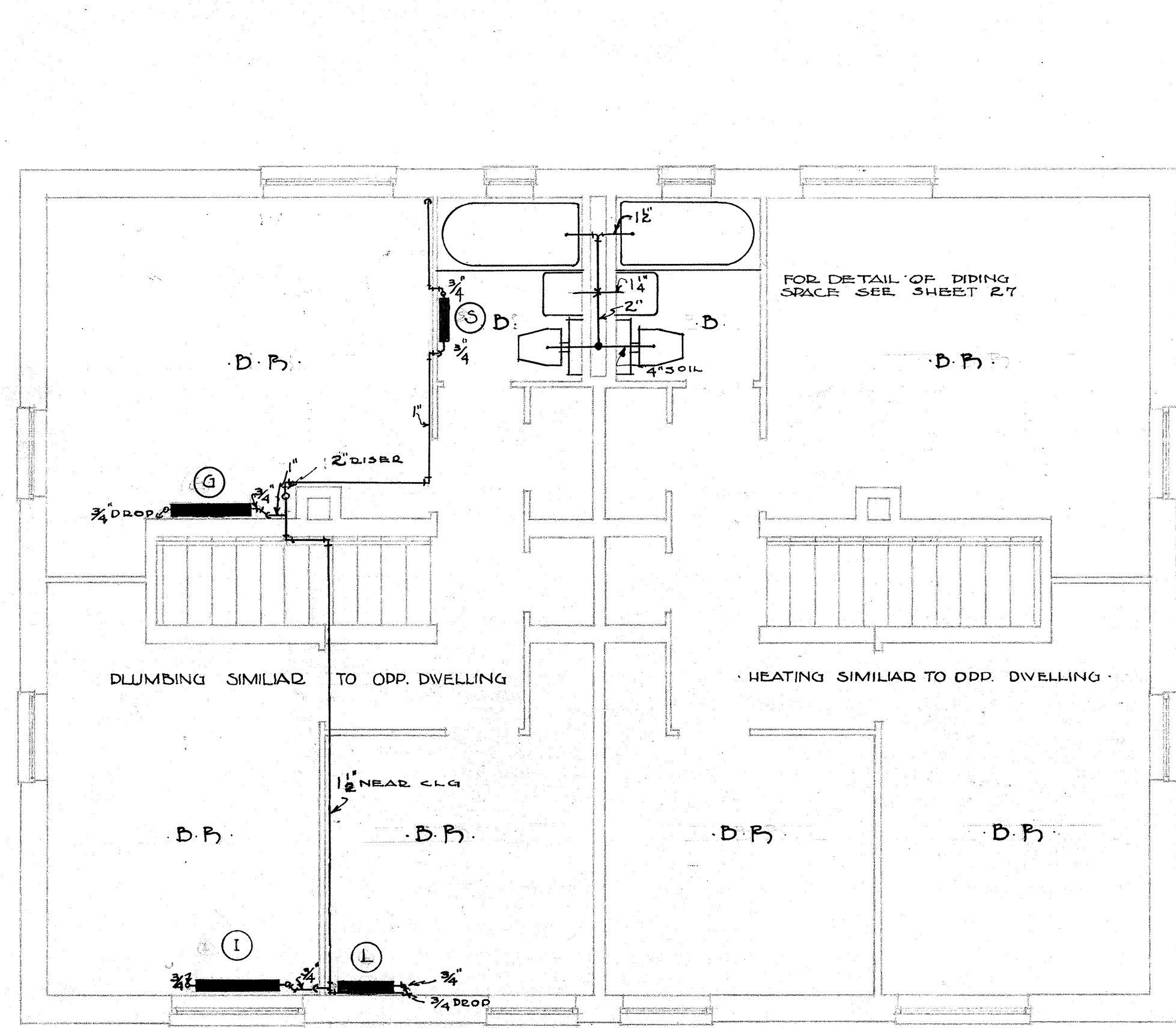
APPROVED BY: [Signature]  
CHIEF ARCHITECT

CHAIRMAN, HOUSING AUTHORITY

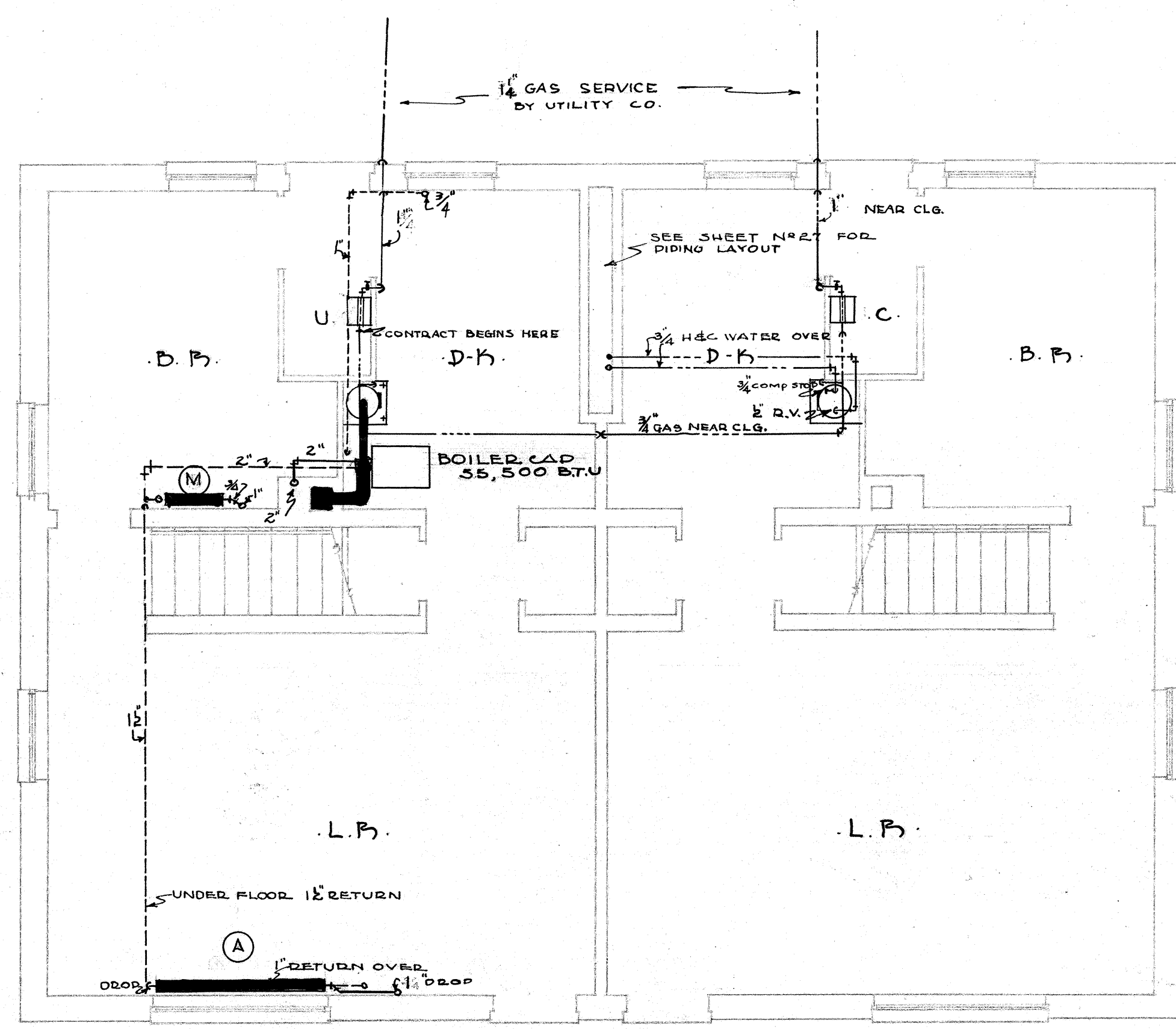
HOUSING AUTHORITY OF THE CITY  
NEWPORT NEWS, VIRGINIA

PH  
402  
SHEET NO.  
27

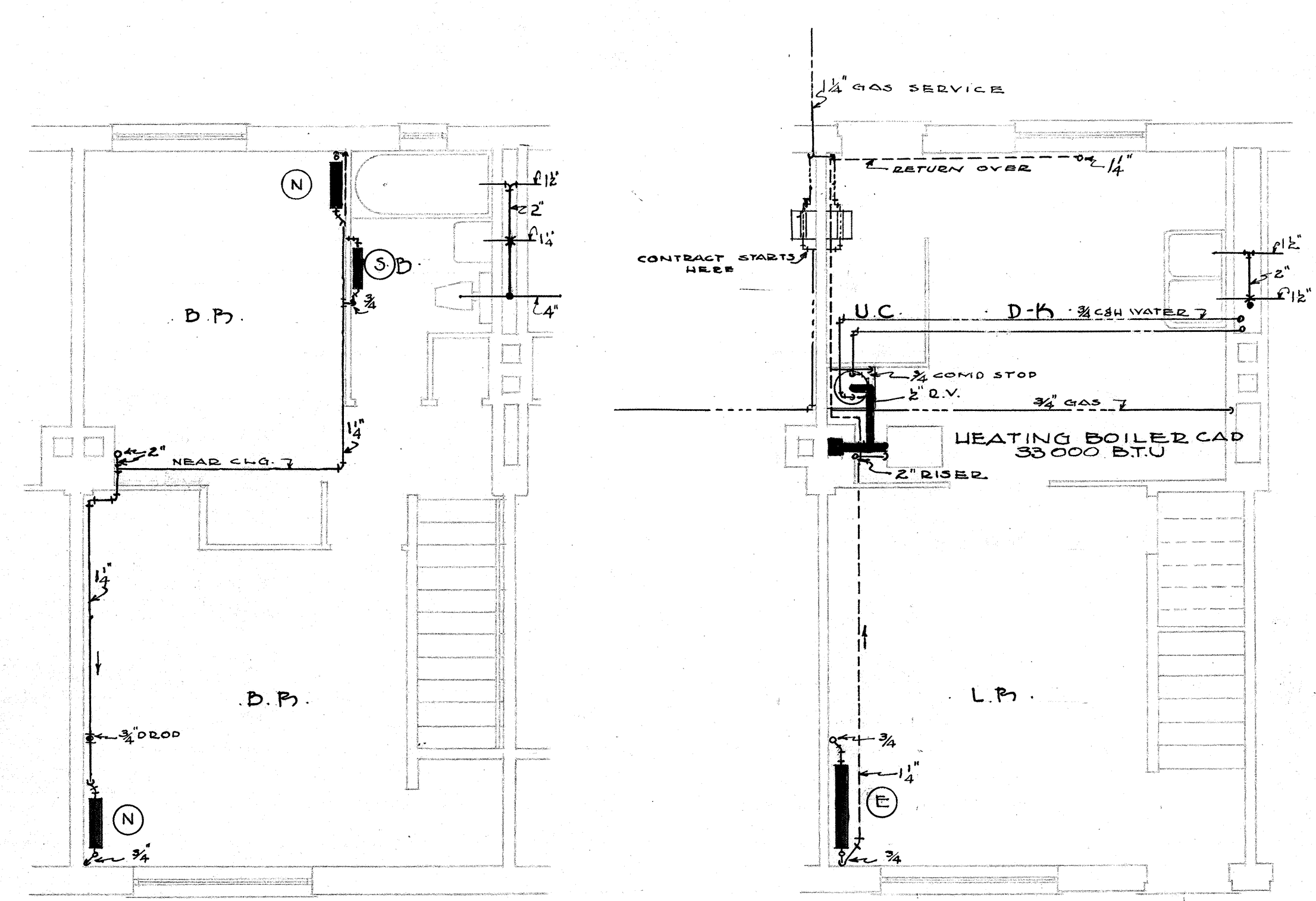




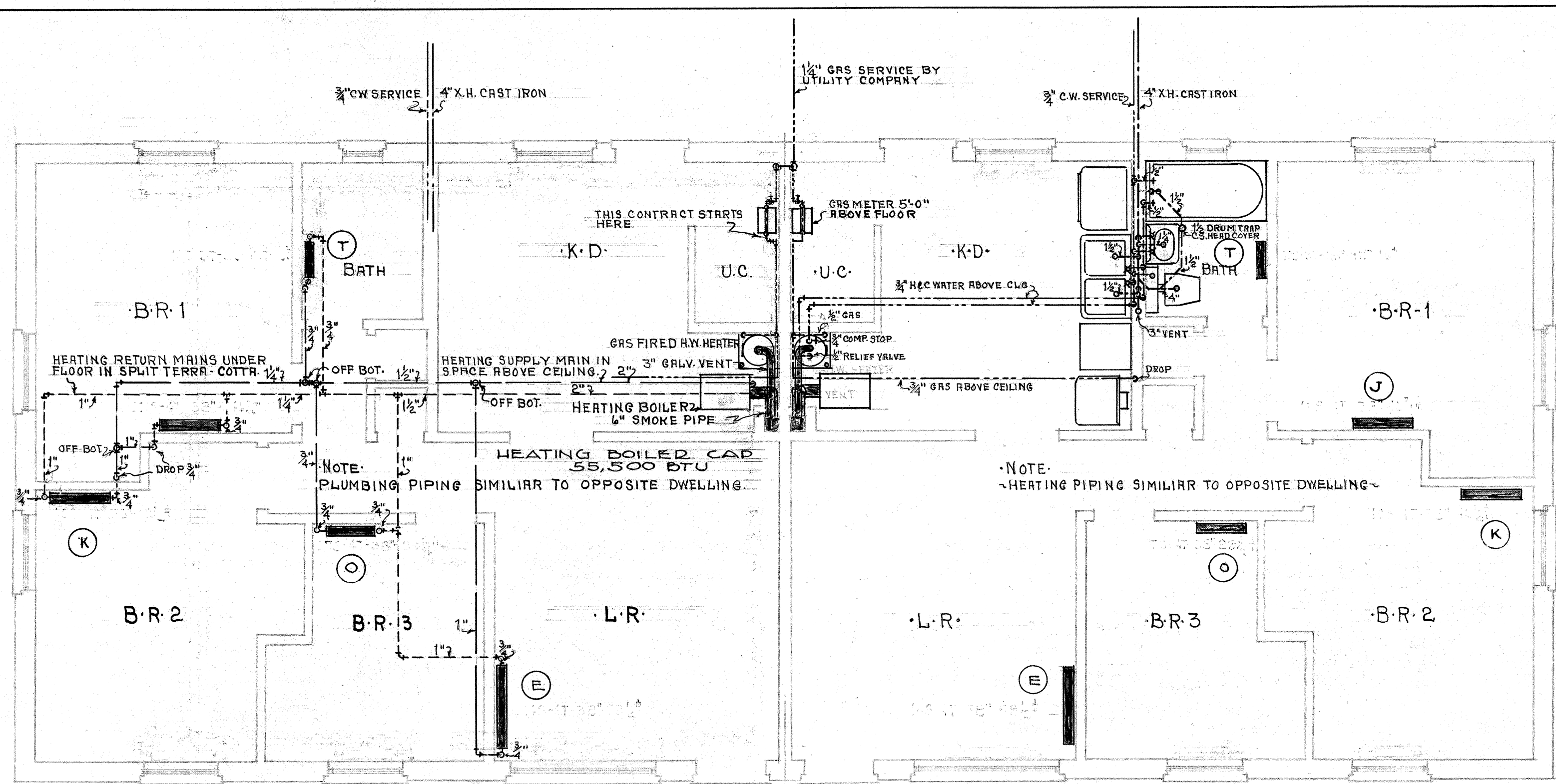
SECOND FL. PLAN · BUILDING D-4



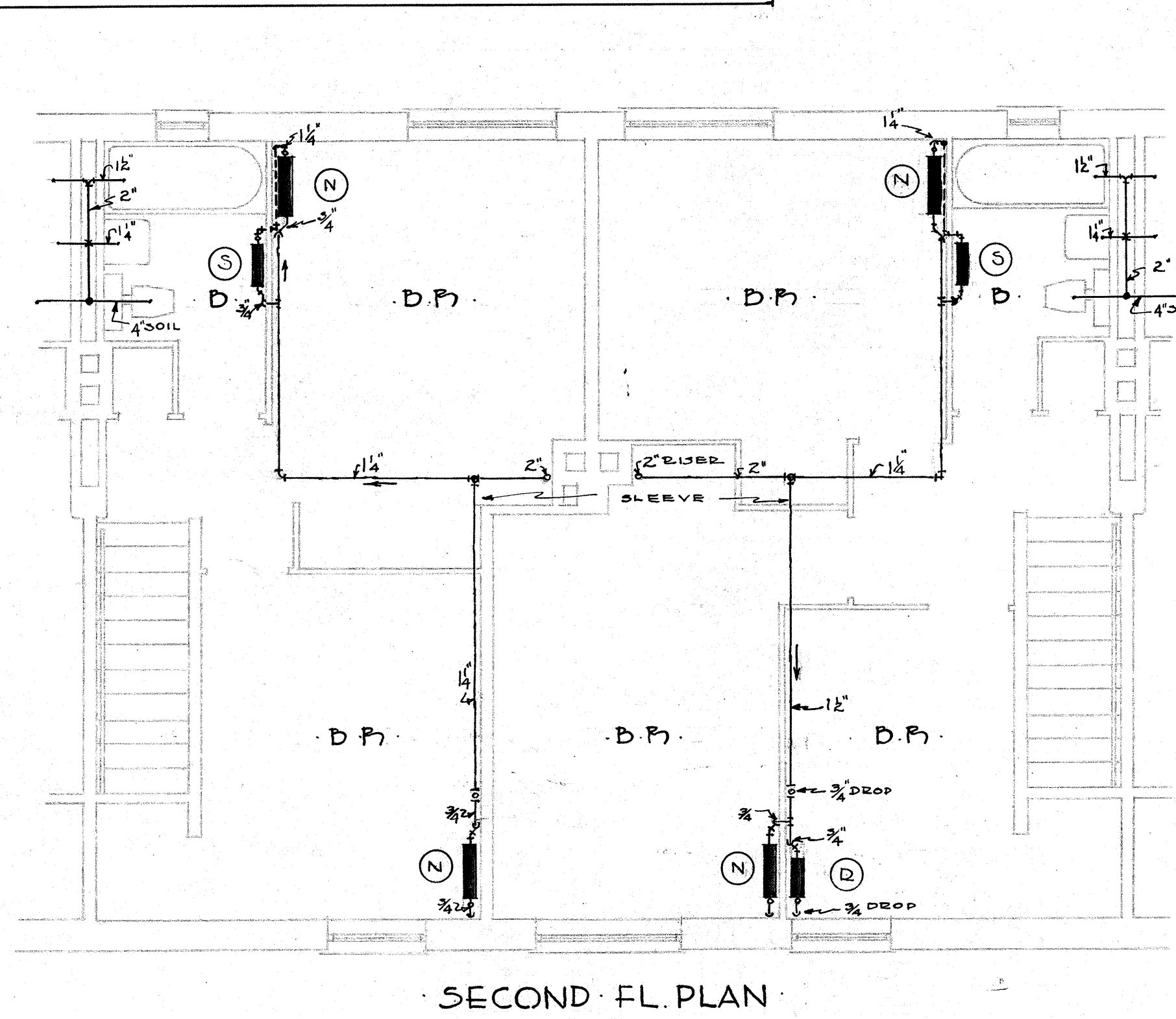
FIRST FL. PLAN



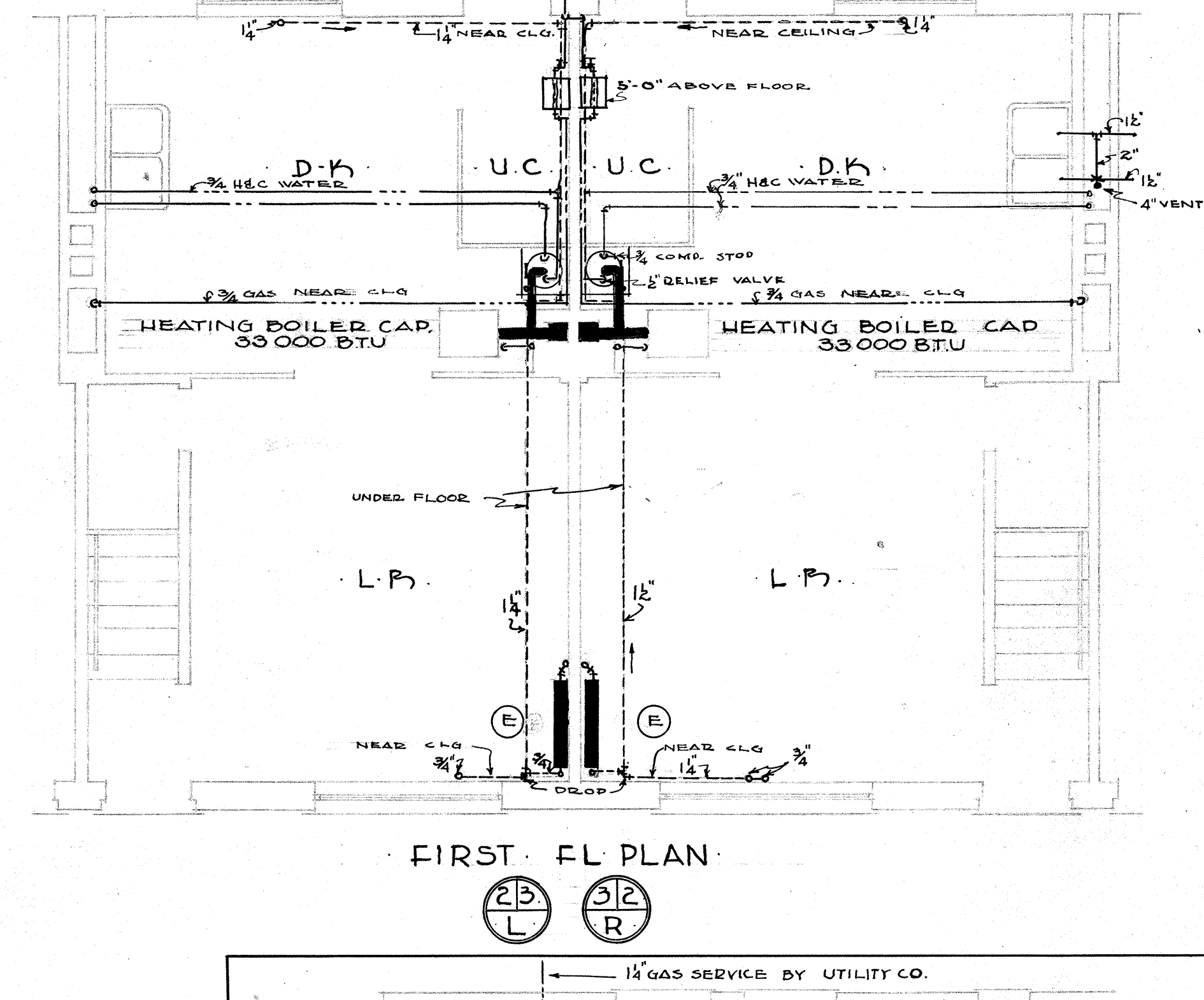
SECOND FL. PLAN · FIRST FL. PLAN



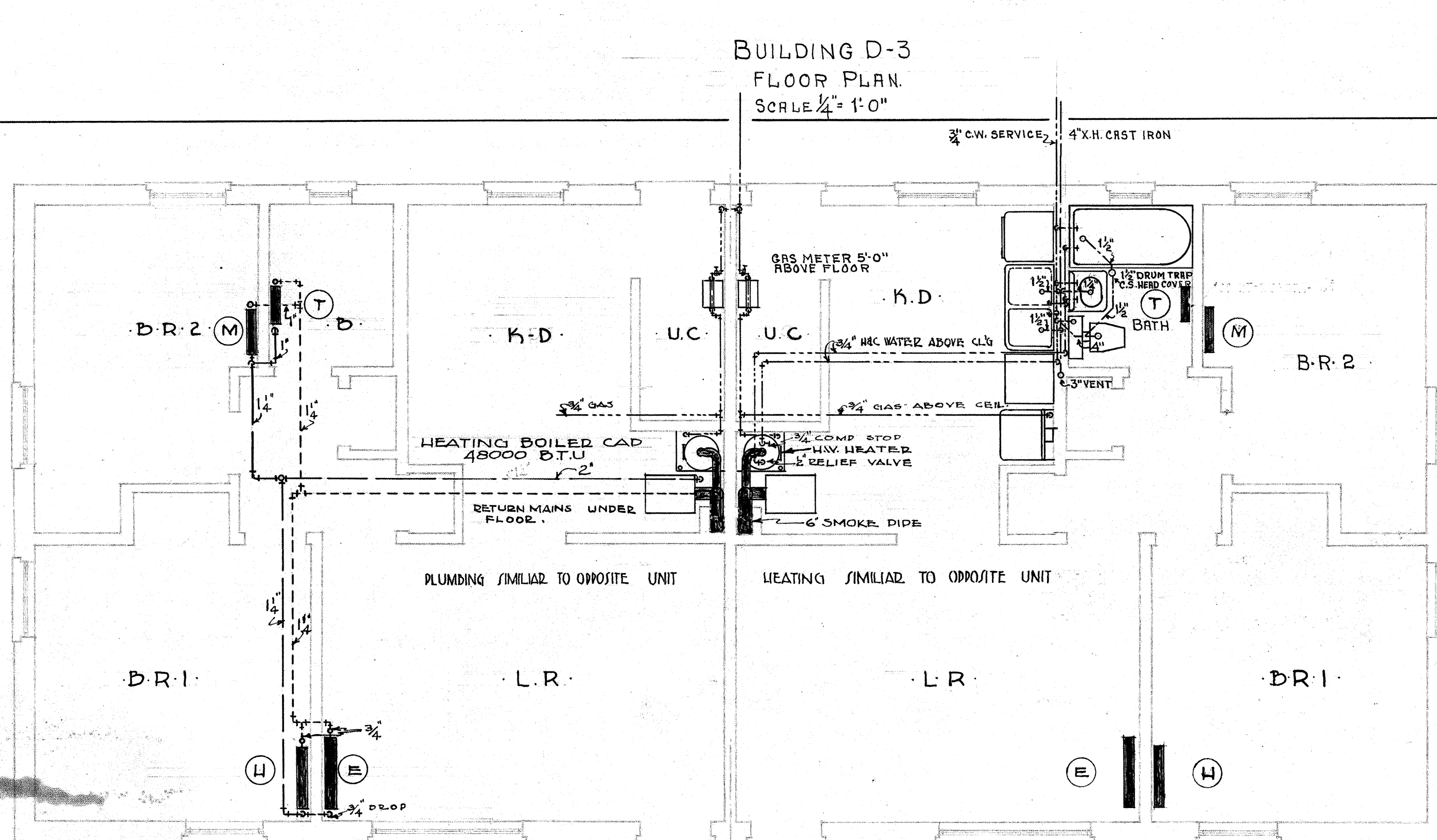
BUILDING D-3 FLOOR PLAN SCALE 1/4" = 1'-0"



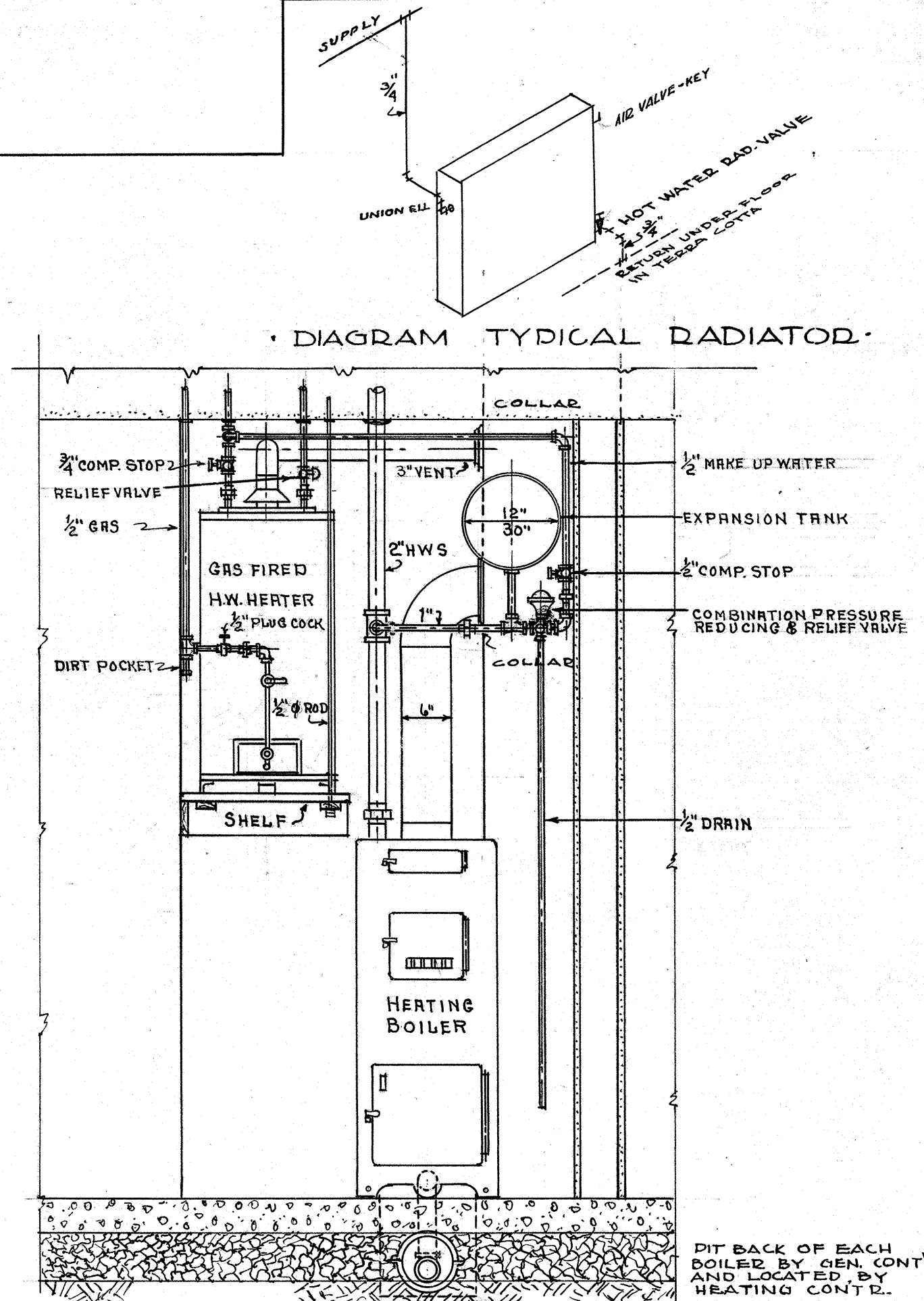
SECOND FL. PLAN



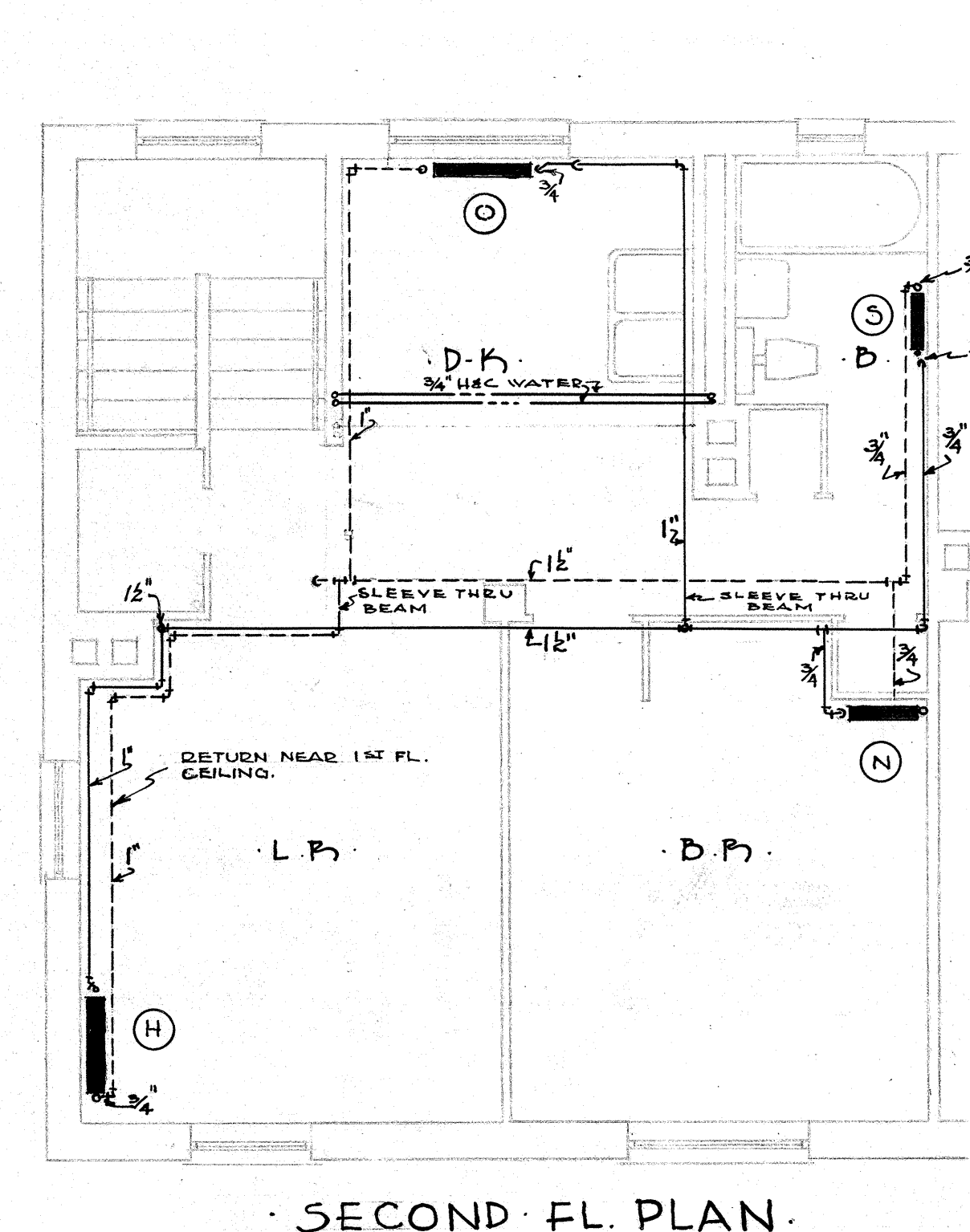
FIRST FL. PLAN



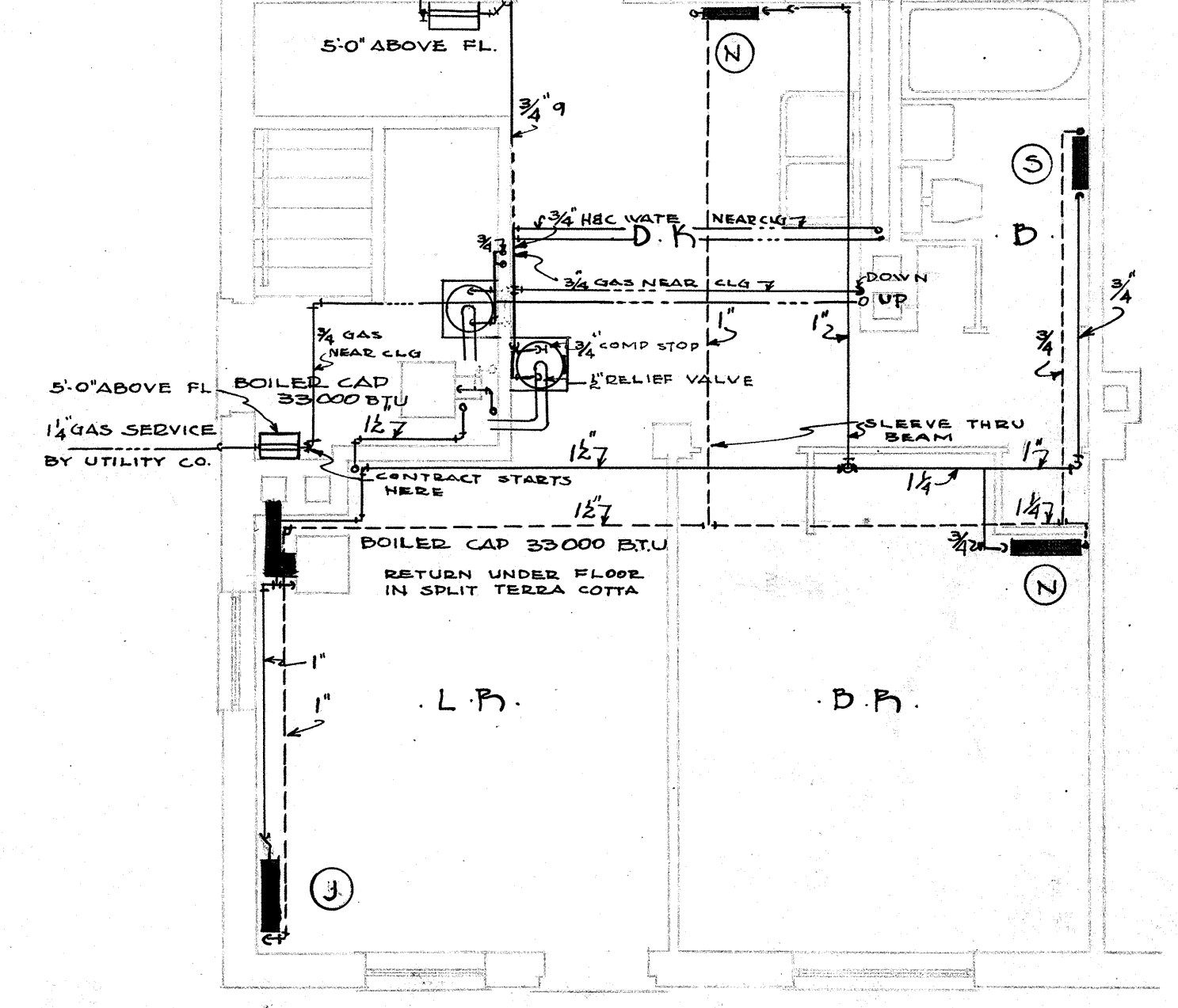
FLOOR PLAN · BUILDING D-2



TYPICAL HEATING BOILER INSTALLATION SCALE 3/4" = 1'-0"



SECOND FL. PLAN



FIRST FL. PLAN

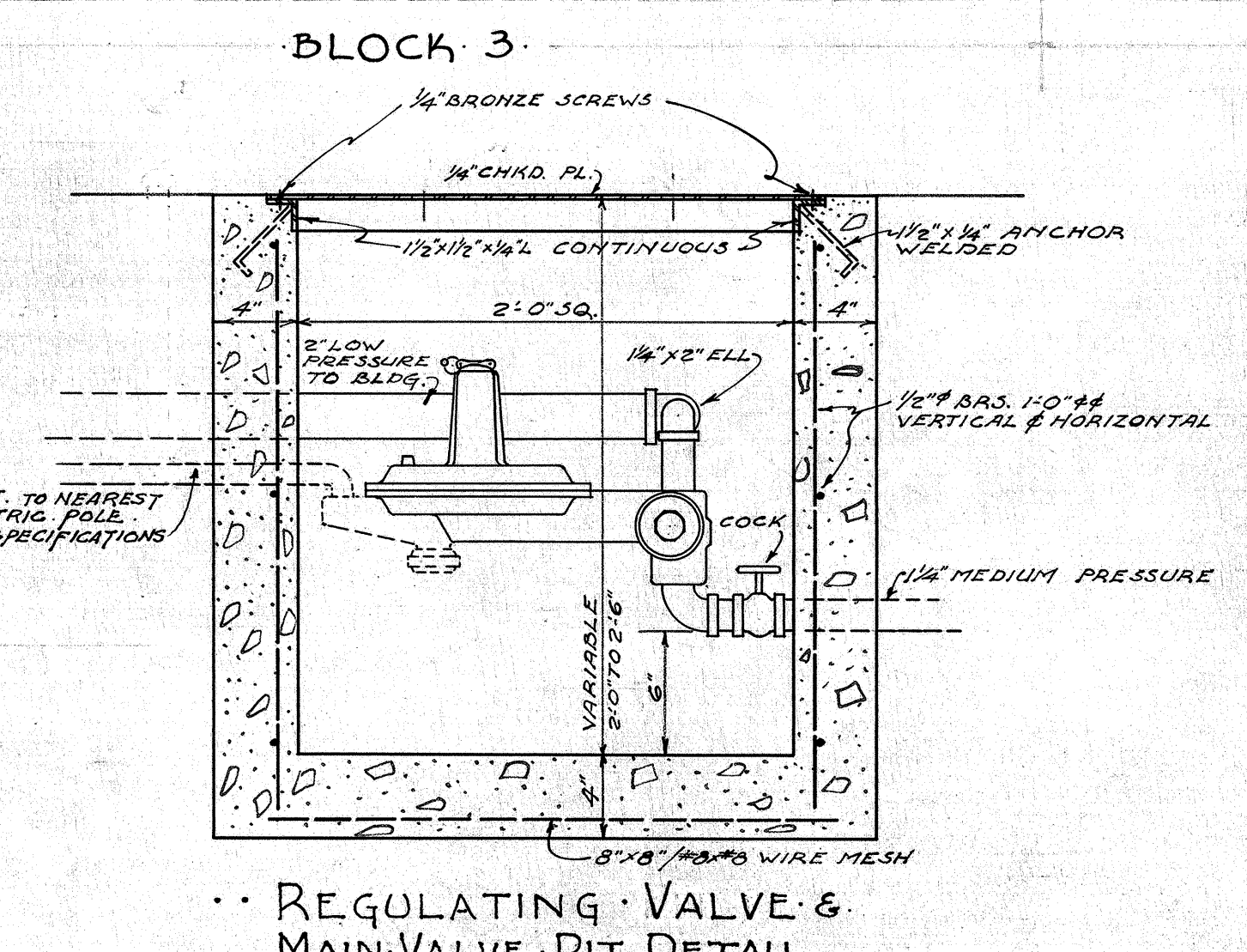
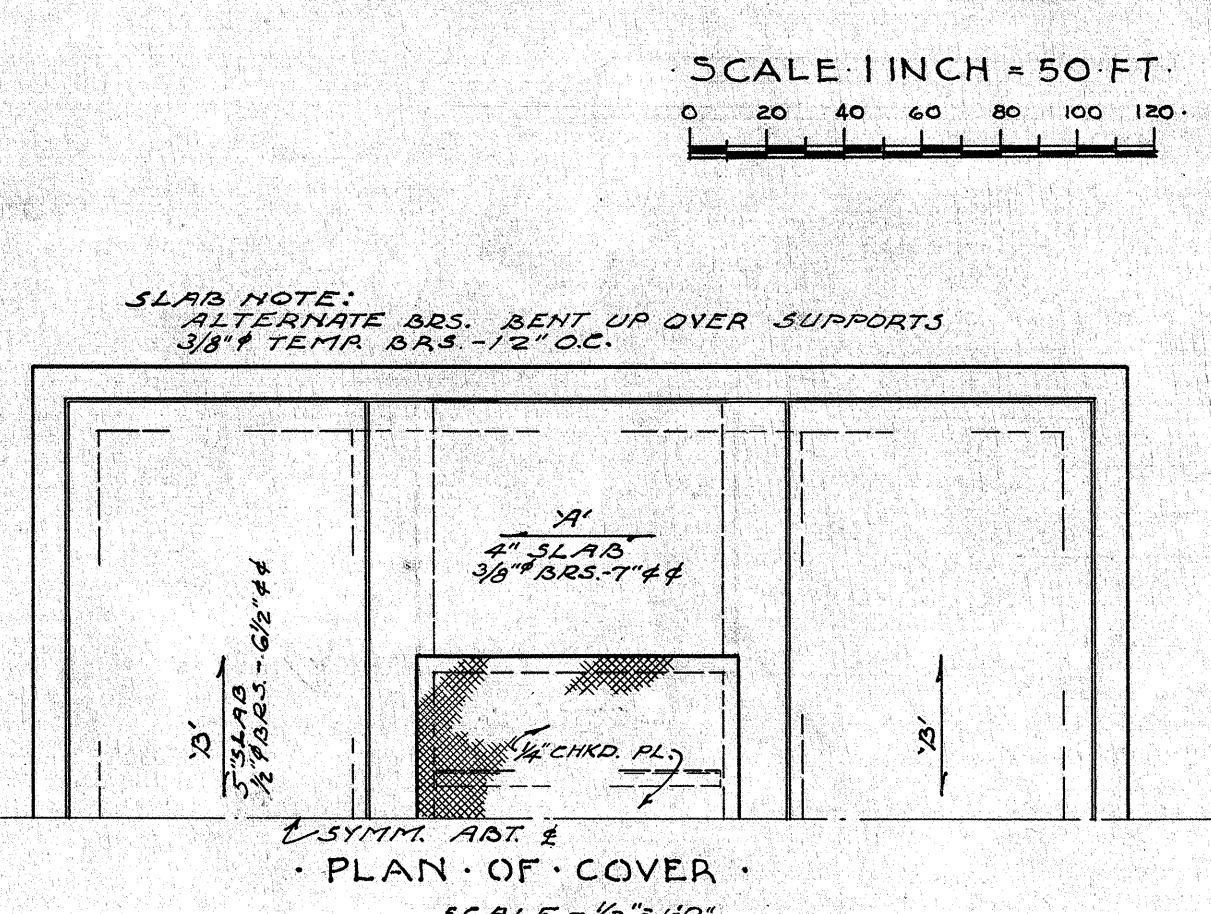
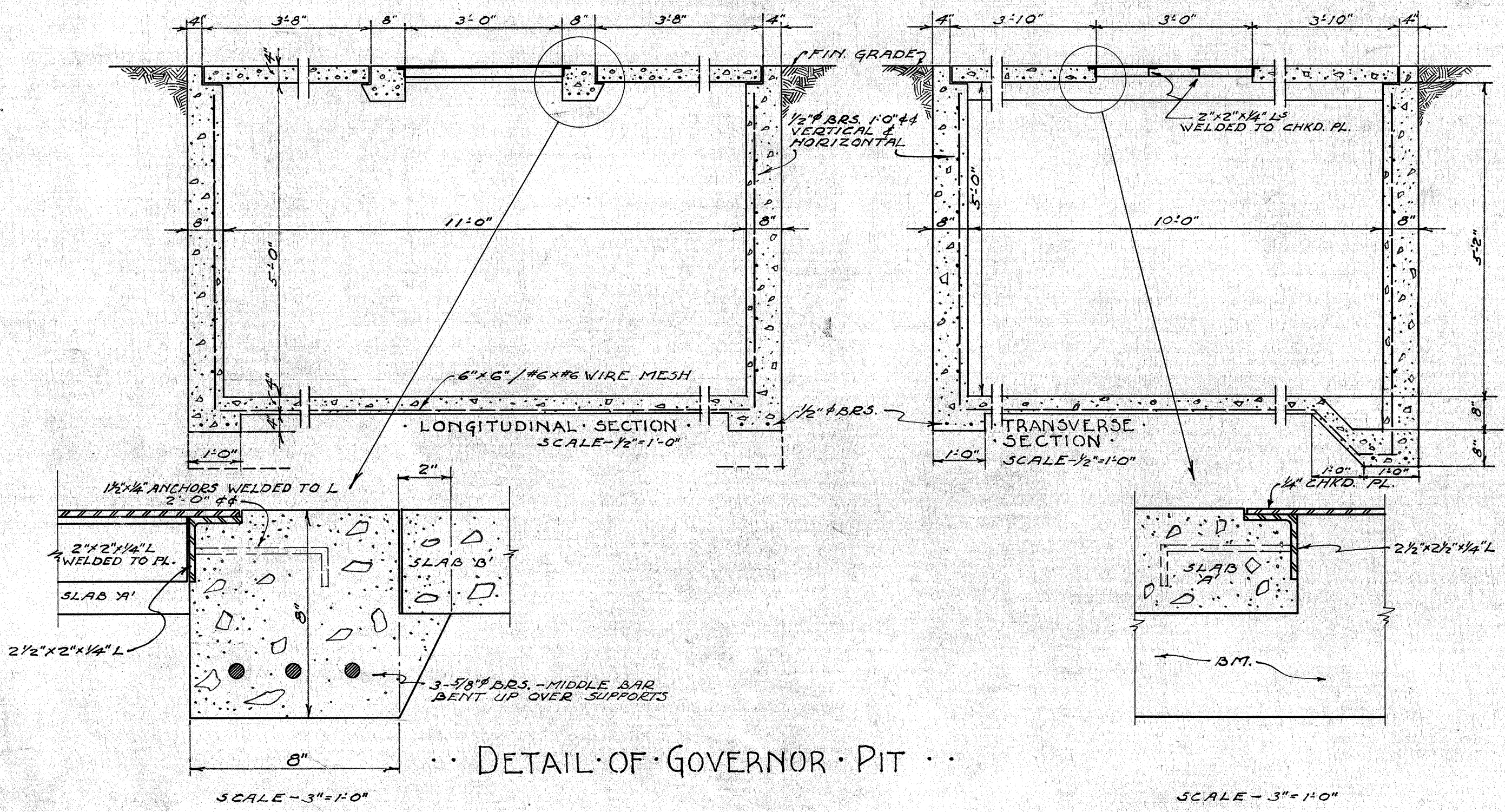
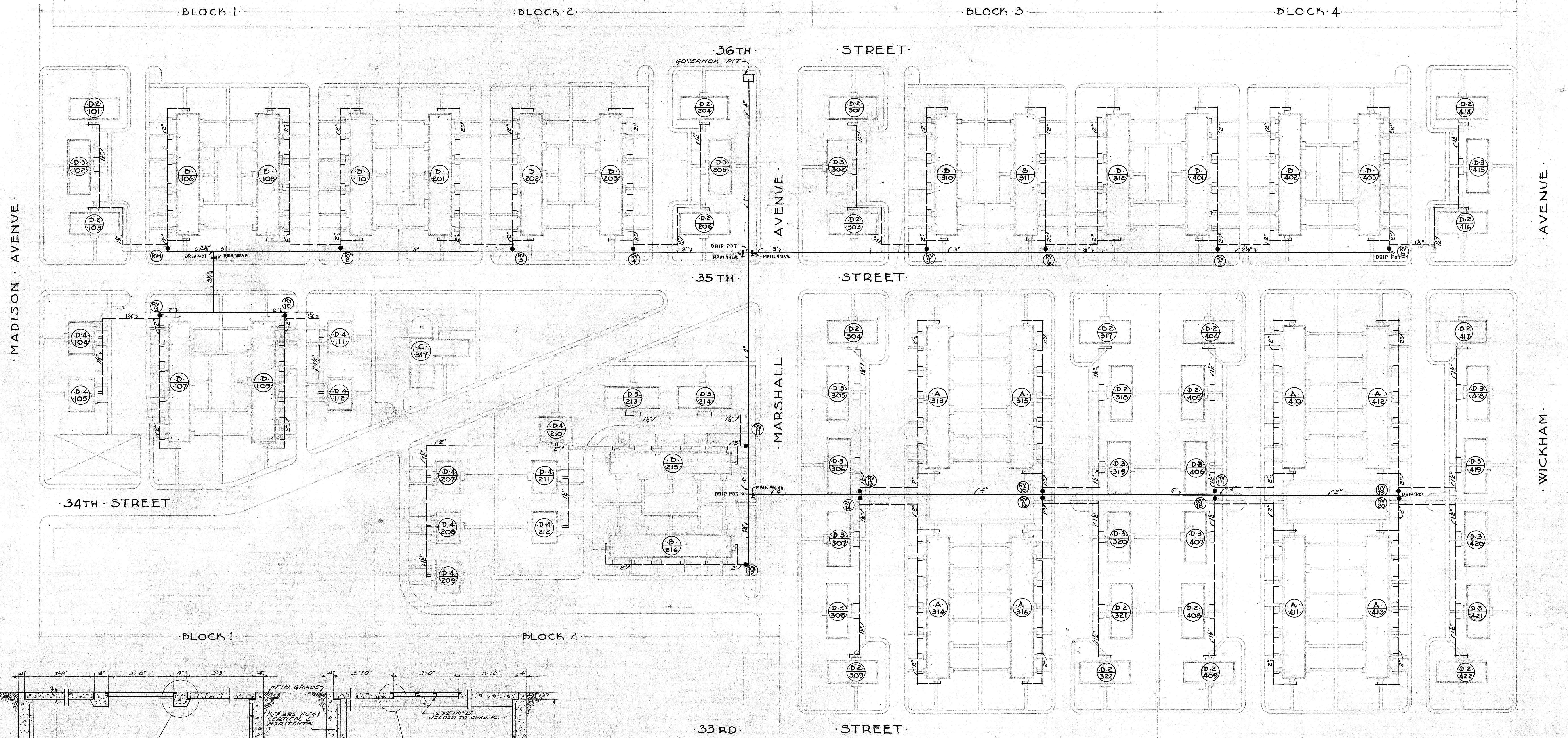
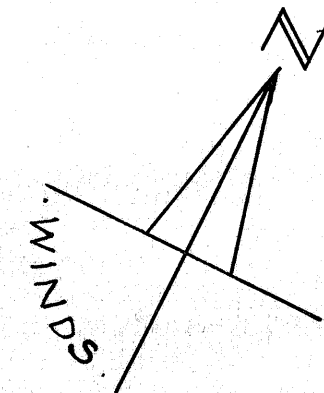
NOTE:  
FOR DETAIL OF PIPING BETWEEN UNITS AND FOR PIPE SIZES IN D-4, SEE SHEET # 27  
HOT WATER, HEATING SUPPLY AND RETURN PIPING IN THIS DRAWING IS DIAGNOSTIC, WHERE SUCH OCCURS AT CEILING AND IN ACTUAL INSTALLATION SHALL FOLLOW ALONG BEAMS AND POSITIONED AS CLOSELY AS POSSIBLE.  
ALL CONNECTIONS TO DOWN FEED DISKS TO BE OFF BOTTOM OF MAIN

SCALE 1/4" = 1'-0" IN EACH BLOCK

#4B  
BUILDINGS D-2, D-3, D-4 & UNIT PLANS  
PLUMBING & HEATING

|   |                                     |                   |
|---|-------------------------------------|-------------------|
| MARSHALL COURTS   |                                     | PROJECT NO. VA-32 |
| DATE  | WILLIAMS, COILE & PINNO, ARCHITECTS | NEWPORT NEWS, VA. |
| 9/30/40   | 403 MELSON BLDG.                    | PH 403            |
| DRAWN BY  | APPROVED BY                         | SHEET NO.         |
| P.W.  | <i>Paul O. Pinner</i>               | 28                |
| ETN   | CHAIRMAN, HOUSING AUTHORITY         |                   |
| CHKD BY   | ENGINEER                            |                   |
| HOUSING AUTHORITY OF THE CITY OF NEWPORT NEWS, VIRGINIA |                                     |                   |





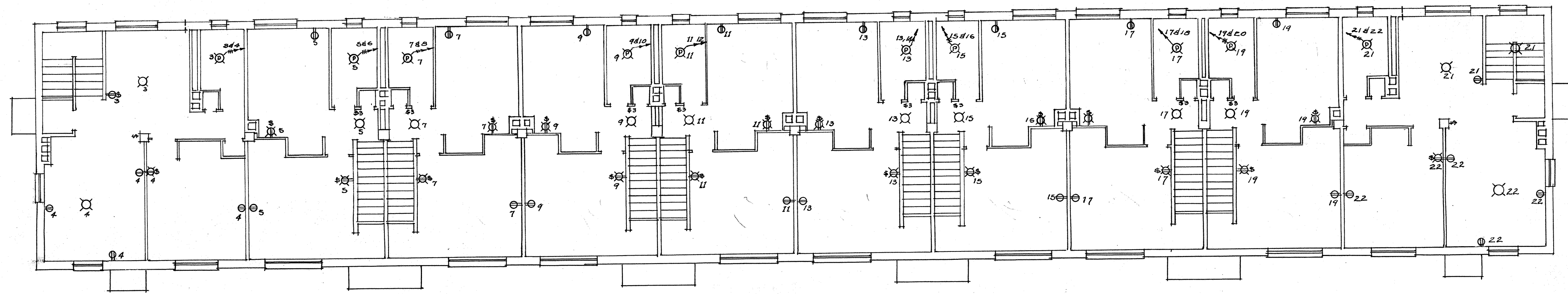
**SYMBOLS:**  
 (R) REGULATING VALVE PIT.  
 (M) MAIN VALVE PIT.  
 — MEDIUM PRESSURE PIPE LINE  
 — LOW PRESSURE PIPE LINES

**NOTE:**  
 ALL LATERAL CONNECTIONS TO DWELLING UNITS SHALL BE 1/2" IN SIZE.

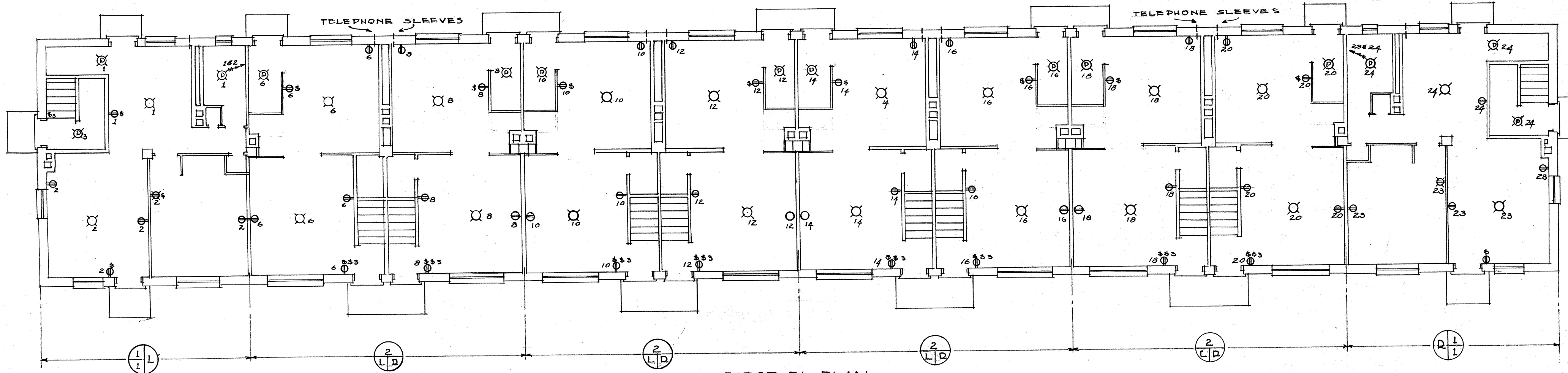
SCALE 1 INCH = 50 FT.  
 0 20 40 60 80 100 120

|  |   |     |  |
|--|---|-----|--|
| GAS DISTRIBUTION · SITE · PLAN ·                           |   |     |  |
| MARSHALL COURTS  |   |     |  |
| DATE<br>1-13-91  | WILLIAMS, COILE & PINO, ARCHITECTS<br>408 WELSON BLDG.<br>NEWPORT NEWS, VA. | P   | PROJECT NO. VA-38<br>NEWPORT NEWS, VA. |
| DRAWN BY<br>E.A.P.<br>W.C.W.                               | APPROVED BY<br><i>[Signature]</i><br>CHIEF ARCHITECT                        | 404 | SHEET NO.                              |
| CHKD BY  | <i>[Signature]</i><br>CHAIRMAN, HOUSING AUTHORITY                           |     | 28A                                    |
| HOUSING AUTHORITY OF THE CITY OF<br>NEWPORT NEWS, VIRGINIA |   |     |  |

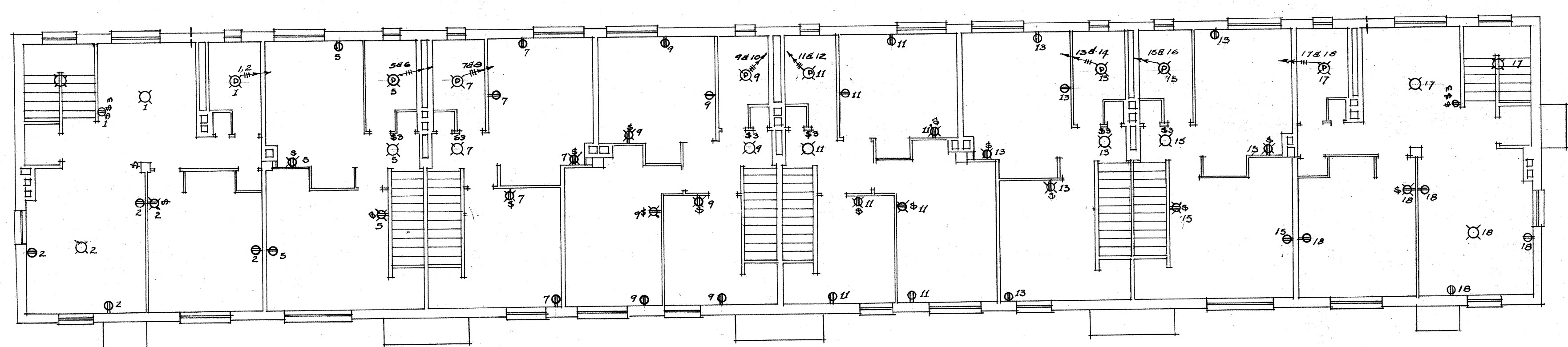




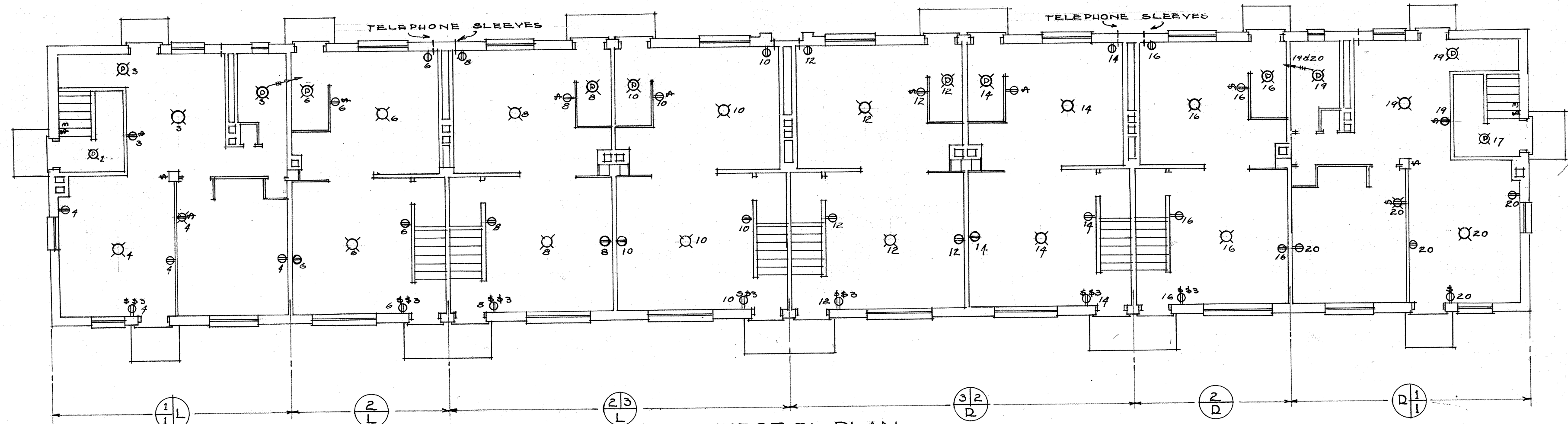
SECOND FL PLAN



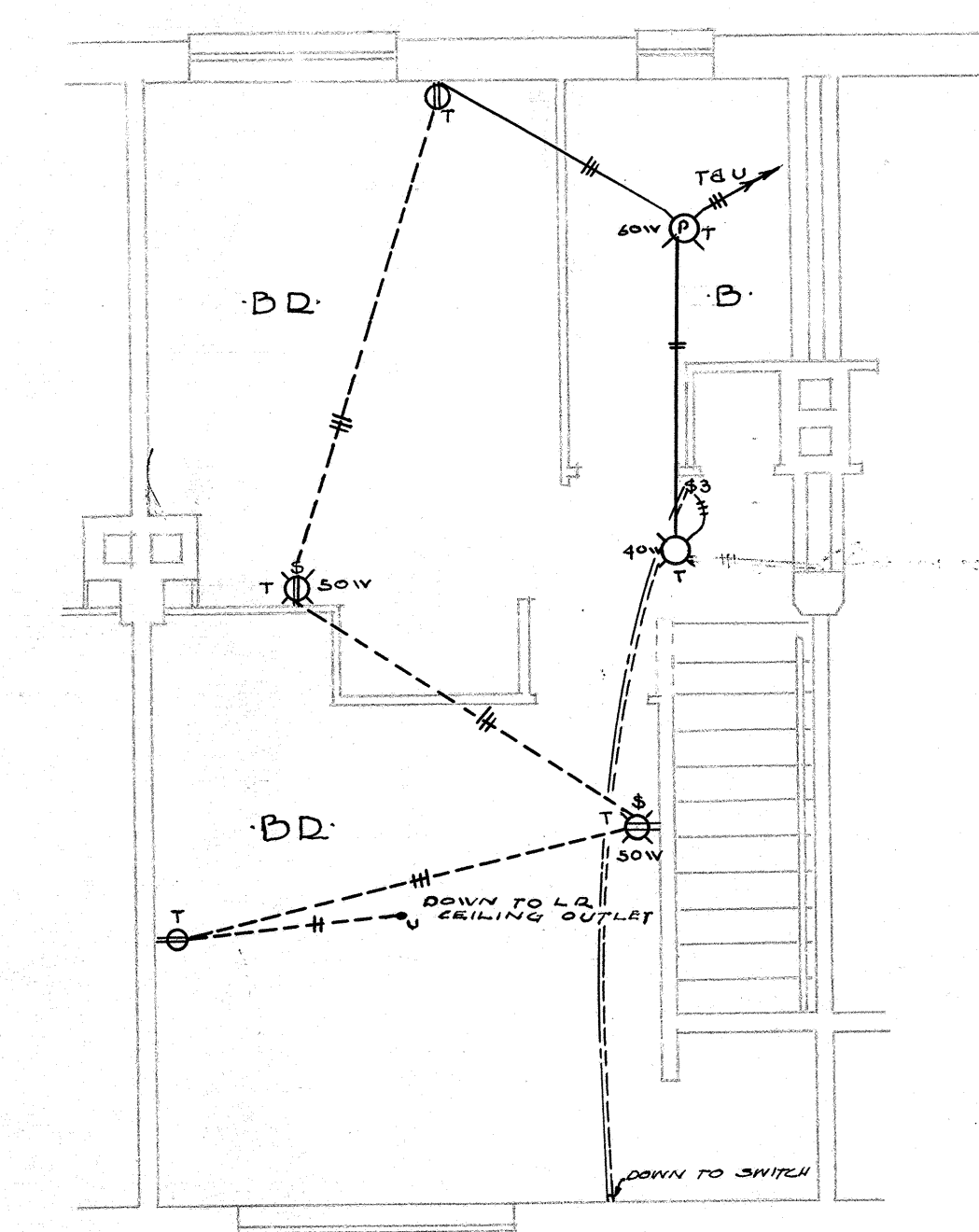
FIRST FL PLAN  
BUILDING A  
SCALE 1/8"



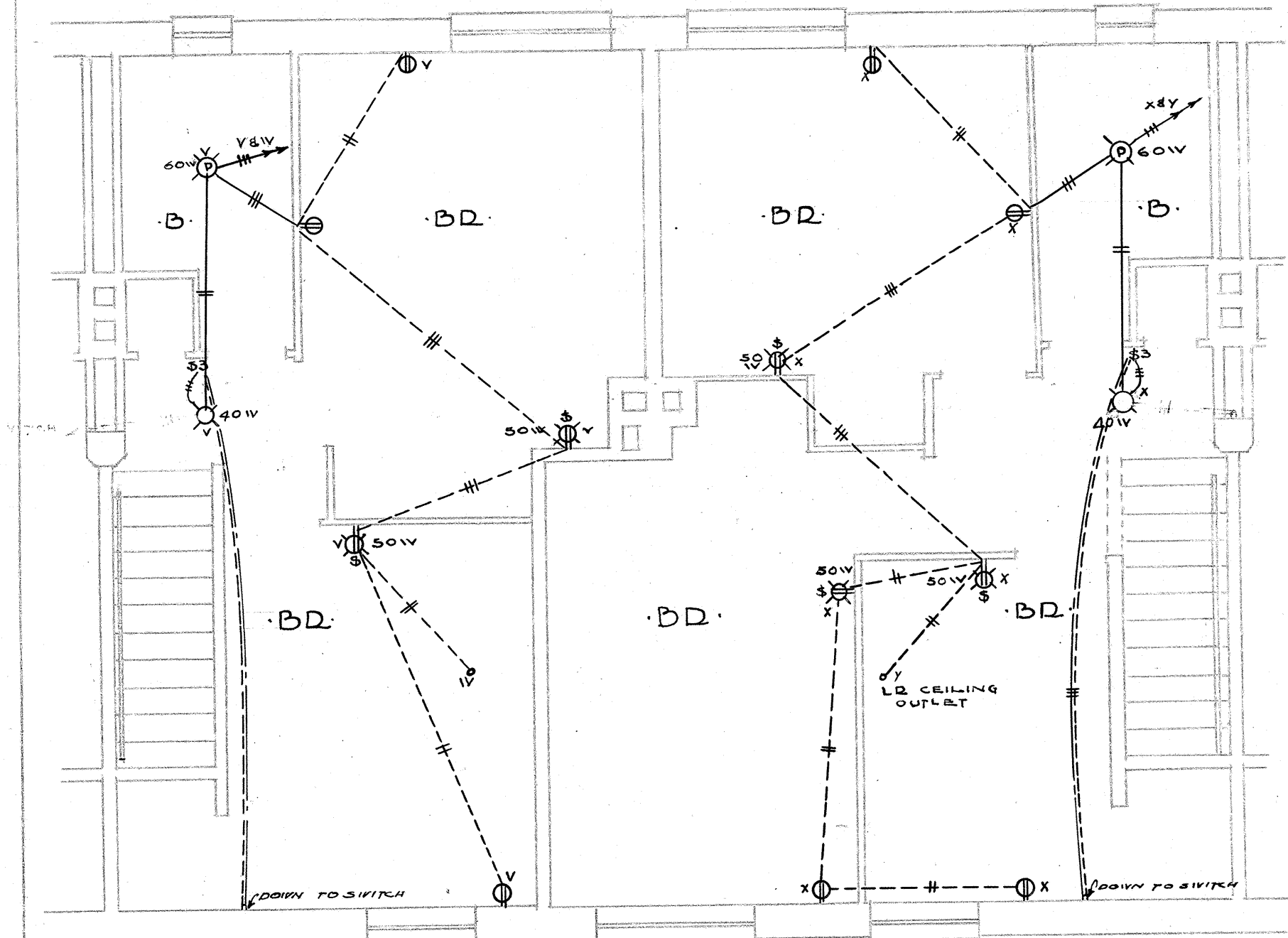
SECOND FL PLAN



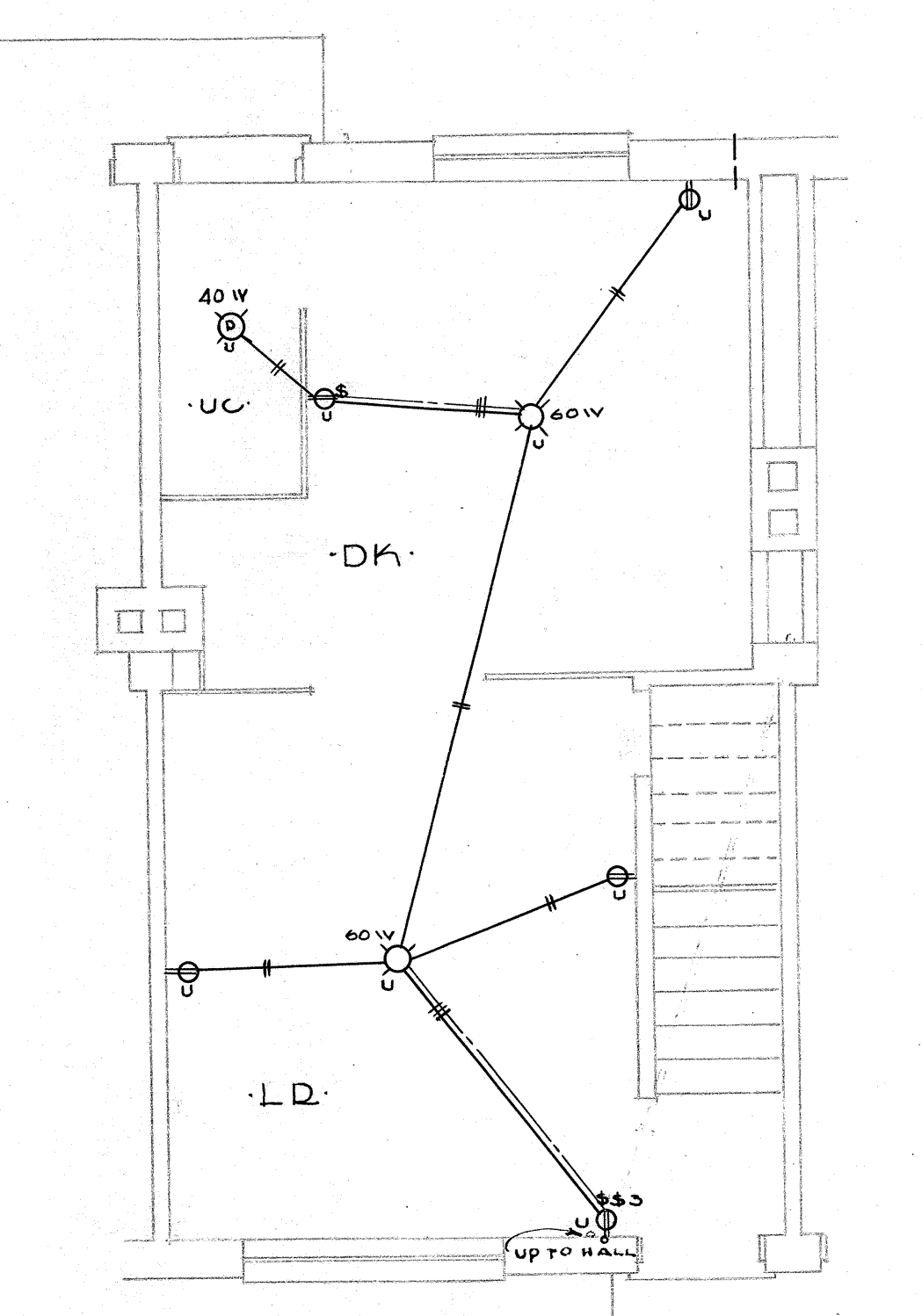
FIRST FL PLAN  
BUILDING B  
SCALE 1/8"



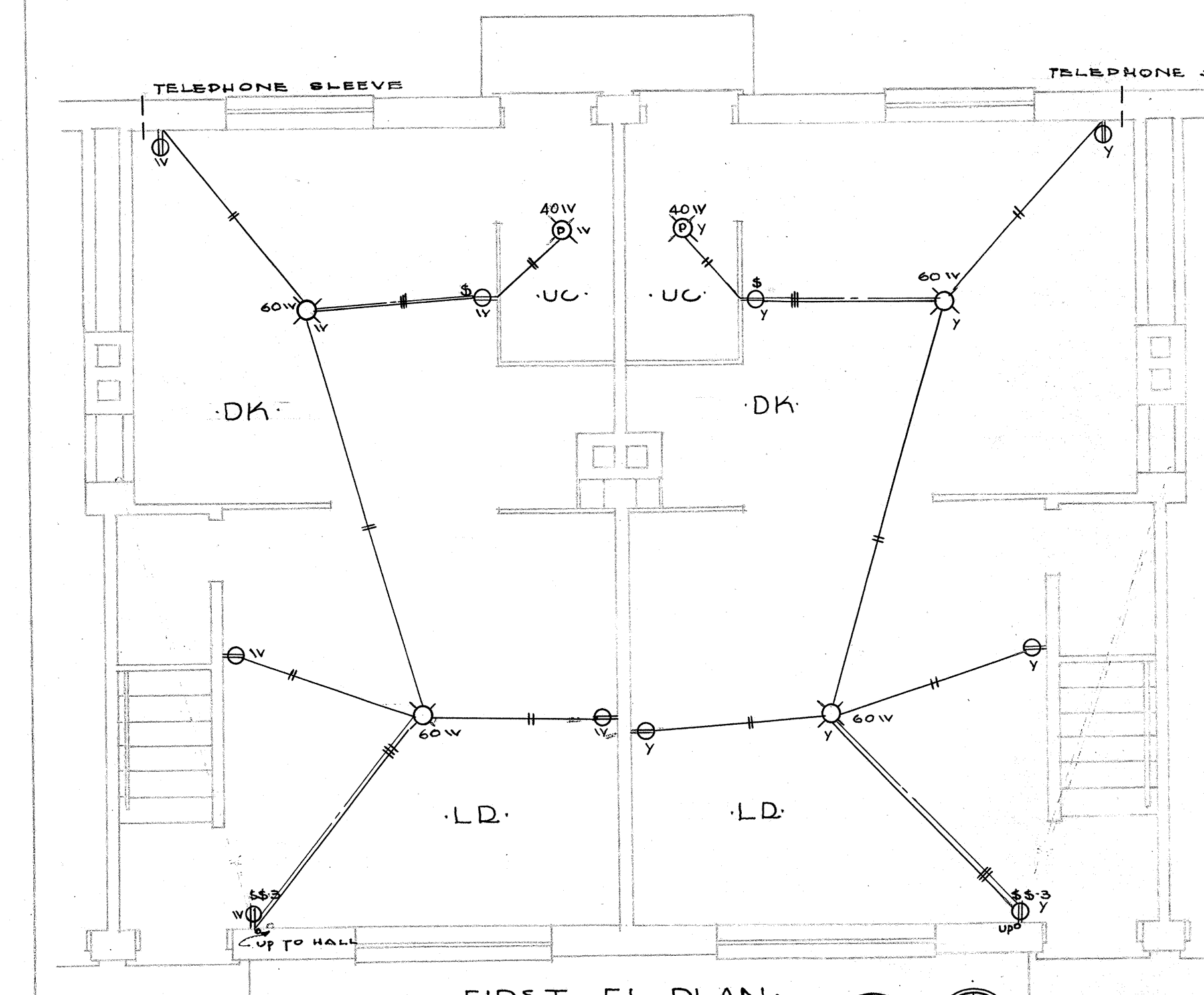
SECOND FL PLAN



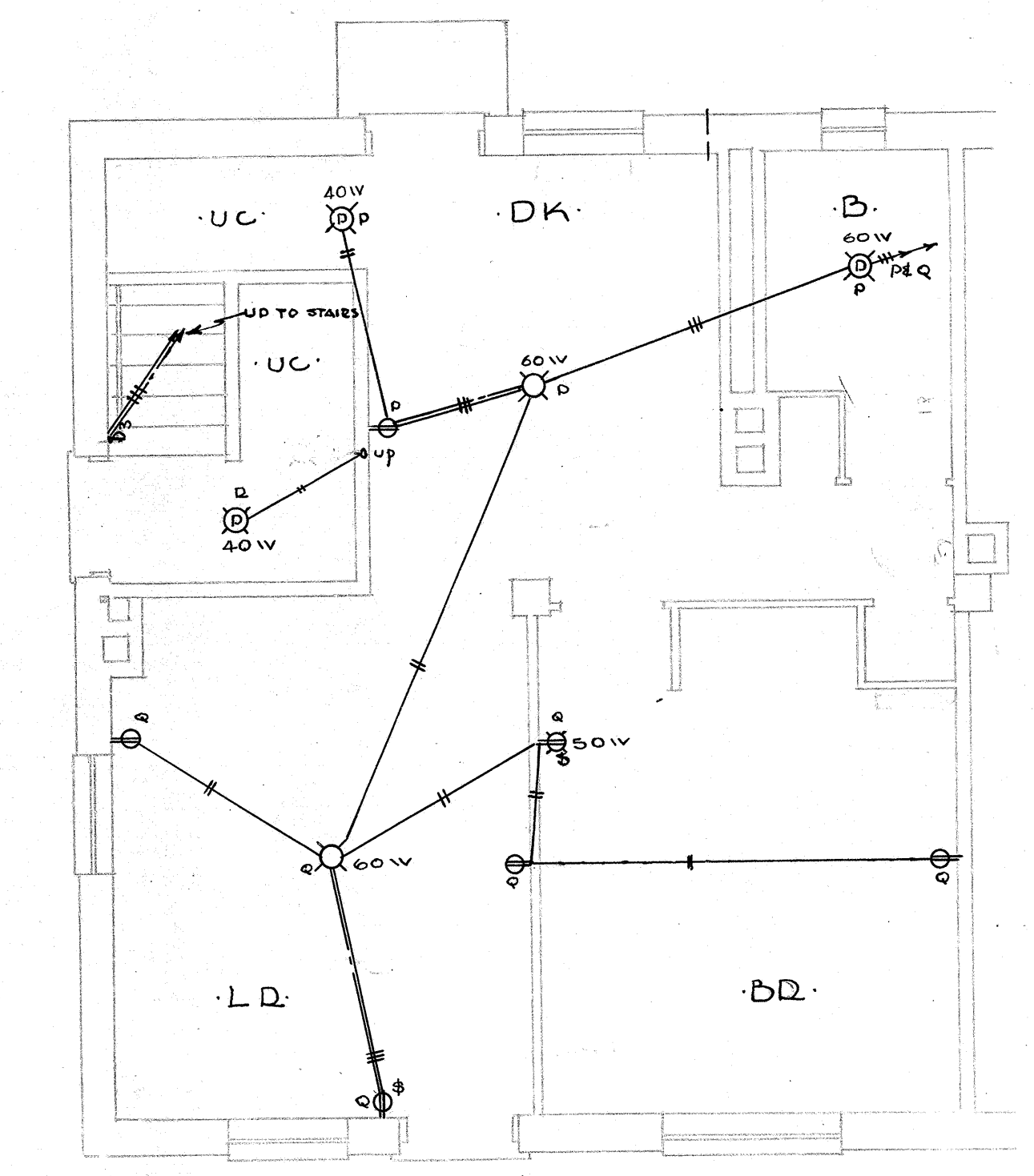
SECOND FL PLAN



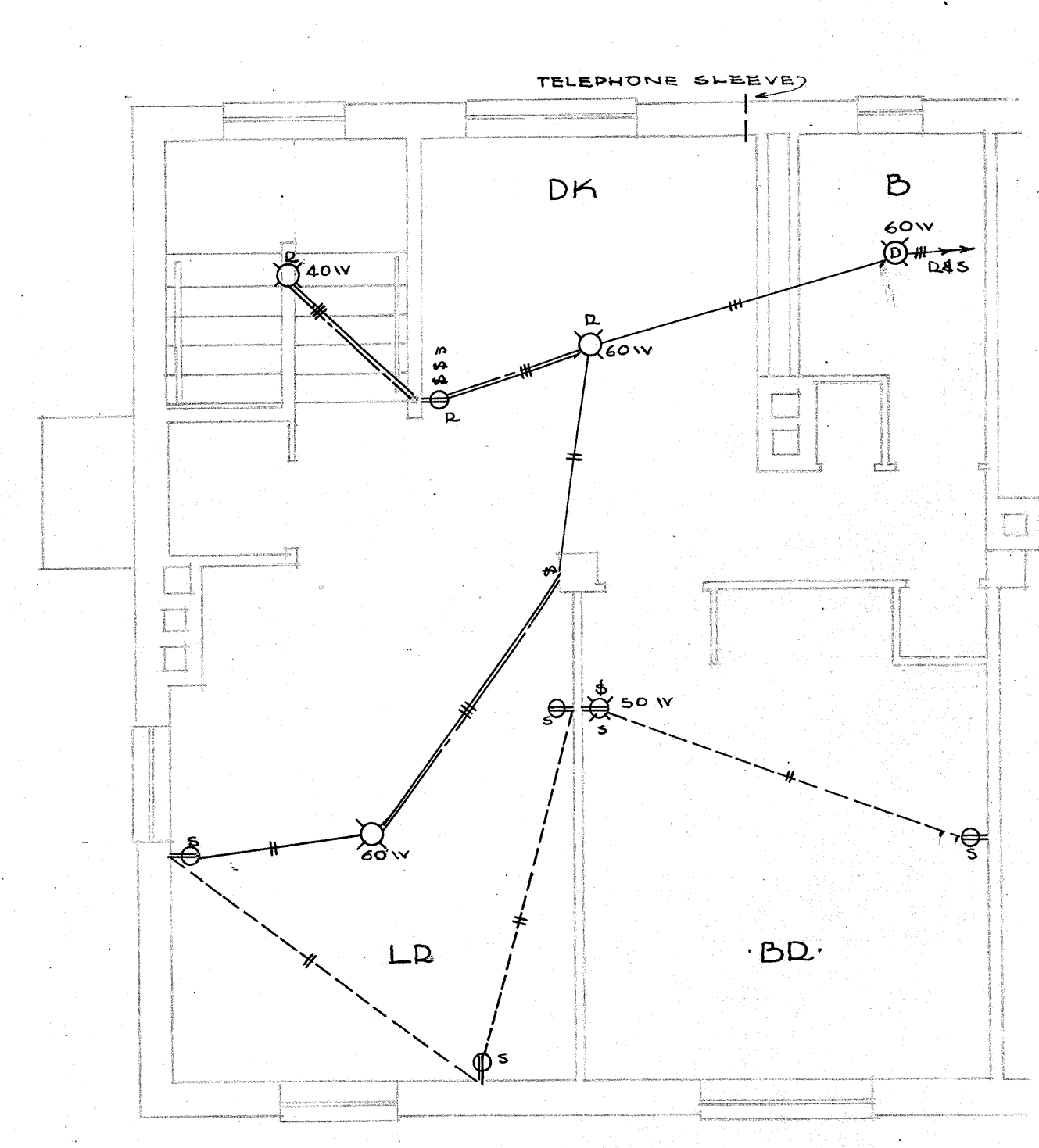
FIRST FL PLAN



FIRST FL PLAN



FIRST FL PLAN



SECOND FL PLAN

LEGEND

- ☐ CEILING OUTLET
- ⊠ INTEGRAL SINGLE POLE SWITCH AND RECEPTACLE IN BRACKET
- ⊞ PULL SWITCH OUTLET
- ⊞ SINGLE & 3WAY SWITCH 4'-6" ABOVE FL; DUPLEX RECEPTACLE 1'-6" ABOVE FL
- ⊞ SINGLE WAY SWITCH; DUPLEX RECEPTACLE IN TWO GANG BOX
- ⊞ DUPLEX RECEPTACLE 1'-6" ABOVE FLOOR
- ⊞ SINGLE POLE SWITCH 4'-6" ABOVE FLOOR
- ⊞ 3 WAY SWITCH 4'-6" ABOVE FLOOR
- 3 WIRE
- SWITCH LEG
- CONDUIT IN FLOOR SLAB
- TELEPHONE SLEEVE - CAPPED

**ELECTRICAL PLANS**

**MARSHALL COURTS**

DATE: 8/29/40  
 DRAWN BY: pdw  
 CHECKED BY: [Signature]

APPROVED BY: [Signature] CHIEF ARCHITECT

PROJECT NO. VA. 3-2  
 NEWPORT NEWS, VA.

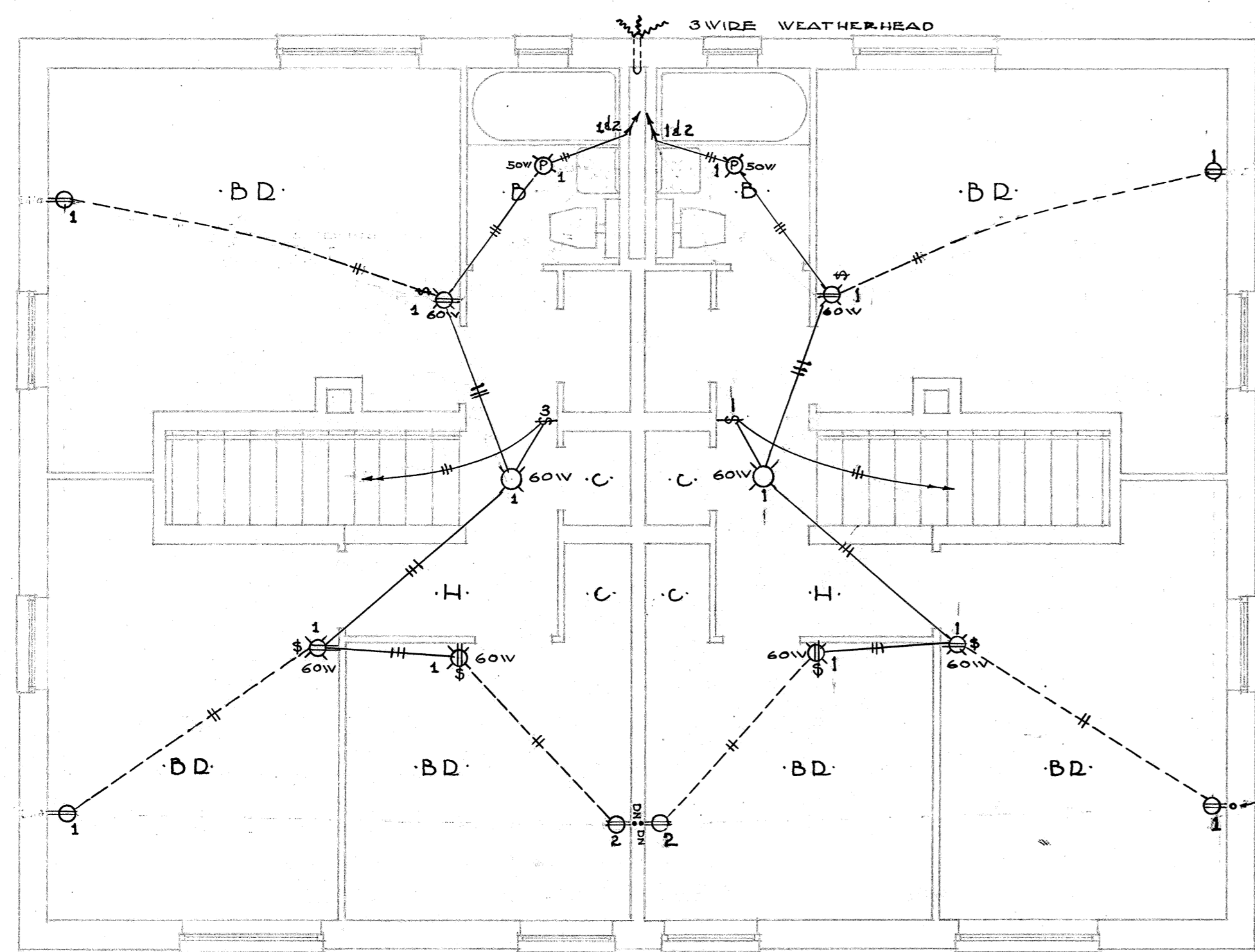
WILLIAMS, COLE & PIPINO, ARCHITECTS  
 NEWPORT NEWS, VA.

CHAIRMAN, HOUSING AUTHORITY

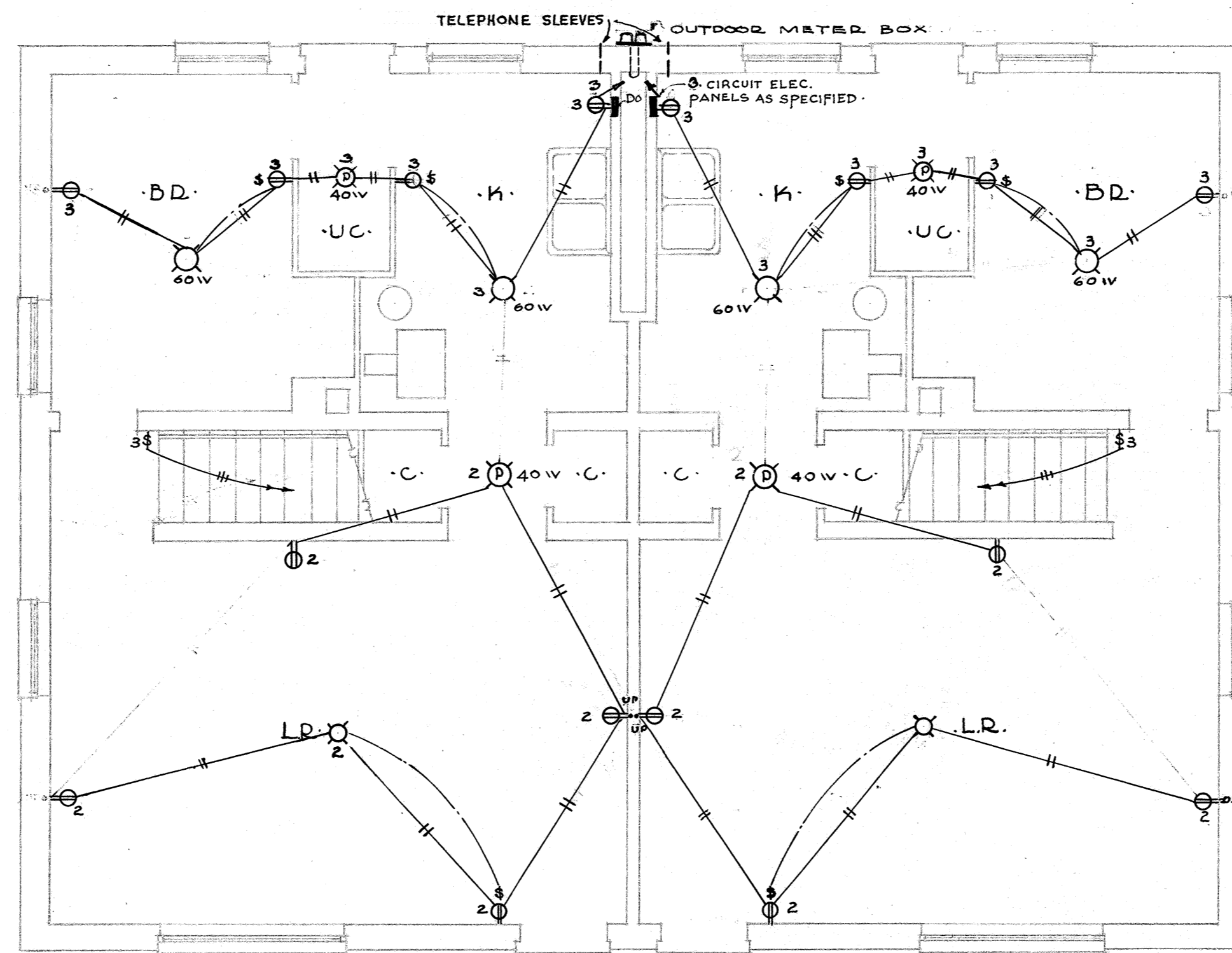
HOUSING AUTHORITY OF THE CITY OF  
 NEWPORT NEWS, VIRGINIA

SHEET NO. 501  
 29



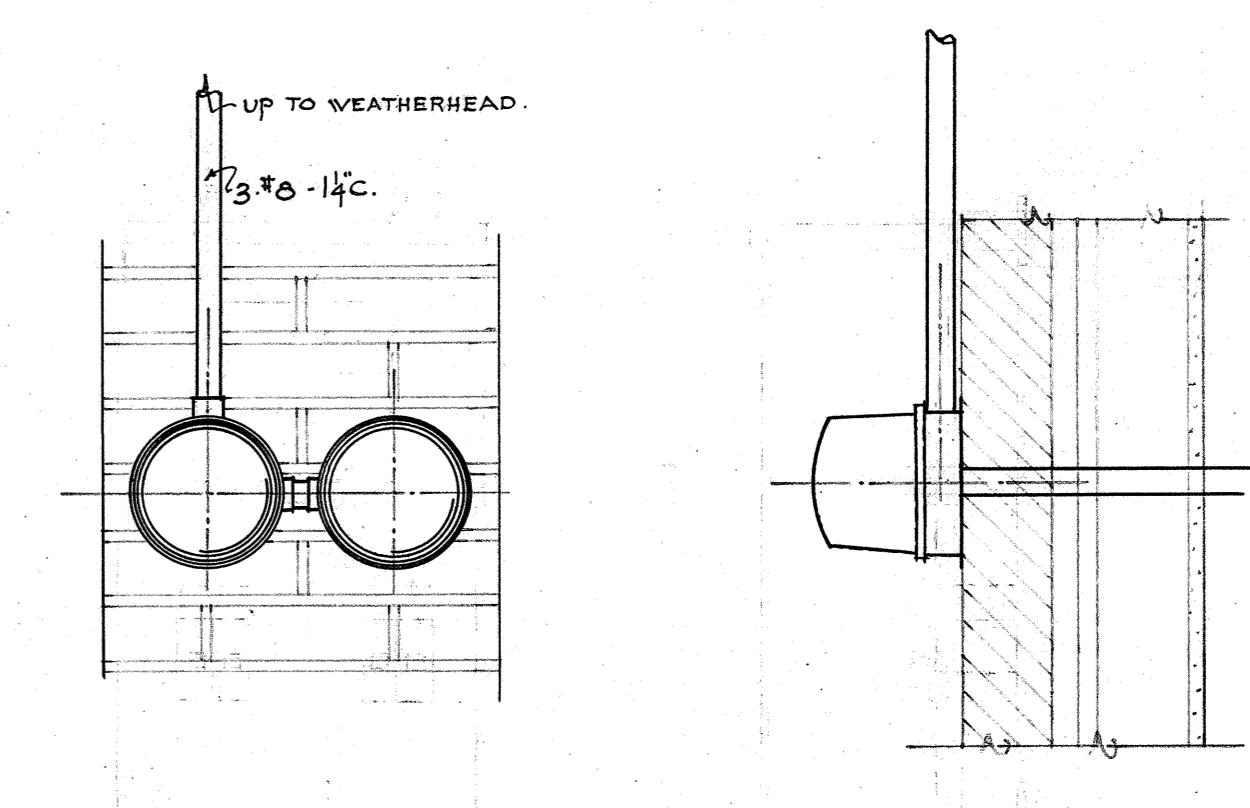


SECOND FL PLAN

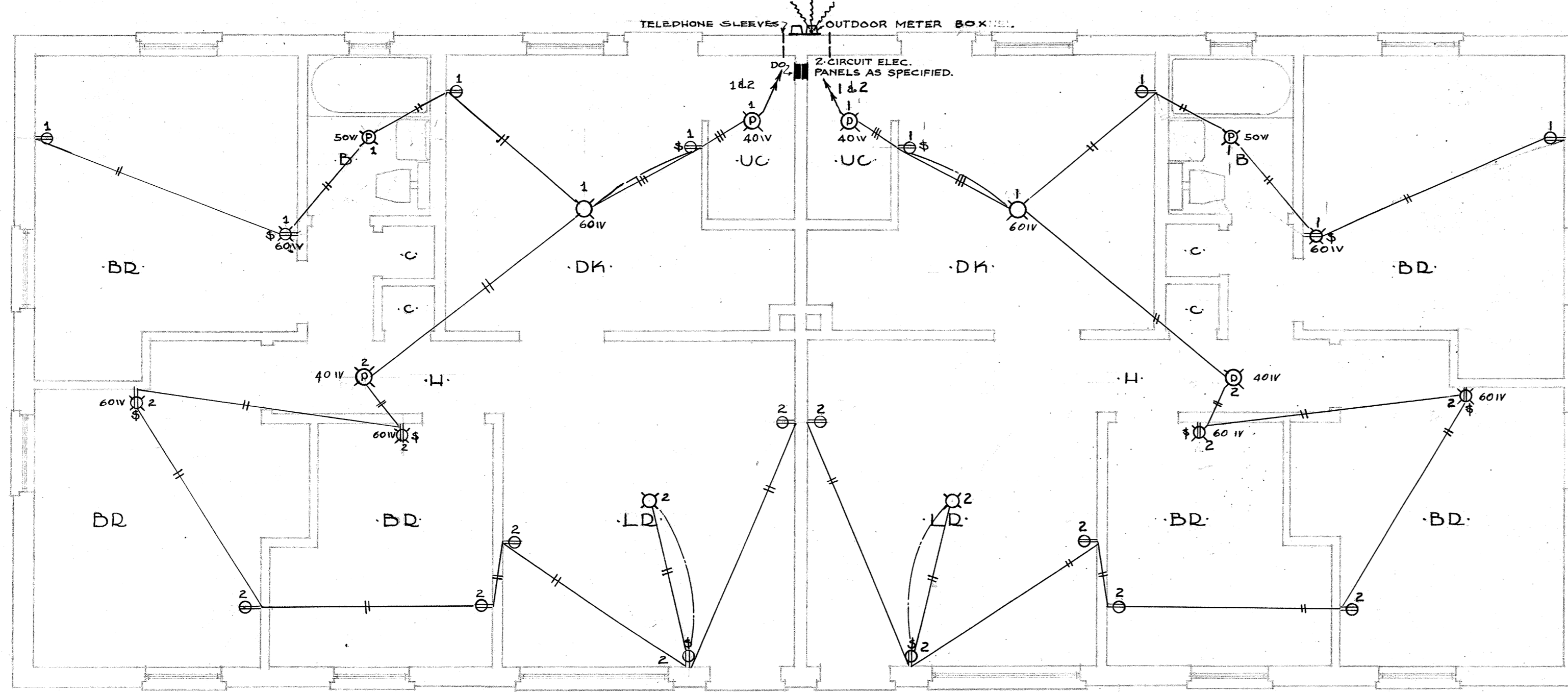


FIRST FL PLAN

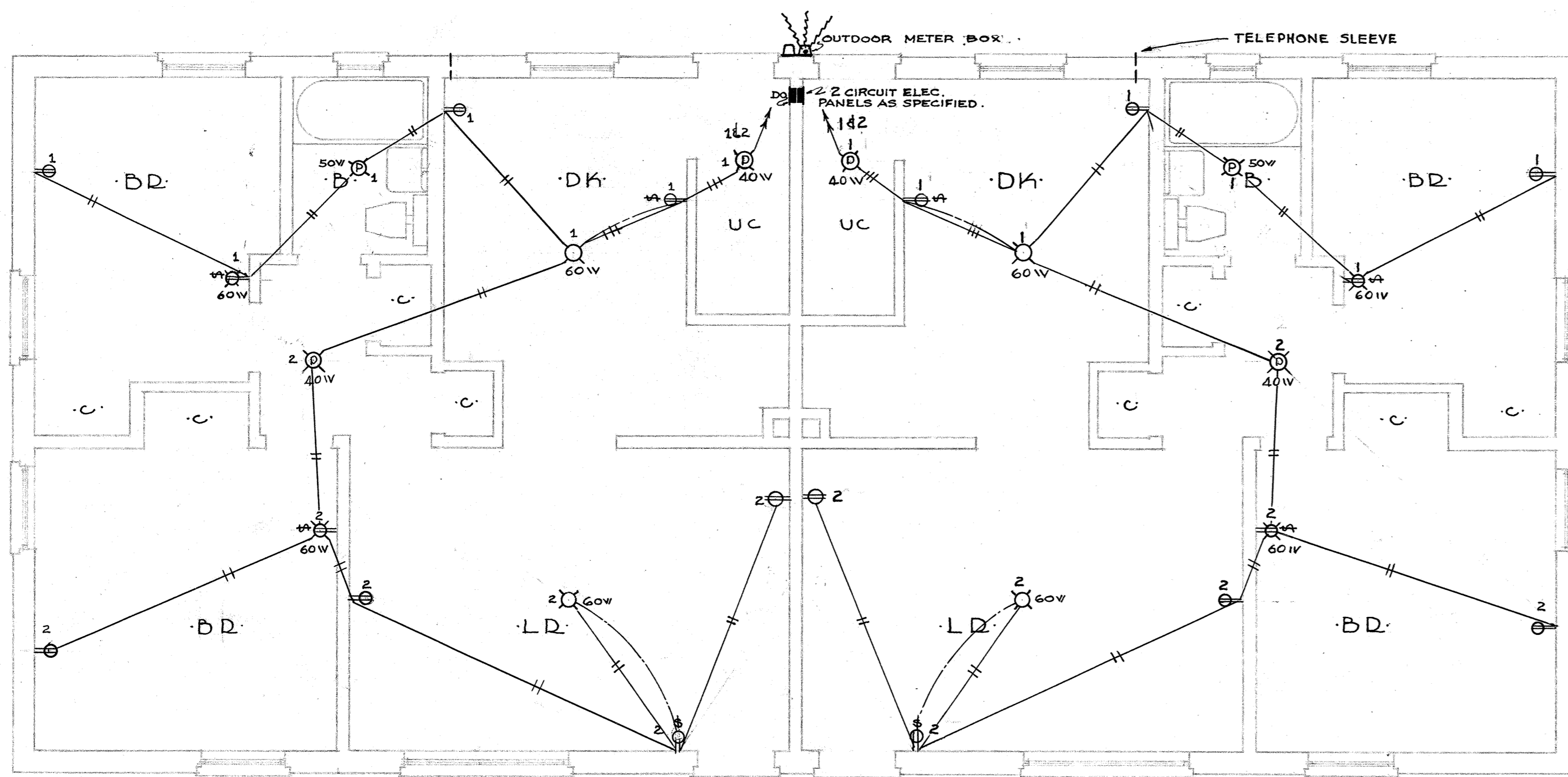
DUPLEX ID-4



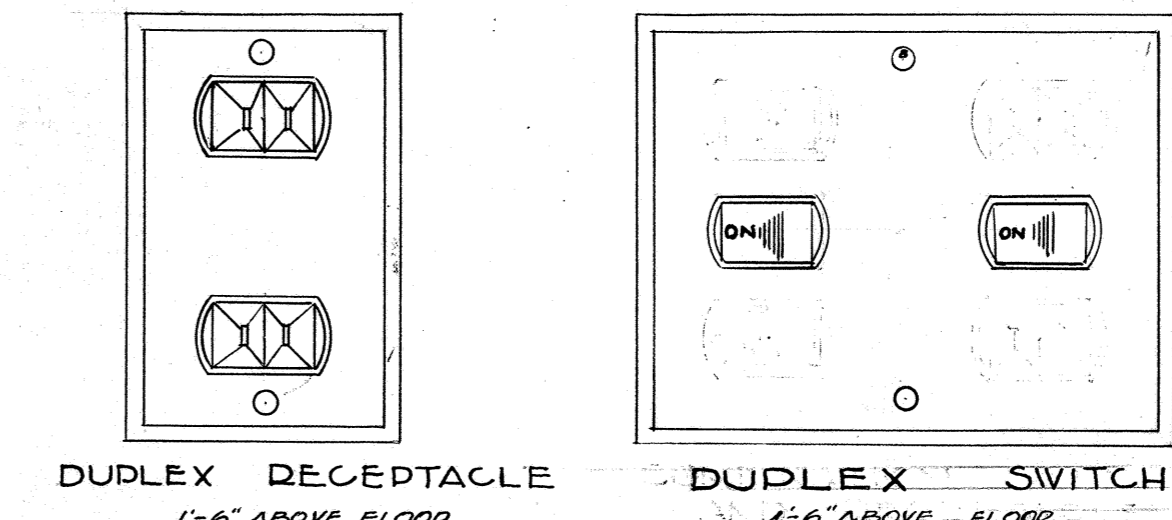
DETAIL OUTDOOR METER CHANNEL FOR BUILDINGS D2, D3, & D4 SCALE 1/2"=1'-0"



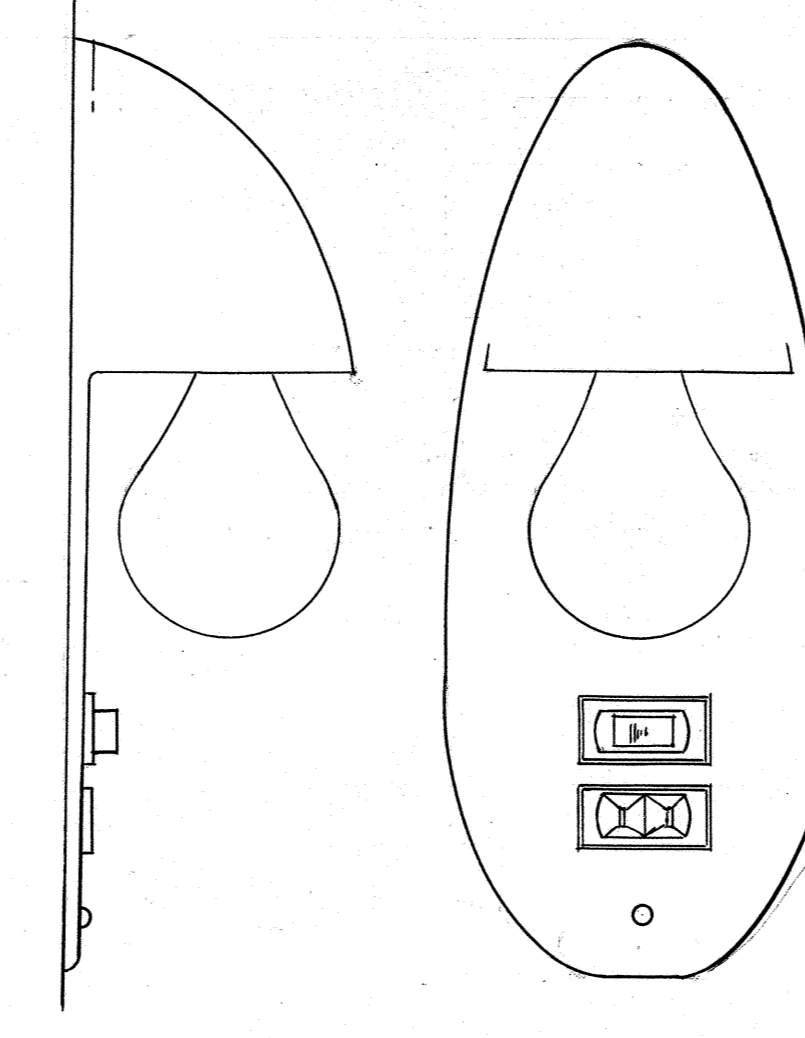
DUPLEX ID-3



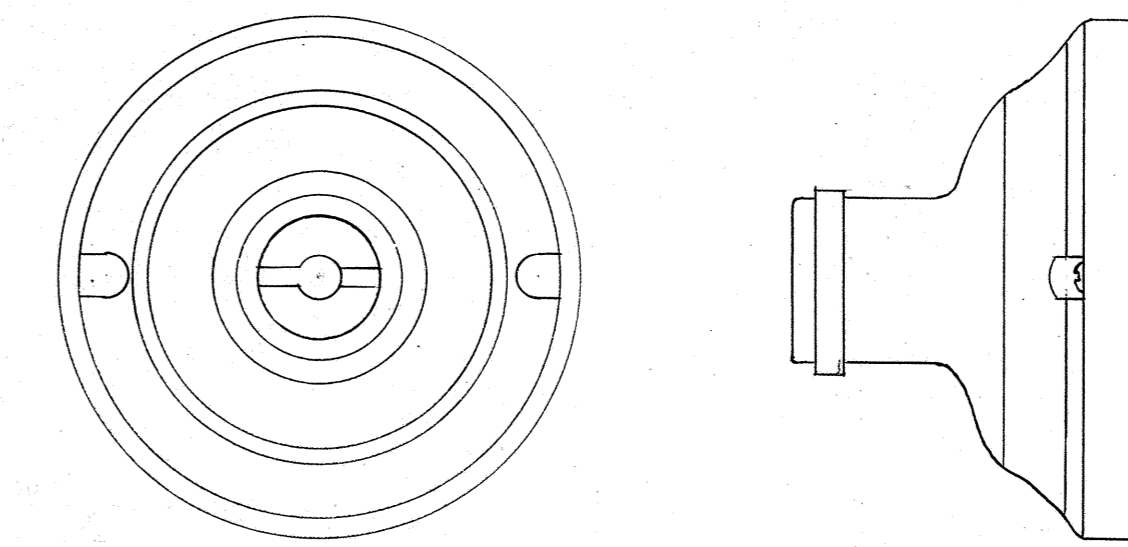
DUPLEX ID-2



DUPLEX RECEPTACLE 1-6" ABOVE FLOOR  
DUPLEX SWITCH 4-6" ABOVE FLOOR

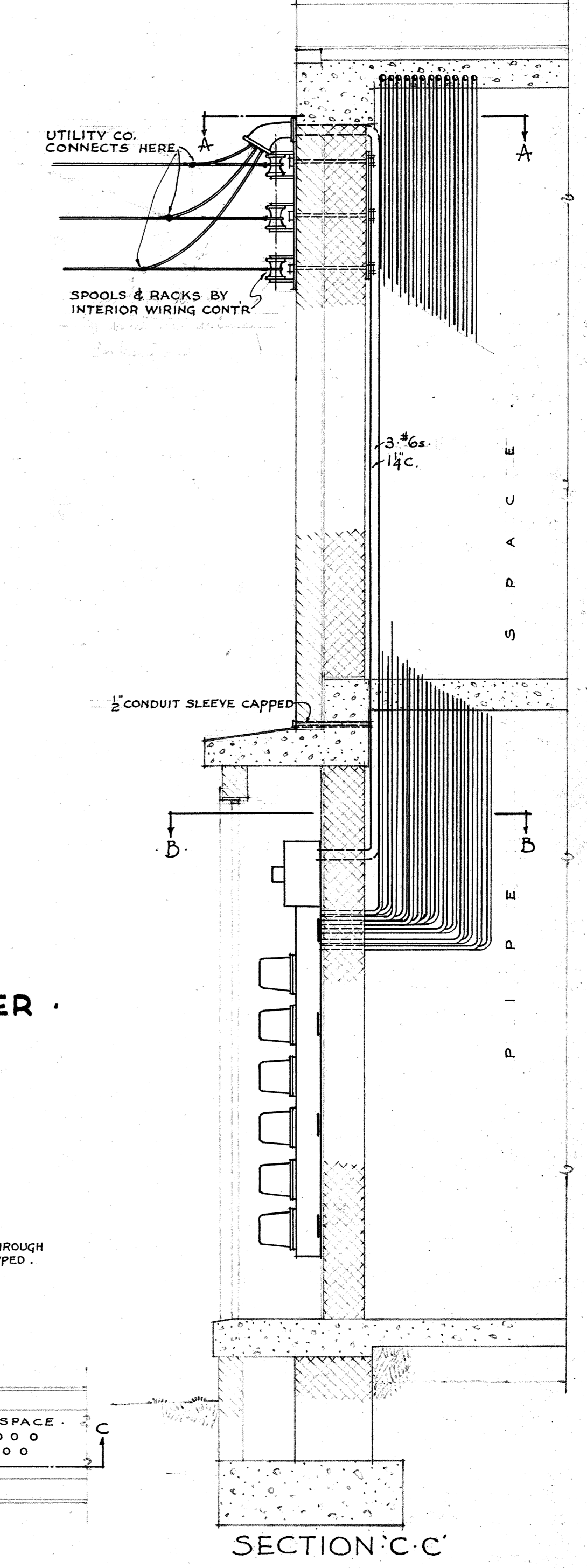


WALL BRACKET 5-6" ABOVE FLOOR

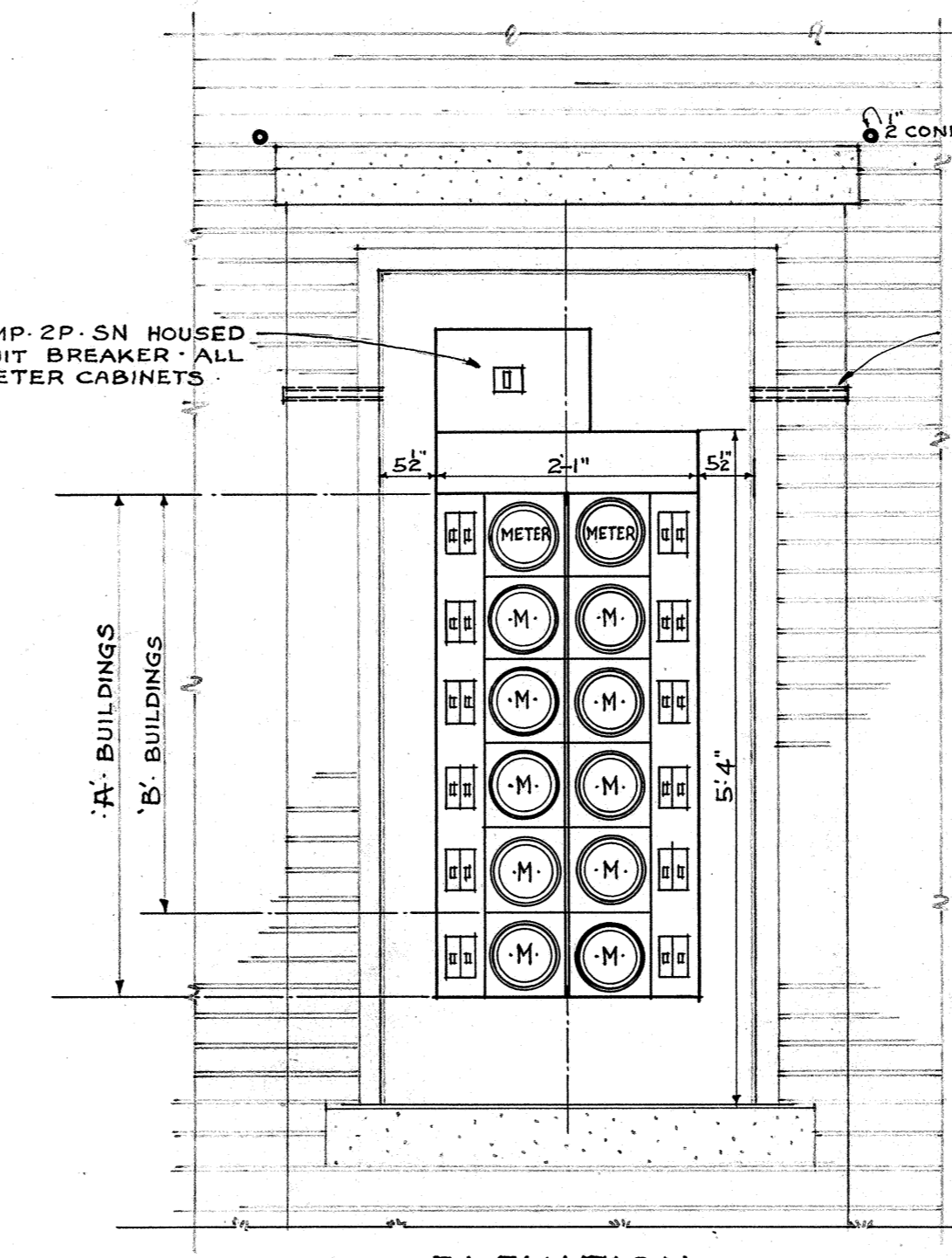


CEILING OUTLET

HALF F3 DETAIL OF LIGHTING FIXTURES & RECEPTACLES

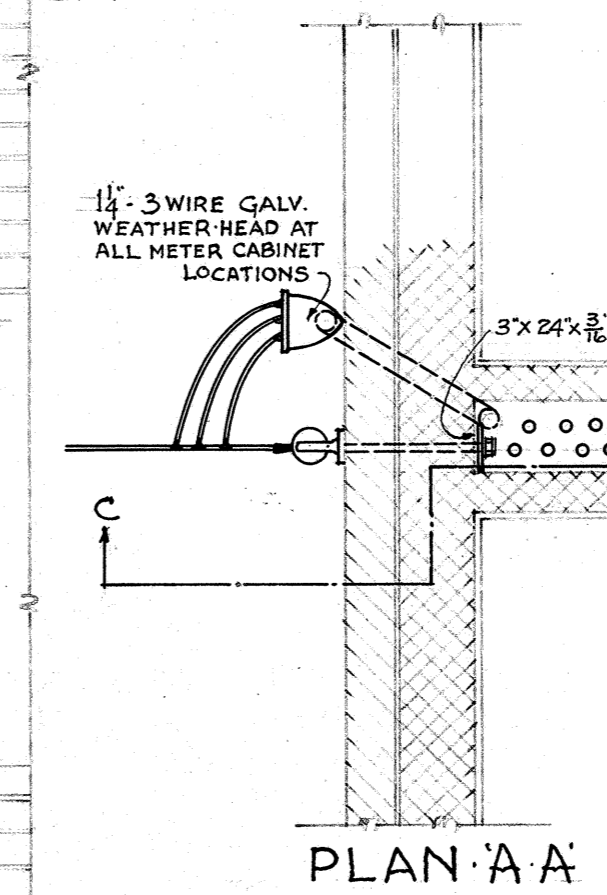


SECTION 'C-C'

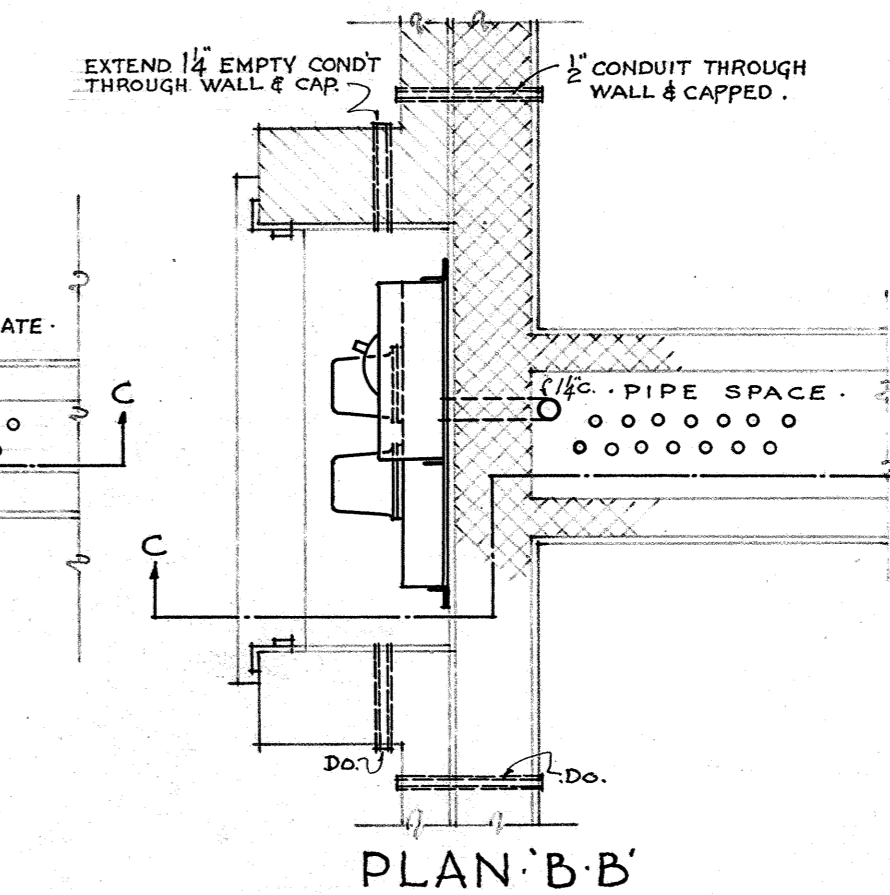


ELEVATION

DETAILS OF TYPICAL EXTERIOR METER CABINETS FOR BLDGS. 'A' & 'B' ONLY SCALE 3/4"=1'-0"



PLAN 'A-A'



PLAN 'B-B'

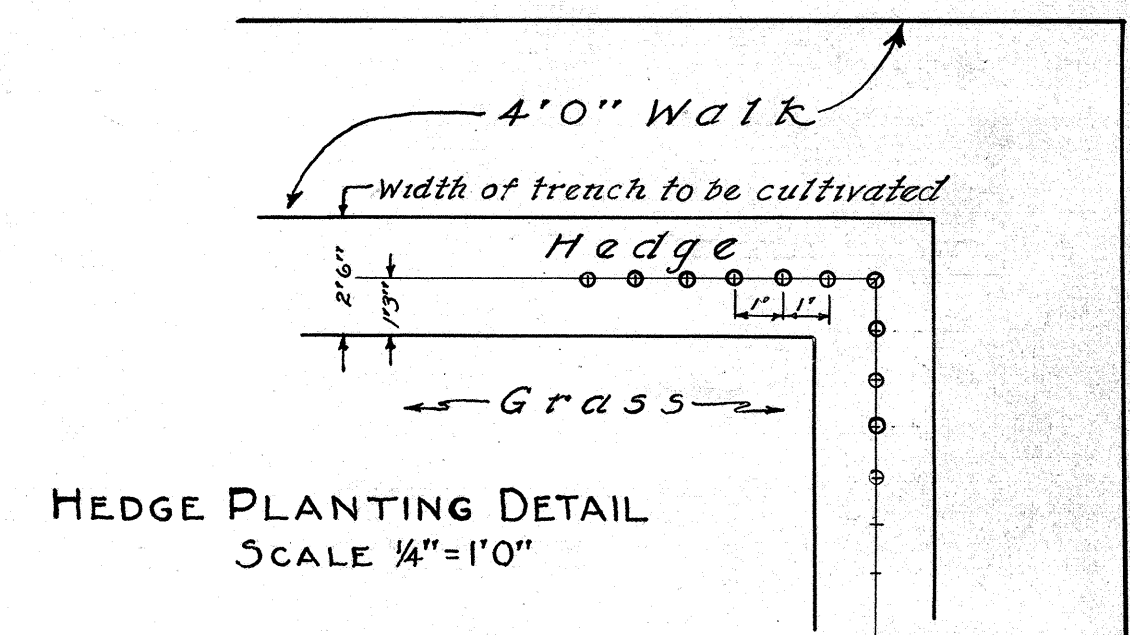
|   |                                      |                     |
|---|--------------------------------------|---------------------|
| BUILDINGS D2-D3 and D4                                  |                                      |                     |
| ELECTRIC PLANS  |                                      |                     |
| MARSHALL COURTS   |                                      |                     |
| DATE  | WILLIAMS, COILE & PIPINO, ARCHITECTS | PROJECT NO. VA. 3-R |
| 2/20/40   | 408 NELSON BLDG. NEWPORT NEWS, VA.   | NEWPORT NEWS, VA.   |
| DRAWN BY  | APPROVED BY                          | E                   |
| F.V.C.  | <i>Harry C. Paine</i>                | 502                 |
| P.D.V.  | CHIEF ARCHITECT                      | SHEET NO.           |
| CHK'D BY  | <i>Thomas H. ...</i>                 | 30                  |
| ENGINEER  | CHAIRMAN, HOUSING AUTHORITY          |                     |
| HOUSING AUTHORITY OF THE CITY OF NEWPORT NEWS, VIRGINIA |                                      |                     |



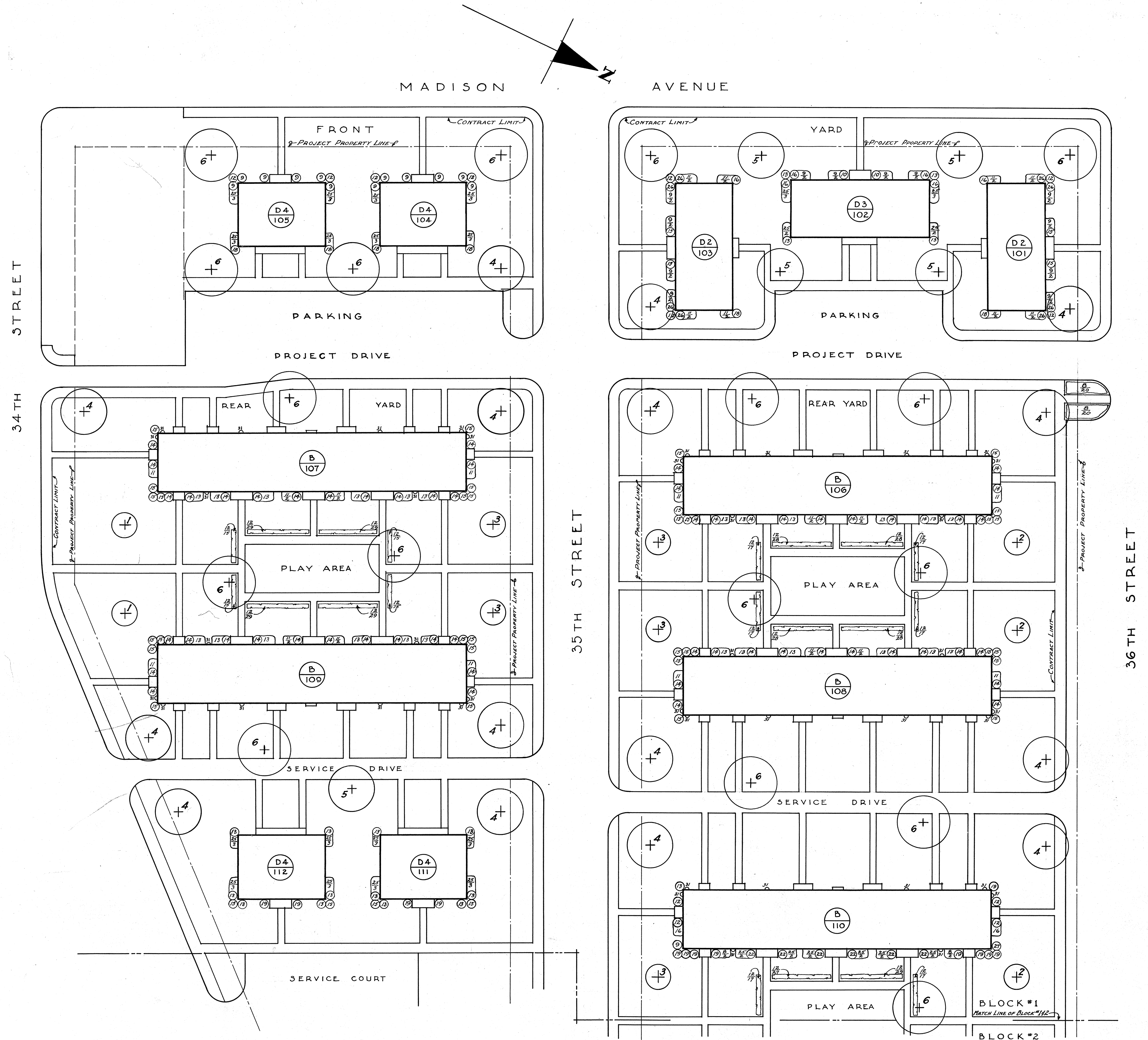
# PLANT LIST.

| TYPE             | KEY NO.          | NAME OF PLANT   |  |  |  |  |  |
|------------------|------------------|---|--|--|--|--|--|
| TREES            | 1                | ALBIZZIA julibrissin<br>Mimosa                            |  |  |  |  |  |
|                  | 2                | CERCIS canadensis<br>American Redbud                      |  |  |  |  |  |
|                  | 3                | CORNUS florida<br>Dogwood                                 |  |  |  |  |  |
|                  | 4                | QUERCUS palustris<br>Pin Oak                              |  |  |  |  |  |
|                  | 5                | TILIA vulgaris<br>Common Linden                           |  |  |  |  |  |
|                  | 6                | ULMUS americana<br>American Elm                           |  |  |  |  |  |
| EVERGREEN SHRUBS | 7                | ABELIA grandiflora<br>Abelia                              |  |  |  |  |  |
|                  | 8                | BERBERIS julianae<br>Wintergreen Barberry                 |  |  |  |  |  |
|                  | 9                | COTONEASTER franchetti<br>Cotoneaster                     |  |  |  |  |  |
|                  | 10               | ELEAGNUS pungens<br>Russian Olive                         |  |  |  |  |  |
|                  | 11               | JASMINUM floridum<br>Jasminum                             |  |  |  |  |  |
|                  | 12               | LIGUSTRUM lucidum compactum<br>Glossy Privet              |  |  |  |  |  |
|                  | 13               | LONICERA nitida<br>Honeysuckle                            |  |  |  |  |  |
|                  | 14               | OSMANTHUS fortunei<br>Fortune Osmanthus                   |  |  |  |  |  |
|                  | 15               | PRUNUS lanracerasus caroliniana<br>Carolina Cherry Laurel |  |  |  |  |  |
|                  | 16               | PYRACANTHA coccinea lalandi<br>Laland Firethorn           |  |  |  |  |  |
|                  | 17               | PYRACANTHA crenulata yuannensis<br>Firethorn              |  |  |  |  |  |
|                  | 18               | VIBURNUM tinus<br>Viburnum                                |  |  |  |  |  |
|                  | 19               | VIBURNUM rhytidophyllum<br>Viburnum                       |  |  |  |  |  |
|                  | DECIDUOUS SHRUBS | 20  | BUDDLEIA davidi isle de france<br>Butterfly Bush |  |  |  |  |
| 21               |                  | CHAENOMELES lagenaria<br>Japanese Quince                  |  |  |  |  |  |
| 22               |                  | FORSYTHIA intermedia<br>Forsythia                         |  |  |  |  |  |
| 23               |                  | LAGERSTROEMIA indica<br>Crape Myrtle                      |  |  |  |  |  |
| 24               |                  | PRUNUS glandulosa alba plena<br>White Flowering Almond    |  |  |  |  |  |
| 25               |                  | SPIRAEA thunbergii<br>Japanese Spirea                     |  |  |  |  |  |
| 26               |                  | SPIRAEA van houttei<br>Van Houttes Spirea                 |  |  |  |  |  |
| 27               |                  | VIBURNUM dentatum<br>Arrowwood                            |  |  |  |  |  |
| 28               |                  | WEIGELA rosea<br>Weigela                                  |  |  |  |  |  |
| 29               |                  | LIGUSTRUM obtusifolium regelianum<br>Regels Privet        |  |  |  |  |  |
| VINES/HEDGES     | 30               | GELSEMIUM sempervirens<br>Carolina Yellow Jessamine       |  |  |  |  |  |
|                  | 31               | HEDERA helix<br>English Ivy                               |  |  |  |  |  |

NOTE: Numbers shown in plant beds refer to the key numbers above. In cases where two numbers are shown, the upper number refers to key number above and indicates the kind of plant used; the lower number indicates the number of plants needed. Location of trees shown thus: (+)



Note—For typical staking detail see sheet No—33



**KEY PLAN**

SCALE 1 INCH = 20 FEET

0 10 20 30 40 50 60 70 80 90 100

**PLANTING PLAN—BLOCK #1**

**MARSHALL COURTS**

DATE: 8/20/40  
DRAWN BY: D.H.H.  
CHECKED BY: P.M.G.  
D.H.H.

APPROVED BY: [Signature]  
WILLIAMS, COILE & PIPINO, ARCHITECTS  
408 MELSON BLDG.  
NEWPORT NEWS, VA.

PROJECT NO. VA. 3-2  
NEWPORT NEWS, VA.

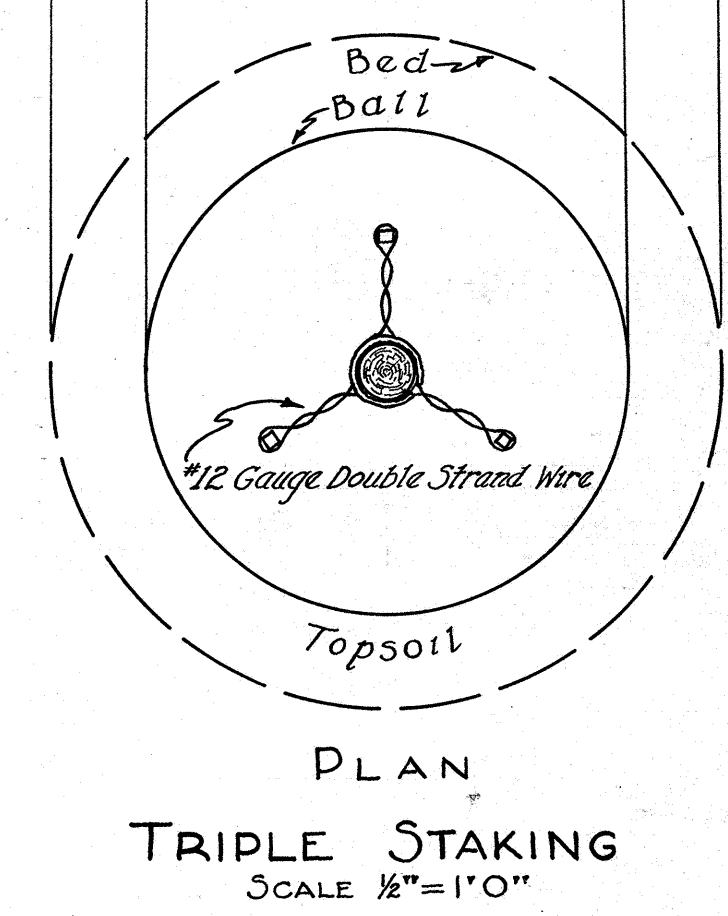
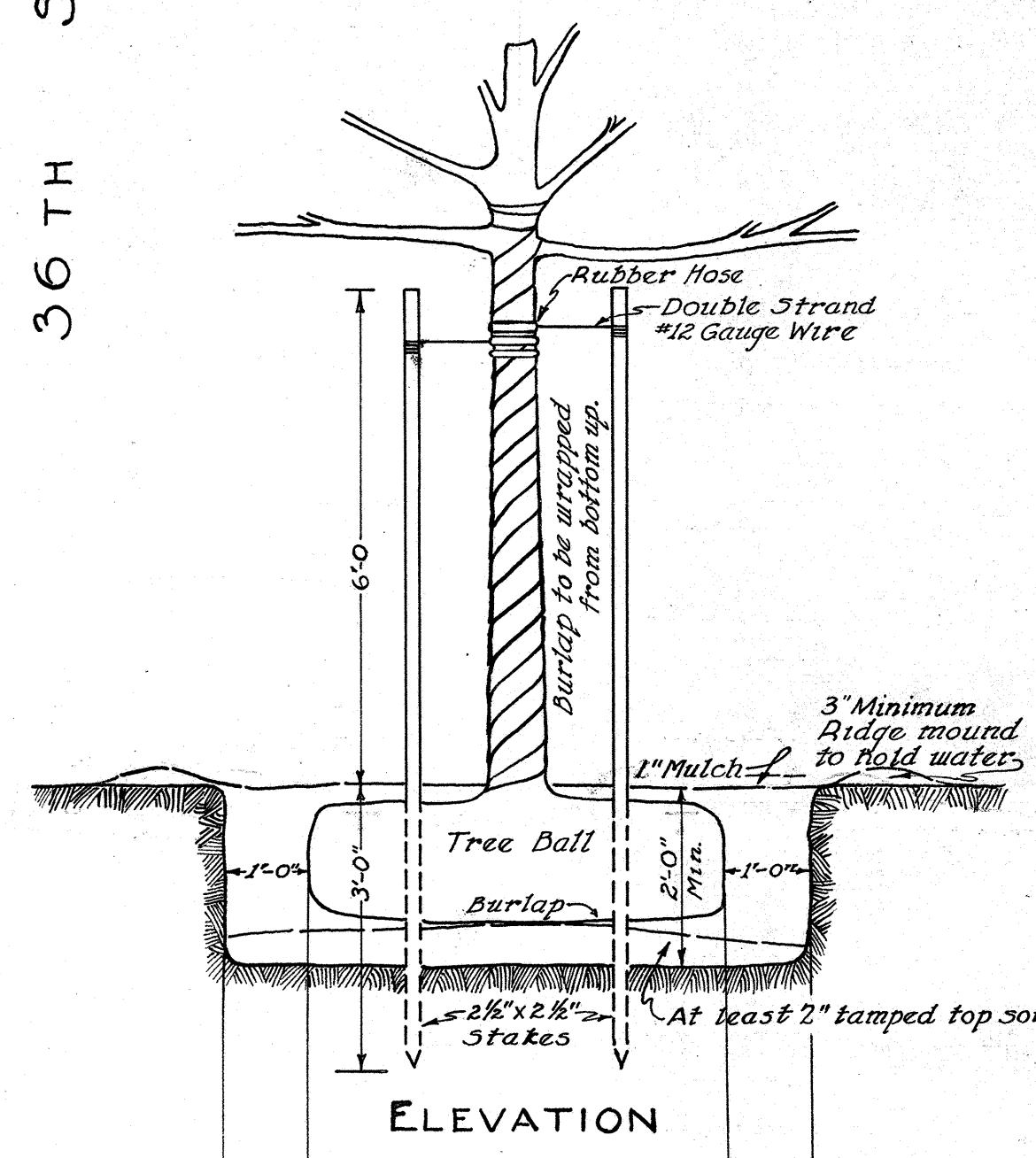
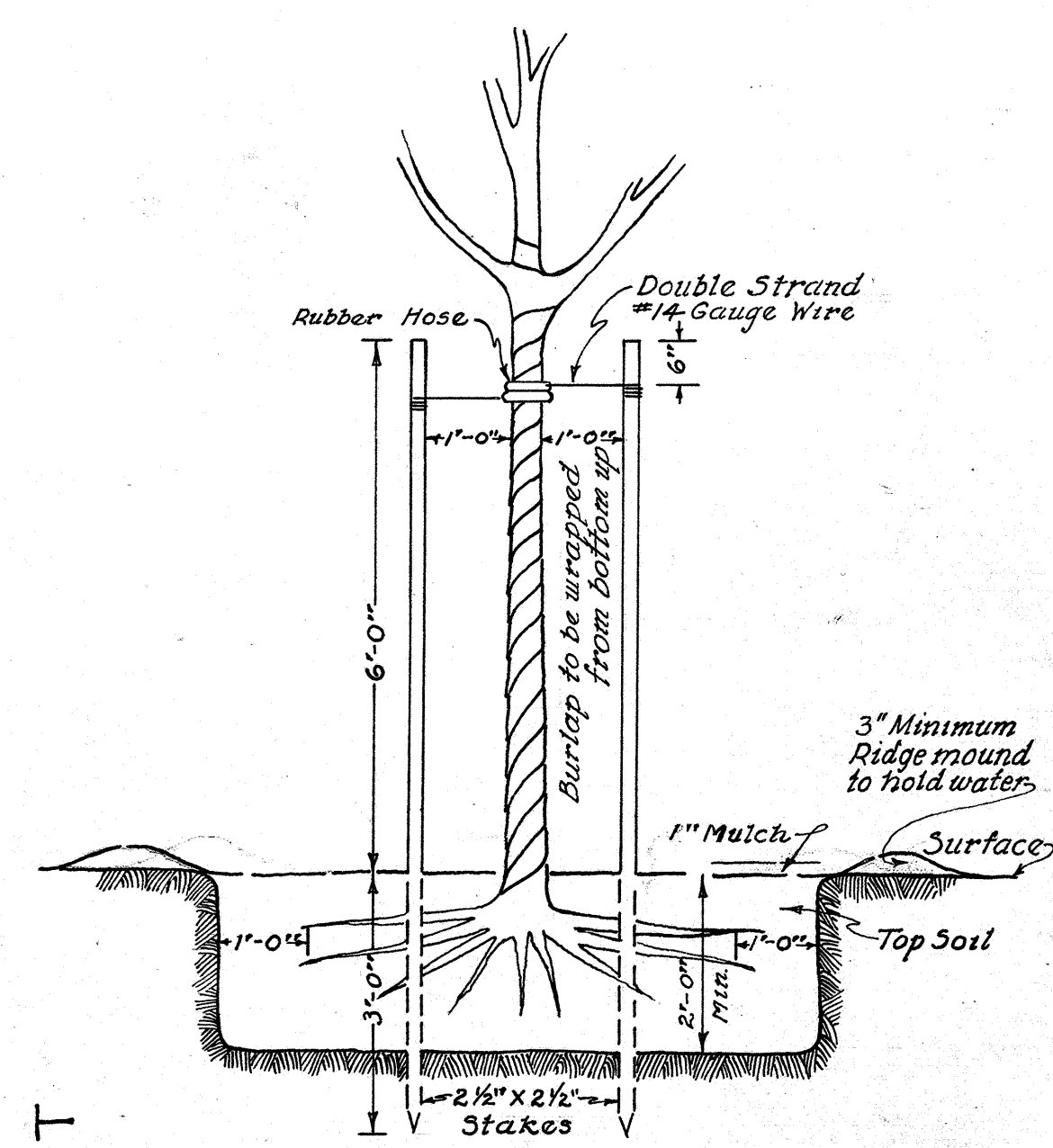
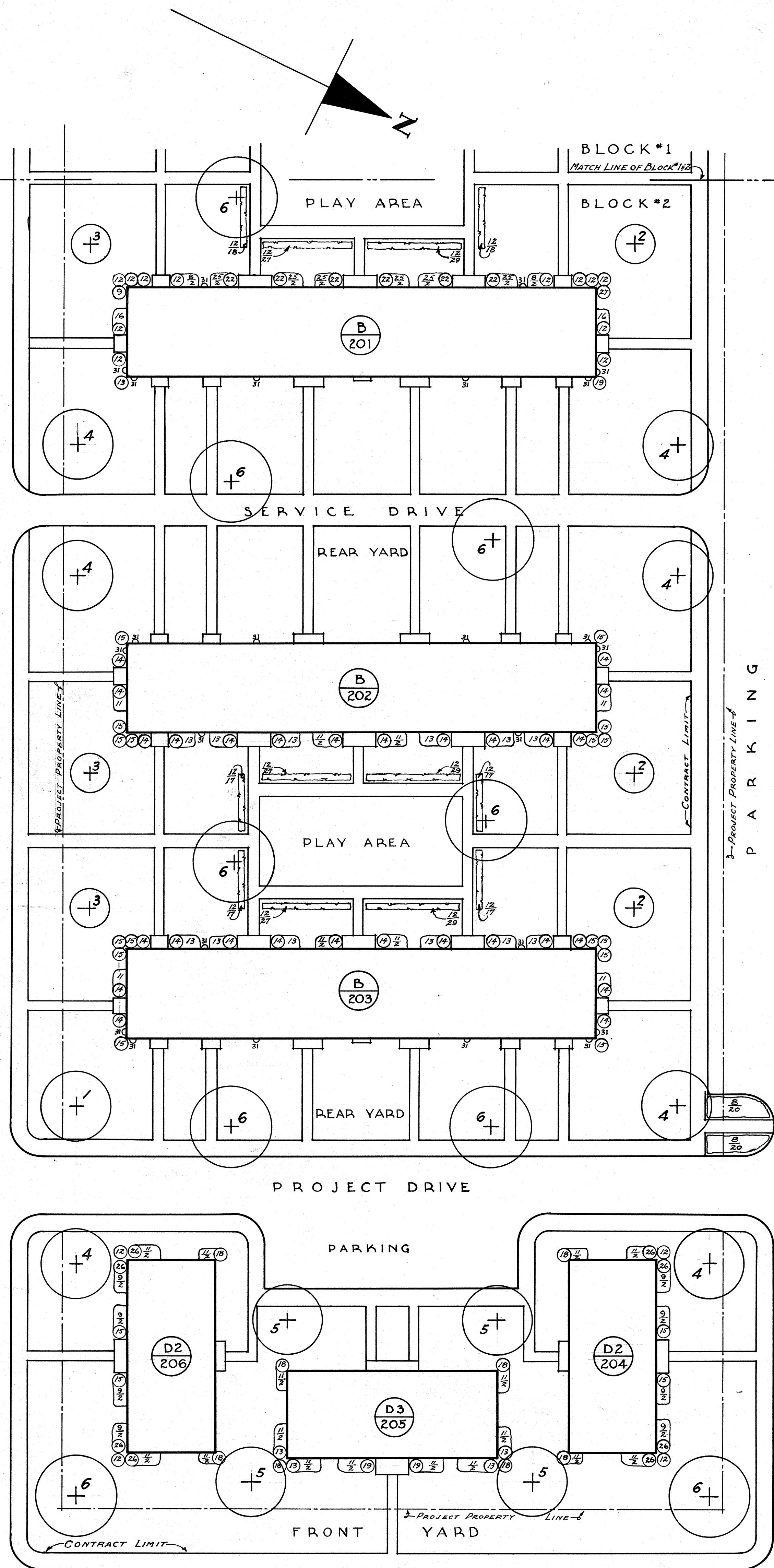
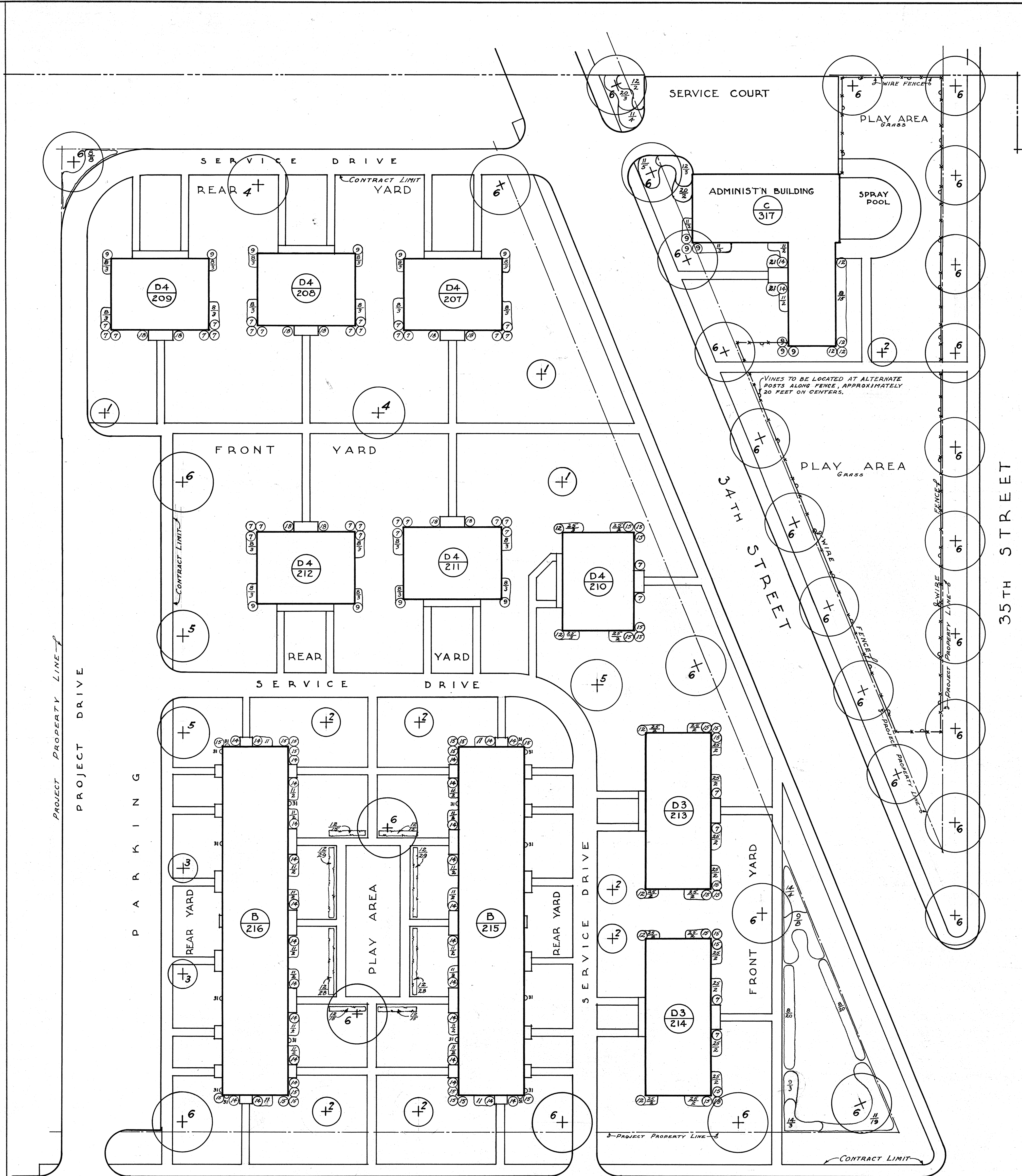
PIERRE GHENT AND ASSOCIATES.  
WASHINGTON, D. C.  
[Signature]  
LANDSCAPE ARCHITECT.

HOUSING AT NEWPORT NEWS

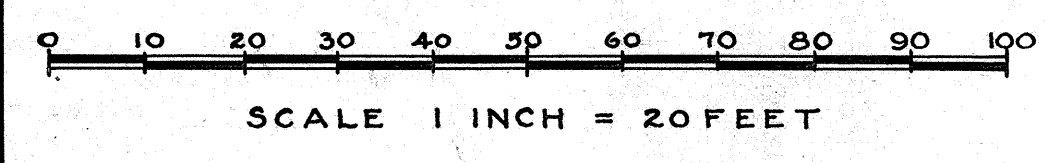
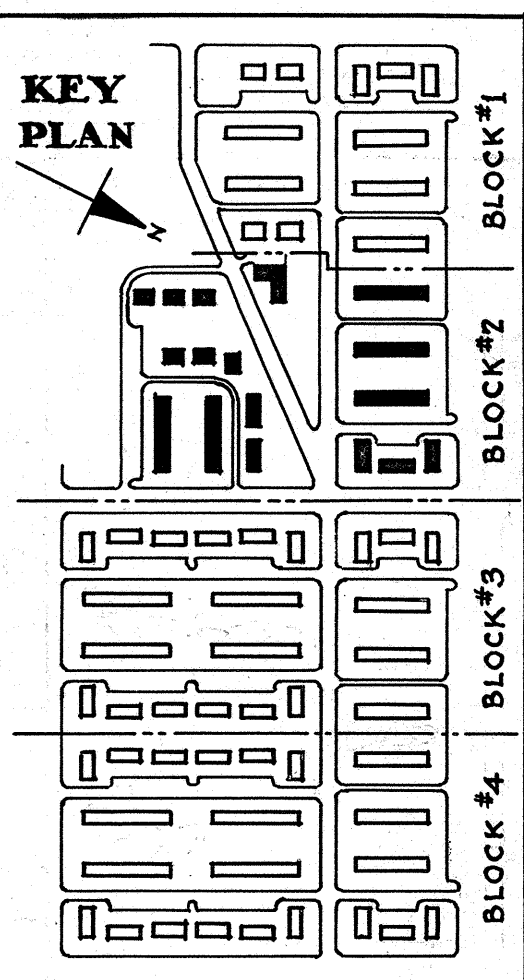
302-150

701 SHEET NO. 32 OF





NOTE—For plant list and hedge detail see sheet No—32



PLANTING PLAN—BLOCK #2

MARSHALL COURTS

DATE 8/30/50

WILLIAMS, COILE & PIPINO, ARCHITECTS

408 NELSON BLDG. NEWPORT NEWS, VA.

DRAWN BY P.M.G.

APPROVED BY *Paul A. Pipino* CHIEF ARCHITECT

CREATED BY P.M.G.

D.H.H. CHAIRMAN—HOUSING AUTHORITY

PROJECT NO. VA. 32 NEWPORT NEWS, VA.

SHEET NO. 702

33

HOUSING AUTHORITY OF THE CITY OF NEWPORT NEWS, VIRGINIA

PIERRE GHENT AND ASSOCIATES, WASHINGTON, D.C.

*Paul J. Ghent* LANDSCAPE ARCHITECT



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

A  
B  
C  
D  
E  
F  
G  
H  
I  
J  
K



VIA DESIGN

319 E Plume Street  
Norfolk, VA 23510  
757 627 1489

viadesignarchitects.com

CONSULTANT:

NEWPORT NEWS REDEVELOPMENT and HOUSING AUTHORITY

MARSHALL CT. APT. PHASE VII

741 34th STREET  
NEWPORT NEWS, VA 23607

| REVISIONS # | DATE | DESCRIPTION |
|-------------|------|-------------|
|             |      |             |
|             |      |             |
|             |      |             |
|             |      |             |
|             |      |             |
|             |      |             |
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|             |      |             |
|             |      |             |

VIA PROJ #: 17031-4

DATE: 2023.07.10

CHECKED BY: Checker

SHEET STATUS:

KEY PLAN:

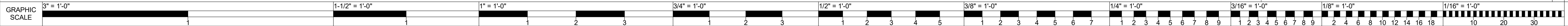
SHEET TITLE:  
1984 STRUCTURAL  
RENOVATIONS REF. SET 2

BUILDING:

SHEET NUMBER:

REF. SET 2

# 1984 STRUCTURAL RENOVATIONS REF. SET 2

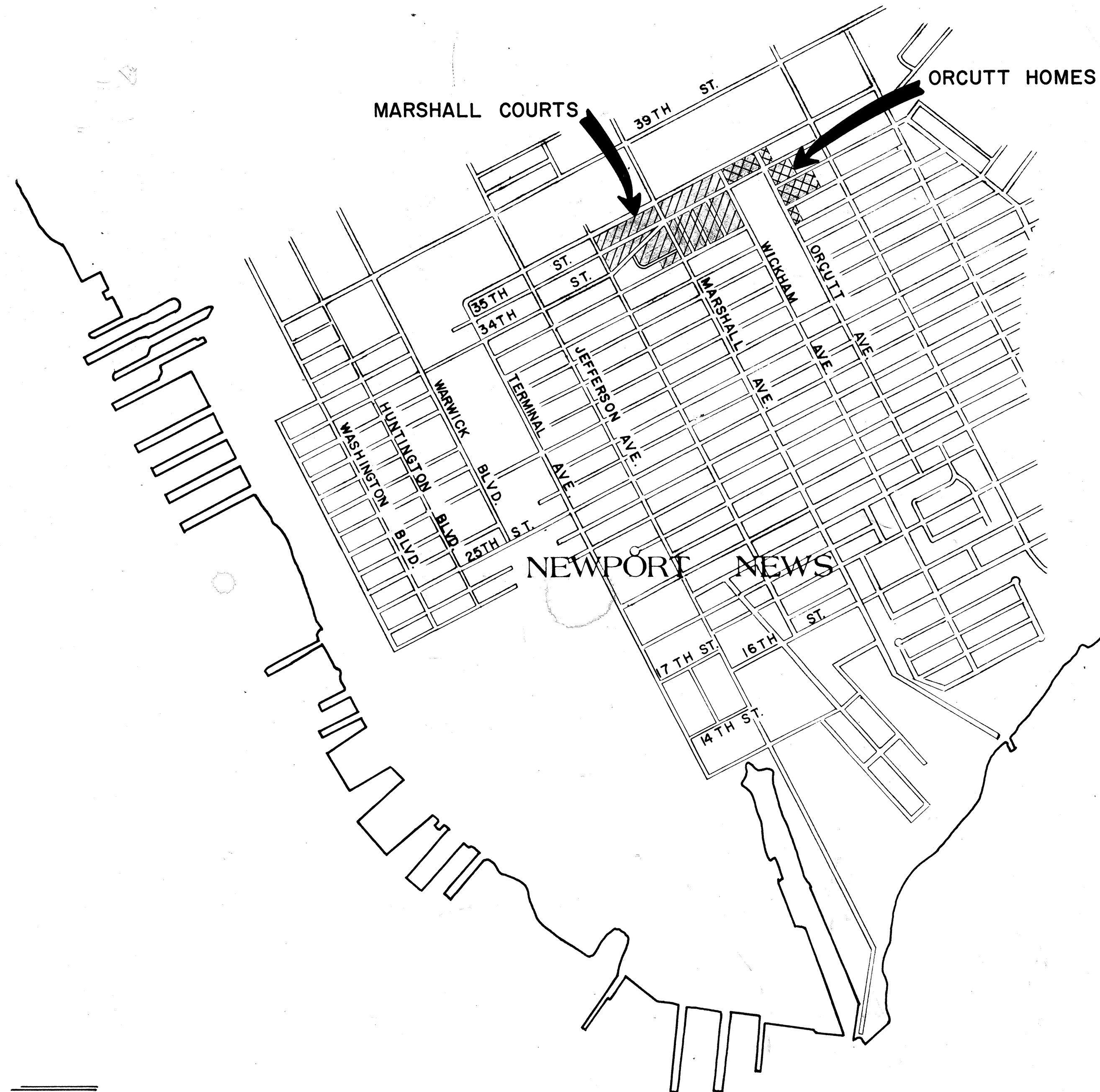




# Newport News Redevelopment and Housing Authority

## STRUCTURAL RENOVATIONS (PHASE II)

Newport News, Virginia



## MARSHALL COURTS & ORCUTT HOMES PROJECT VA.-2

### INDEX

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| C-3       | SITE PLAN - BUILDINGS 19-24 & 41-46   |
| C-4       | SITE PLAN - BUILDINGS 1-8 & 47-70   |
| C-5       | SITE PLAN - BUILDINGS 9-12, 25-34 & 71-75   |
| C-6       | ORCUTT HOMES - BUILDING LOCATION PLAN   |
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| A-2       | MARSHALL COURTS - BUILDINGS 35-72 ELEVATIONS  |
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| P-2       | MARSHALL COURTS & ORCUTT HOMES - PLUMBING PLAN, DIAGRAMS                              |
| E-1       | MARSHALL COURTS - ELECTRICAL DISTRIBUTION PLAN  |
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| E-4       | MARSHALL COURTS - NEW POWER & LIGHTING PLAN ADMINISTRATION BUILDING                   |
| E-5       | MARSHALL COURTS - ELECTRICAL RISER DIAGRAMS RECREATION CENTER                         |
| E-6       | MARSHALL COURTS - ELECTRICAL RISER DIAGRAM, LIGHTING FIXTURE SCHEDULE                 |
| E-7       | MARSHALL COURTS - ELECTRICAL SCHEDULE, NOTES, LEGEND                                  |



THE DeYOUNG · JOHNSON GROUP INC.

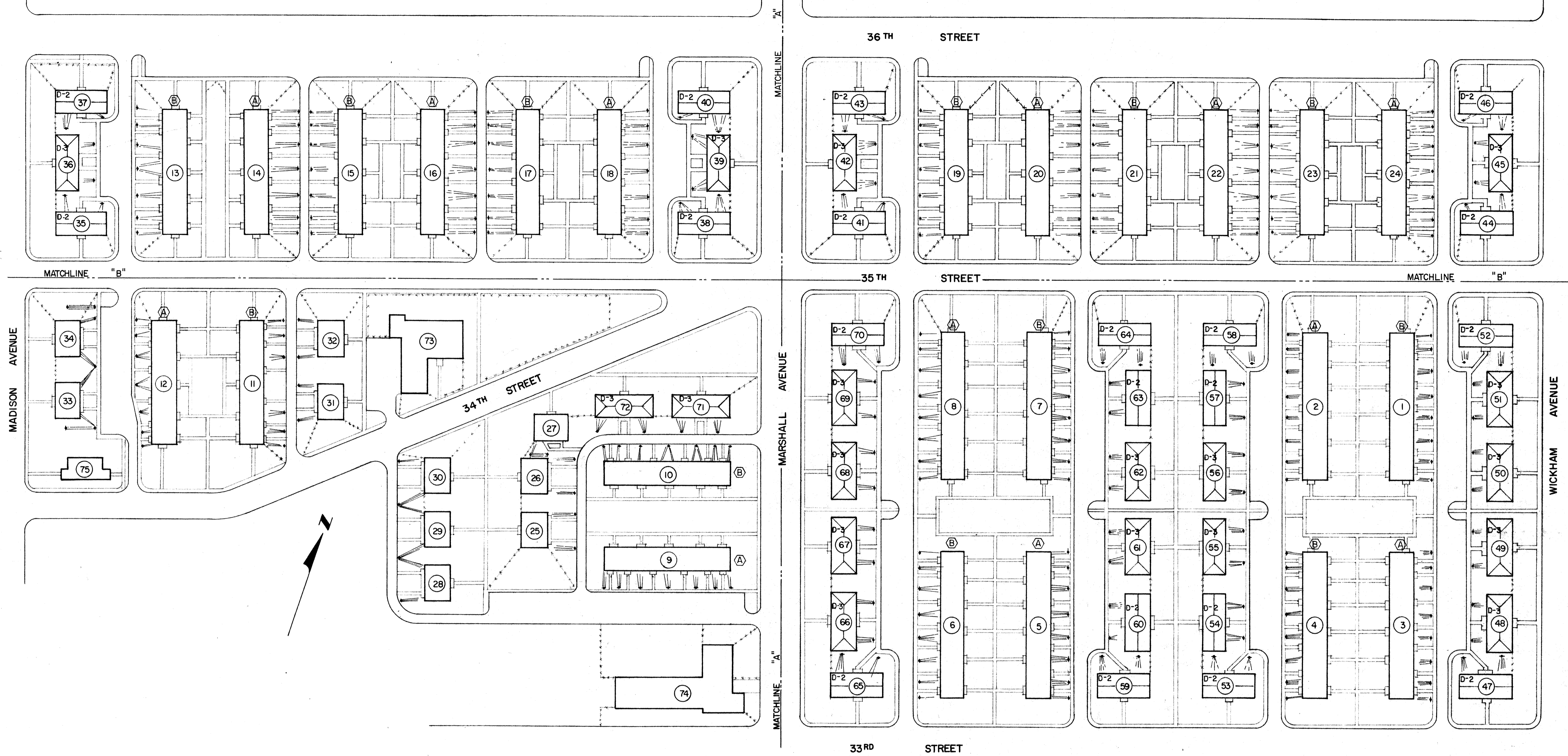
ENGINEERS · ARCHITECTS · SURVEYORS  
P.O. BOX 197 WILLIAMSBURG, VIRGINIA 23187  
(804) 253-0673 / (804) 874-5015

CONSULTANT :

MATHEW J. THOMPSON III  
CONSULTING ENGINEERS INC. / MECHANICAL  
NEWPORT NEWS, VIRGINIA

*William J. Thompson*  
*Matthew J. Thompson*  
*Robert J. Thompson*  
SET #20





**MARSHALL COURTS - BUILDING LOCATION PLAN**  
 SCALE: 1" = 60'

--- EXISTING FENCE (SEE SHT. C-3 FOR RELOCATION DETAIL)  
 --- EXISTING CLOTHESLINE (TO BE REMOVED)

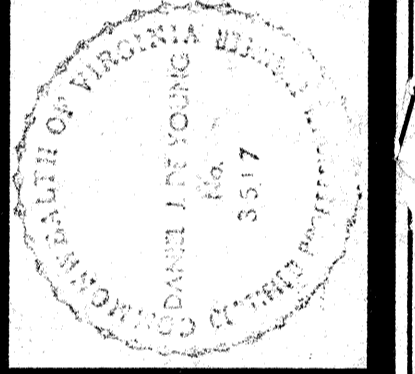
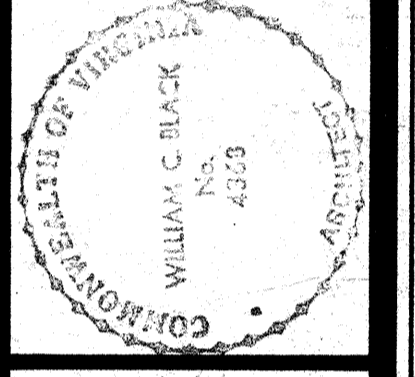
**GENERAL BUILDING DESCRIPTION:**

- TWO-STORY LIVING UNITS 166' LONG - (1) THRU (8) - BUILDING TYPE "A"
- TWO-STORY LIVING UNITS 142' LONG - (9) THRU (24) - BUILDING TYPE "B"
- TWO-STORY LIVING UNITS 40' LONG - (25) THRU (34) - BUILDING TYPE "D4"
- \* A-FRAME & HIPPED-ROOF COTTAGES - (35) THRU (72) - BUILDING TYPE "D2", "D3"
- ADMINISTRATION BUILDING - (73)
- COMMUNITY BUILDING - (74)
- BUILDING TYPE "F" - (75)

(A) OR (B) ALTERNATE ELEVATIONS (SEE SHEET A-2)

\* NOTE:  
 BUILDING TYPE D-2 - 58' LONG  
 BUILDING TYPE D-3 - 64' LONG  
 SEE SHEET A-7 FOR ENTRANCE ELEVATIONS

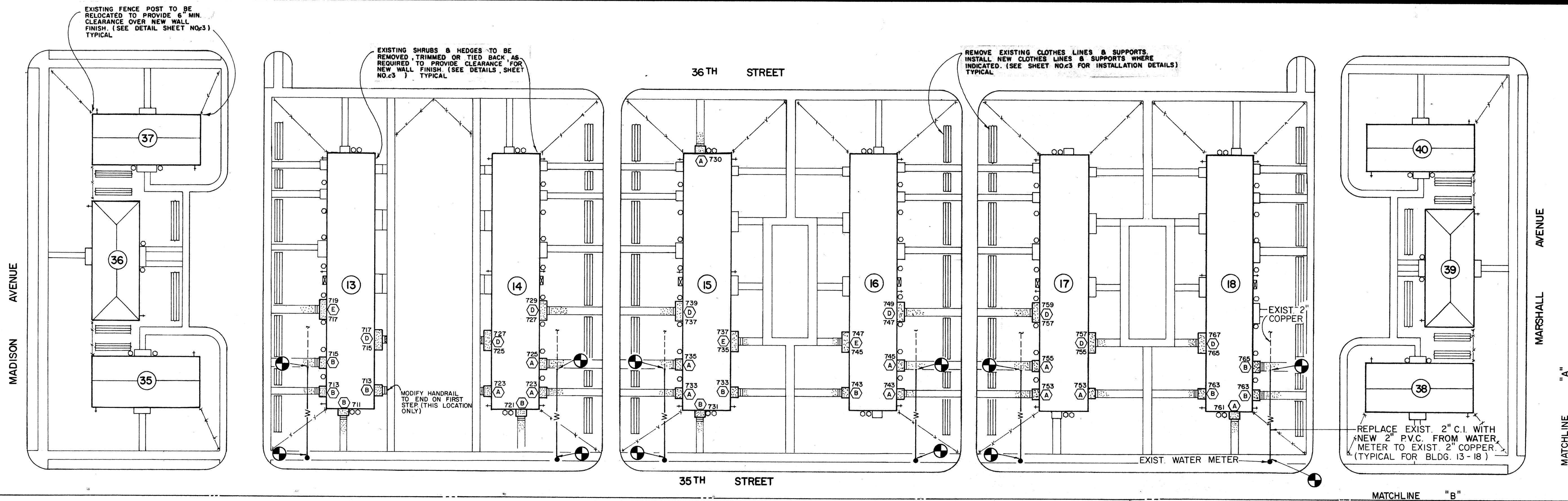
MARSHALL COURTS - BUILDING LOCATION PLAN  
 STRUCTURAL RENOVATIONS/MARSHALL COURTS & ORCUTT HOMES  
 PHASE II  
**NEWPORT NEWS REDEVELOPMENT & HOUSING AUTHORITY**  
 NEWPORT NEWS VIRGINIA



**THE D'YOUNG-JOHNSON GROUP, INC.**  
 ENGINEERS - ARCHITECTS - SURVEYORS  
 P.O. BOX 197 WILLIAMSBURG, VIRGINIA 23187 (804) 253-0673

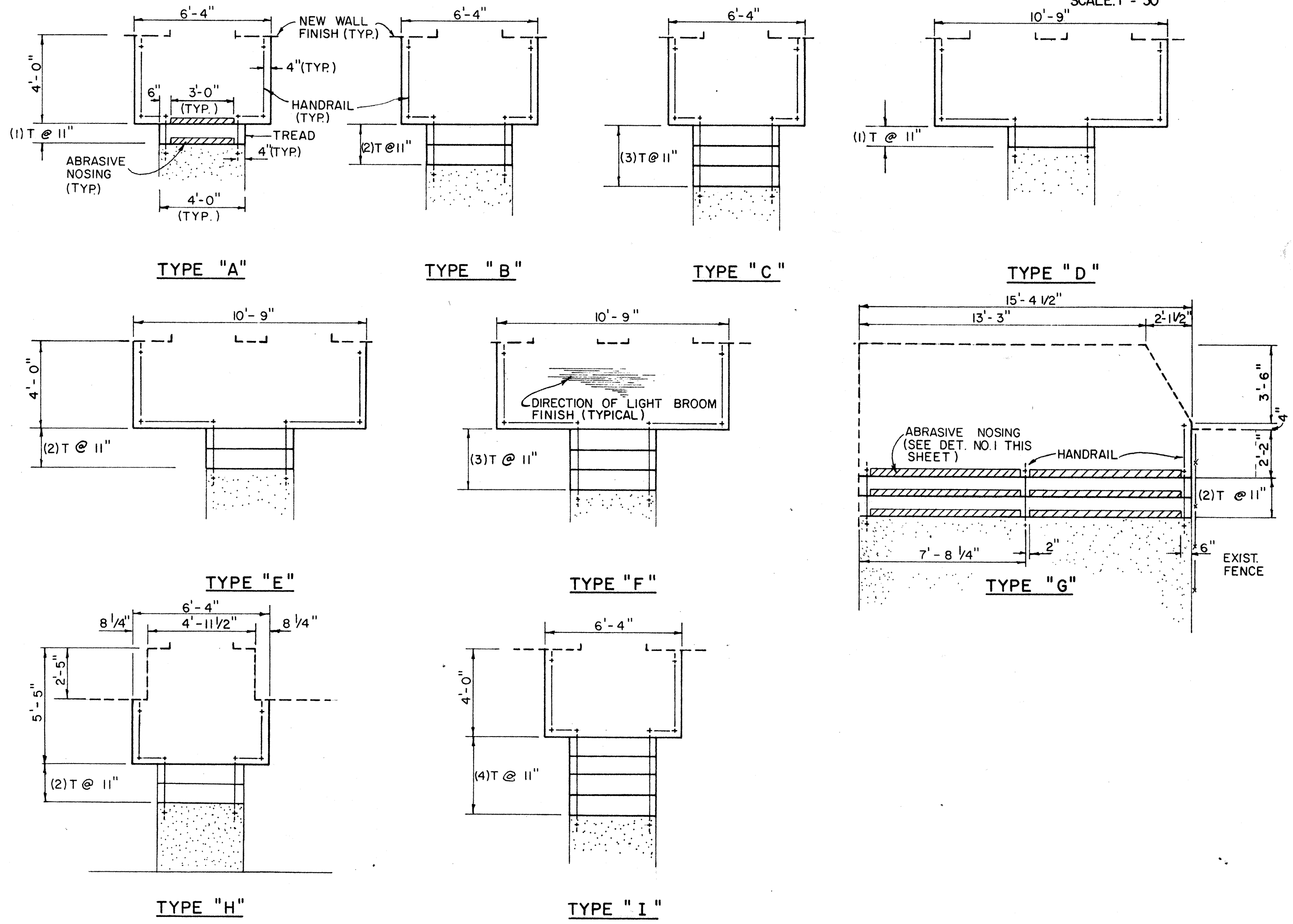
**DJG**  
 DATE: APRIL 27, 1984  
 DESIGNED: W.C.B.  
 DRAWN: T.L.S.  
 CHECKED: W.L.B.





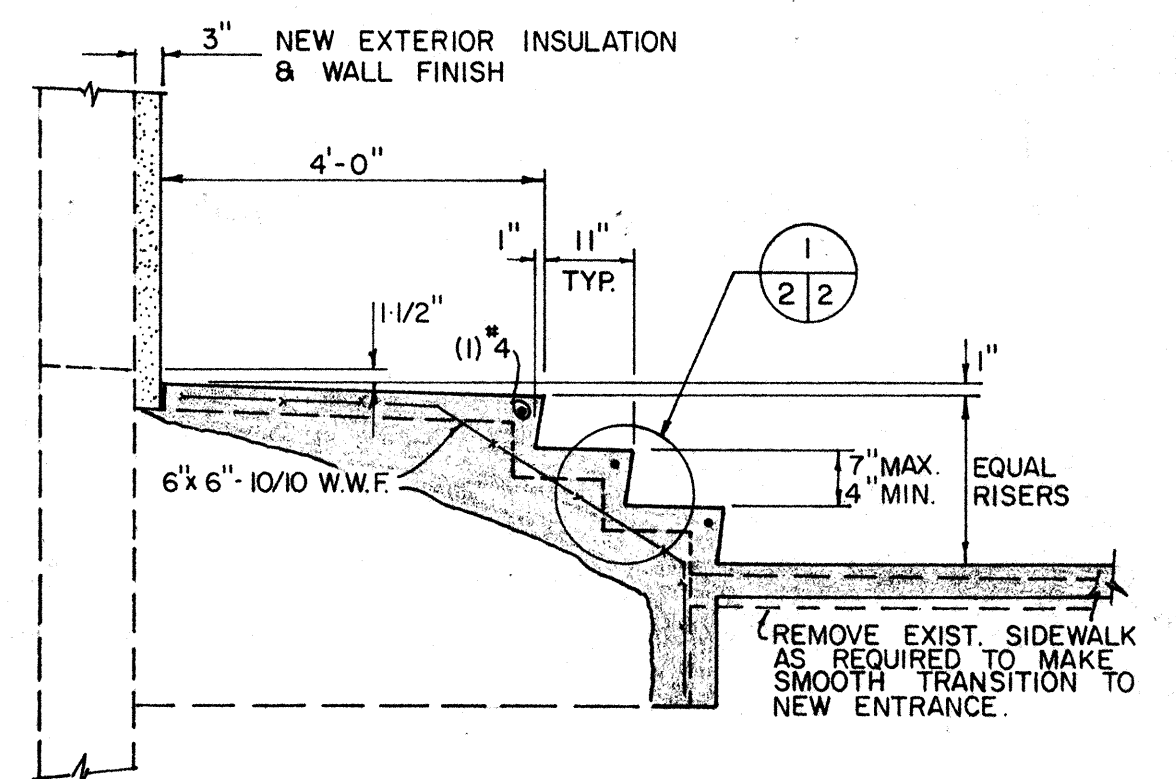
**MARSHALL COURTS - SITE PLAN**

SCALE: 1" = 30'

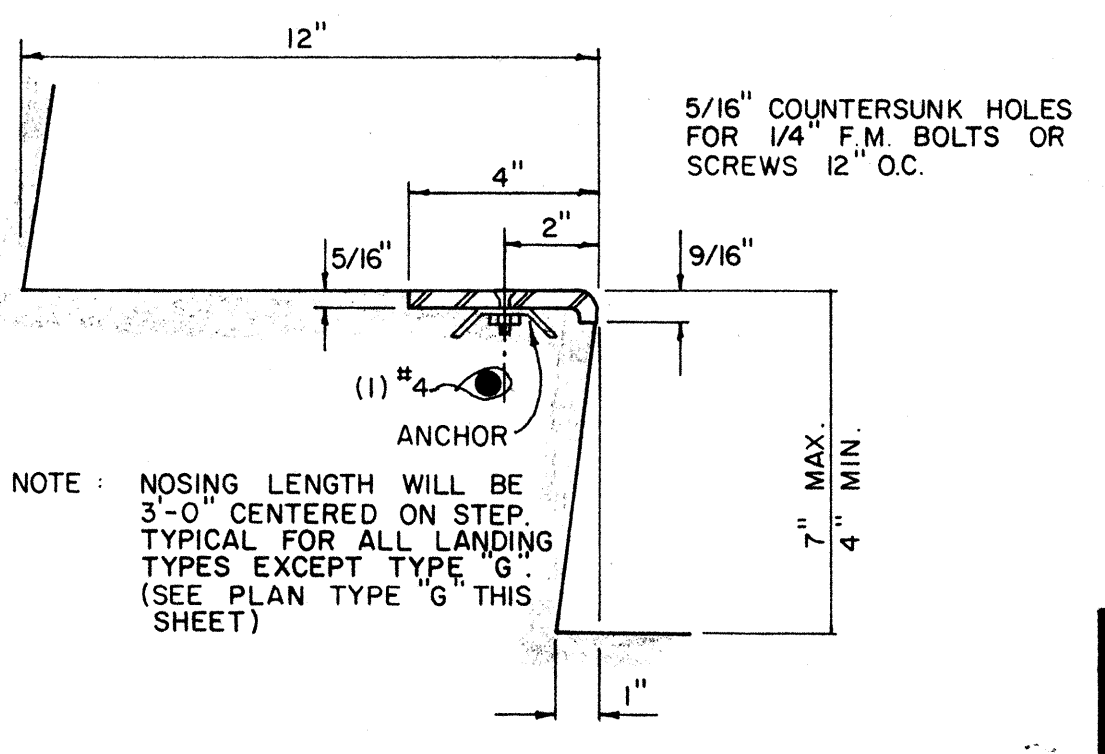


**NEW ENTRANCE PLANS**

SCALE: 1/4" = 1'-0"



**TYPICAL LANDING SECTION**



**DETAIL 1/2**

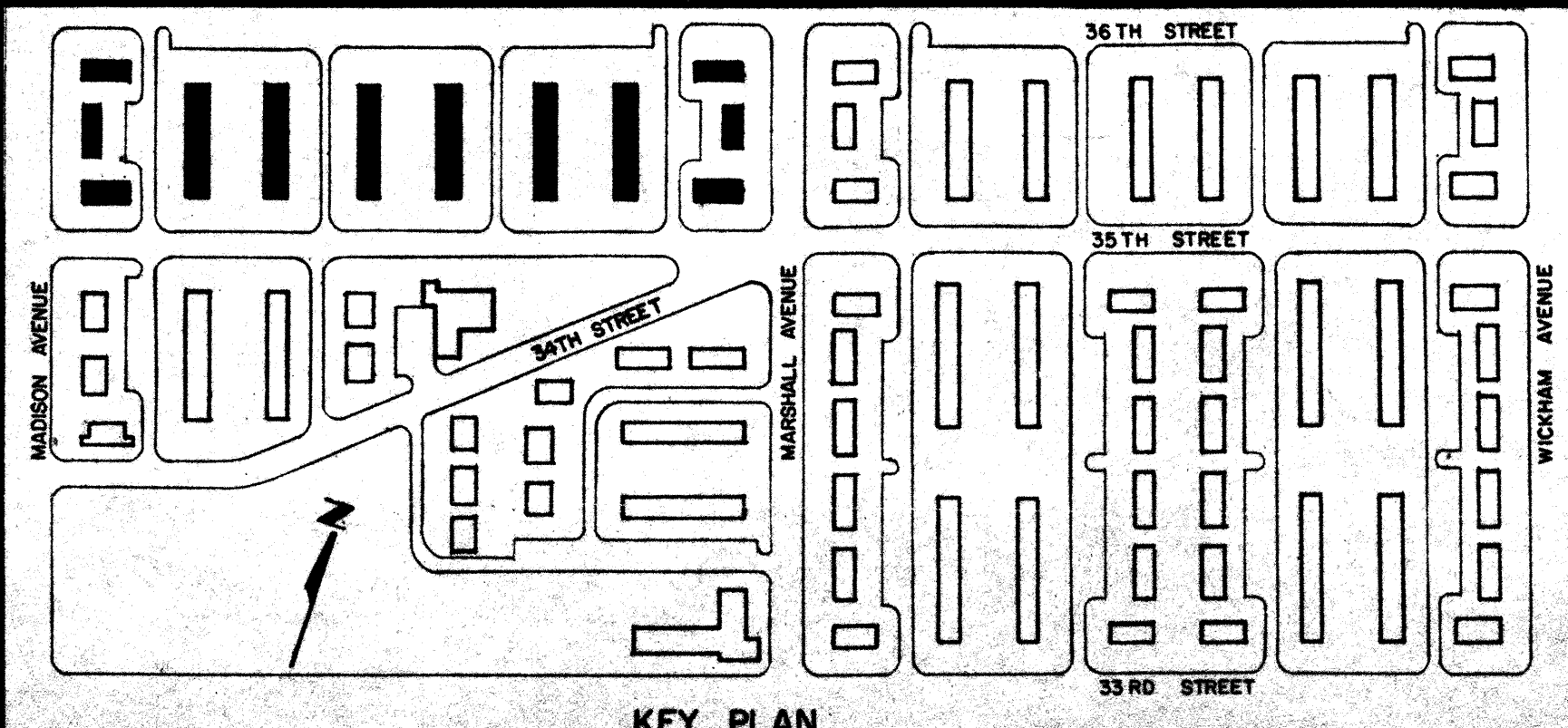
SCALE: 3" = 1'-0"

**LEGEND P.M.E.**

- EXISTING GAS METER
- † EXISTING HOSE BIBB
- ⊞ EXISTING ELECTRICAL METER ROOM
- EXISTING WATER METER
- EXISTING 2" COPPER PIPE
- W — NEW 2" P.V.C.
- ⊕ CONNECTION POINT - NEW TO EXISTING

**SITE IMPROVEMENT LEGEND**

- ⊕ NEW ENTRANCE TYPE (SEE THIS SHEET)
- ⊕ NEW LANDING & SIDEWALK
- ⊕ APARTMENT NUMBER
- ≡ NEW CLOTHES LINES & SUPPORTS
- FENCE

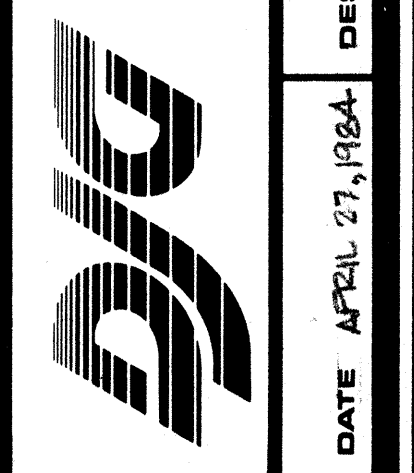


**KEY PLAN**

MARSHALL COURTS SITE PLAN - BLDGS. 13-18 & 35-40  
 STRUCTURAL RENOVATIONS/MARSHALL COURTS & ORCUTT HOMES  
 PHASE II  
**NEWPORT NEWS REDEVELOPMENT & HOUSING AUTHORITY**  
 NEWPORT NEWS VIRGINIA



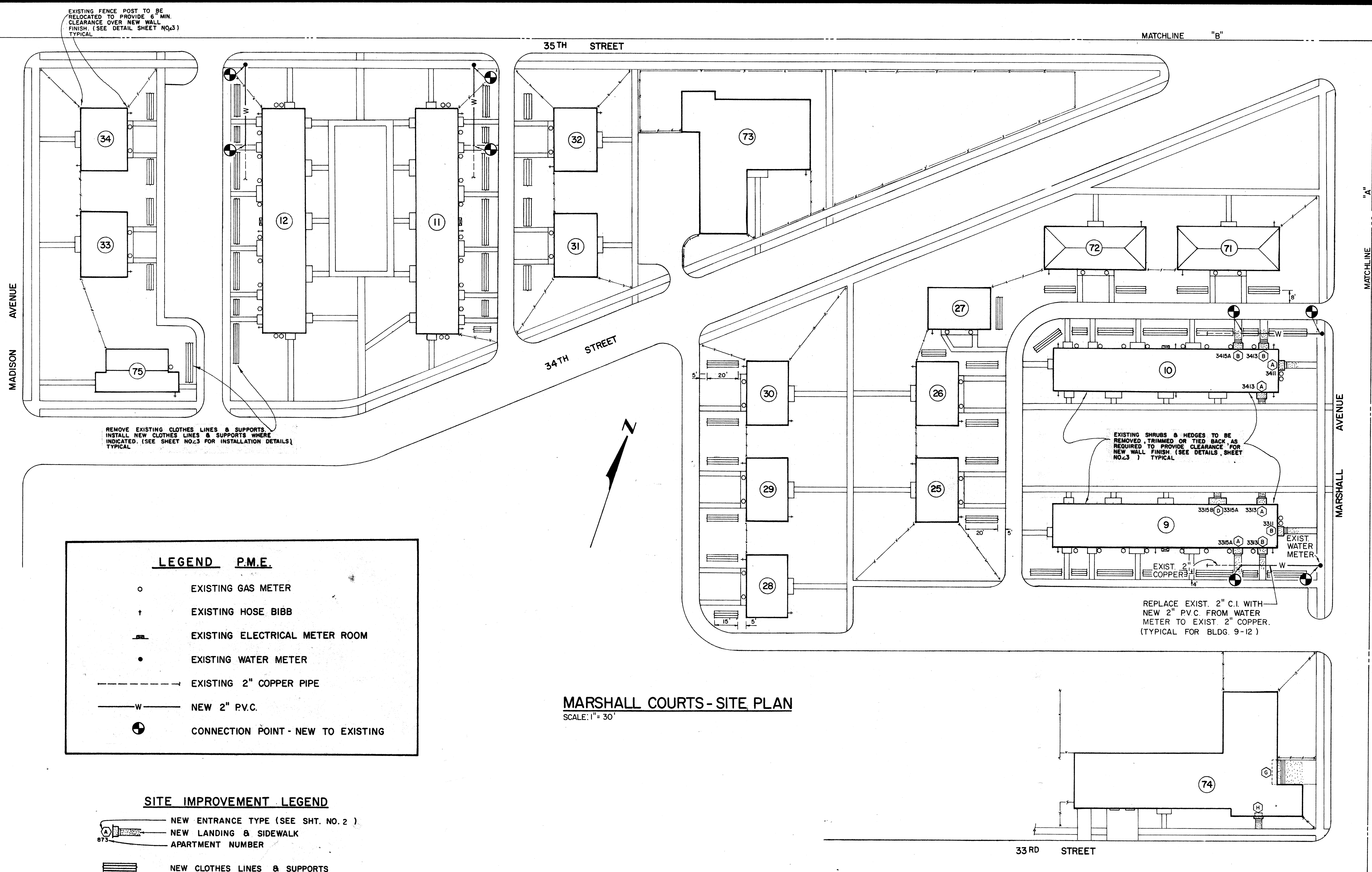
**THE DEYOUNG-JOHNSON GROUP, INC.**  
 ENGINEERS - ARCHITECTS - SURVEYORS  
 P.O. BOX 197 WILLIAMSBURG, VIRGINIA 23187 (804) 253-0673  
 DATE: APRIL 27, 1984  
 DESIGNED: W.C.B.  
 DRAWN: T.C.S.  
 CHECKED: W.C.B.



83-62

C-2  
 2 OF 27





EXISTING FENCE POST TO BE RELOCATED TO PROVIDE 6" MIN. CLEARANCE OVER NEW WALL FINISH. (SEE DETAIL SHEET NO.3) TYPICAL

REMOVE EXISTING CLOTHES LINES & SUPPORTS. INSTALL NEW CLOTHES LINES & SUPPORTS WHERE INDICATED. (SEE SHEET NO.23 FOR INSTALLATION DETAILS) TYPICAL

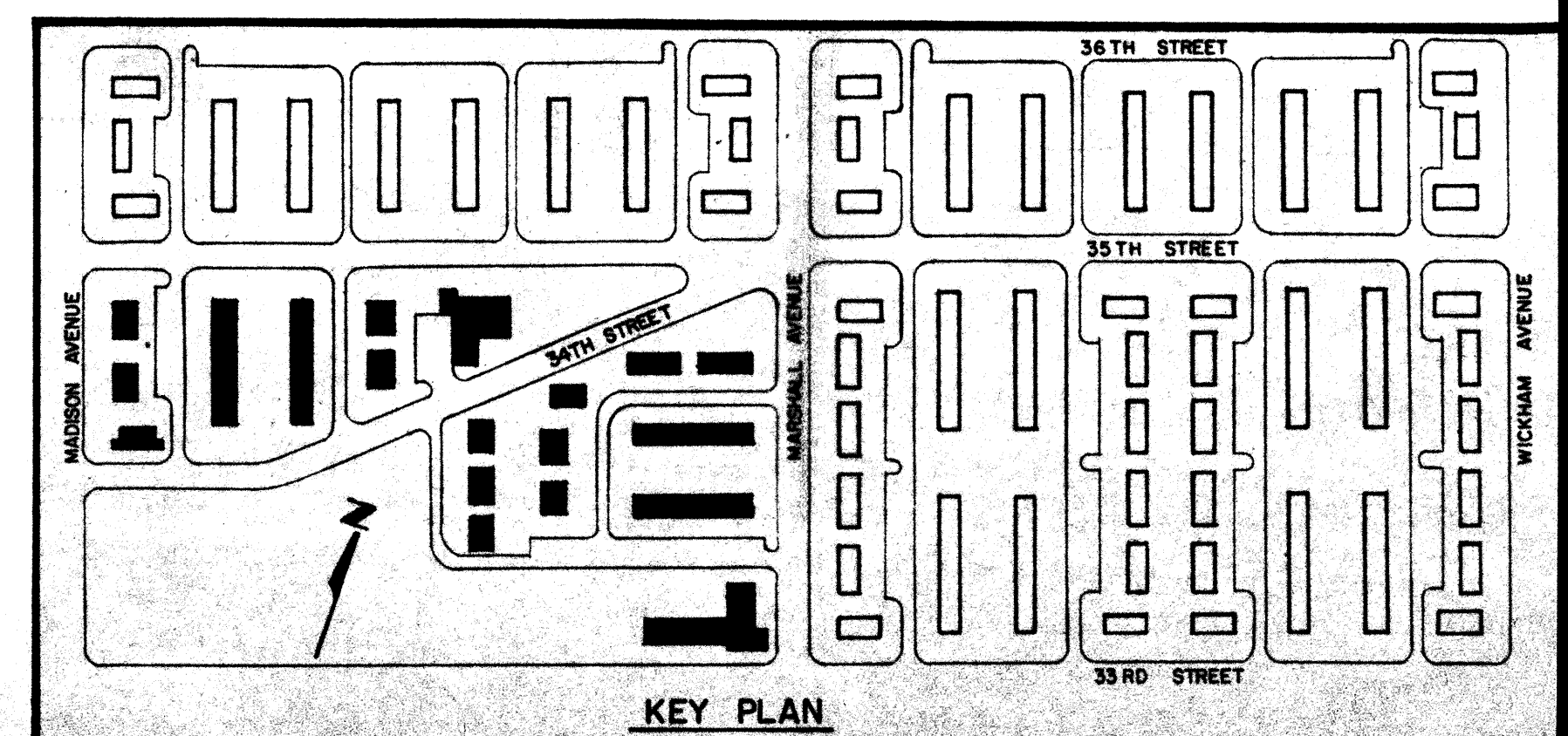
EXISTING SHRUBS & HEDGES TO BE REMOVED, TRIMMED OR TIED BACK AS REQUIRED TO PROVIDE CLEARANCE FOR NEW WALL FINISH. (SEE DETAILS, SHEET NO.23) TYPICAL

REPLACE EXIST. 2" C.I. WITH NEW 2" P.V.C. FROM WATER METER TO EXIST. 2" COPPER. (TYPICAL FOR BLDG. 9-12)

| LEGEND P.M.E. |                                    |
|---------------|------------------------------------|
| ○             | EXISTING GAS METER                 |
| †             | EXISTING HOSE BIBB                 |
| ⌚             | EXISTING ELECTRICAL METER ROOM     |
| ●             | EXISTING WATER METER               |
| ---           | EXISTING 2" COPPER PIPE            |
| —W—           | NEW 2" P.V.C.                      |
| ⊙             | CONNECTION POINT - NEW TO EXISTING |

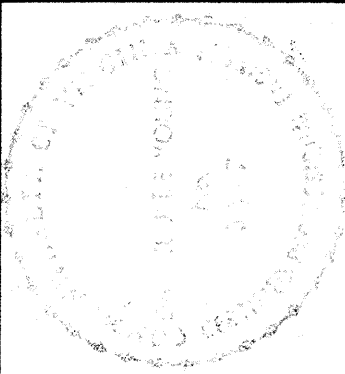
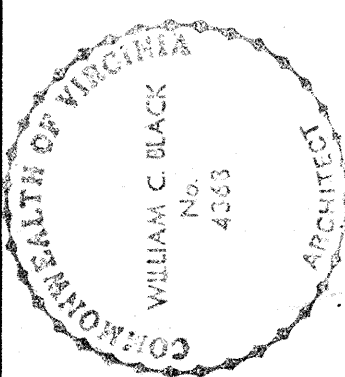
| SITE IMPROVEMENT LEGEND |                                    |
|-------------------------|------------------------------------|
| ⌚                       | NEW ENTRANCE TYPE (SEE SHT. NO. 2) |
| —                       | NEW LANDING & SIDEWALK             |
| ⊙                       | APARTMENT NUMBER                   |
| ≡                       | NEW CLOTHES LINES & SUPPORTS       |
| ---                     | FENCE                              |

**MARSHALL COURTS - SITE PLAN**  
SCALE: 1" = 30'



**KEY PLAN**

MARSHALL COURTS SITE PLAN - BLDGS. 9-12, 25-34 & 71-75  
STRUCTURAL RENOVATIONS/MARSHALL COURTS & ORCUTT HOMES  
PHASE II  
**NEWPORT NEWS REDEVELOPMENT & HOUSING AUTHORITY**  
NEWPORT NEWS, VIRGINIA



**THE DEYOUNG-JOHNSON GROUP, INC.**  
ENGINEERS - ARCHITECTS - SURVEYORS  
P.O. BOX 197 WILMAMSBURG, VIRGINIA 23187 (804) 253-0673



DATE: APRIL 27, 1984  
DESIGNED: M.C.B.  
DRAWN: T.C.S.  
CHECKED: W.C.B.  
**83-62**  
**C-5**  
5 OF 27



AVENUE

WICKHAM

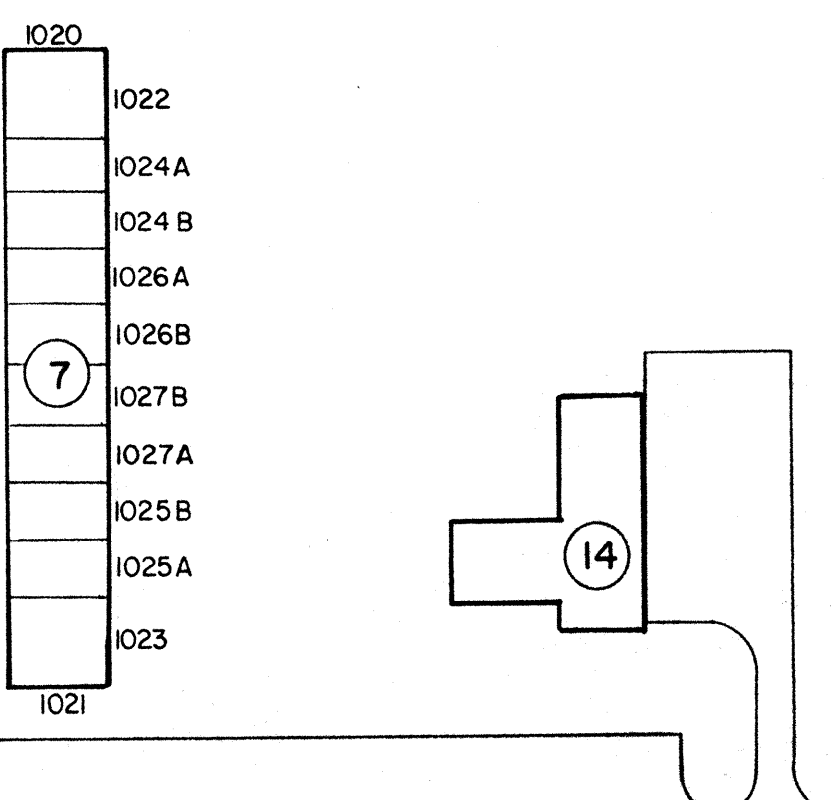
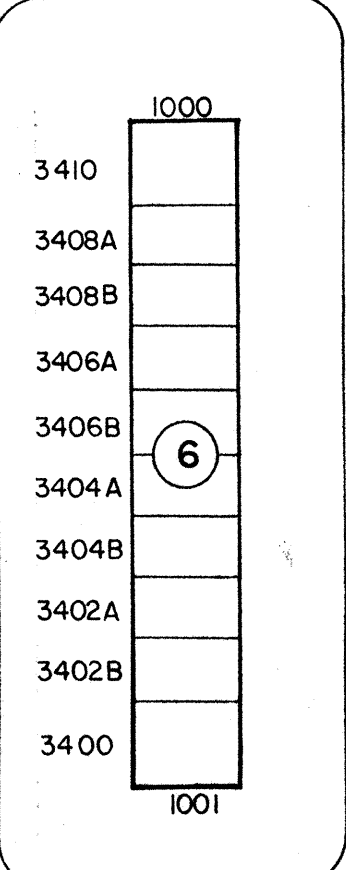
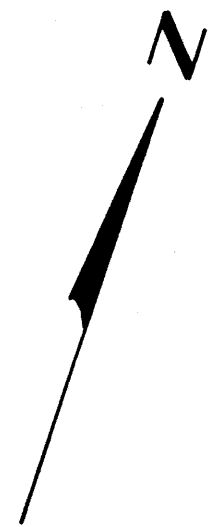
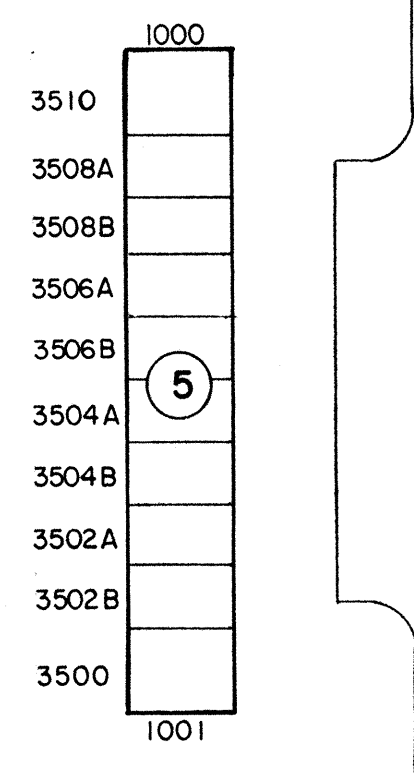
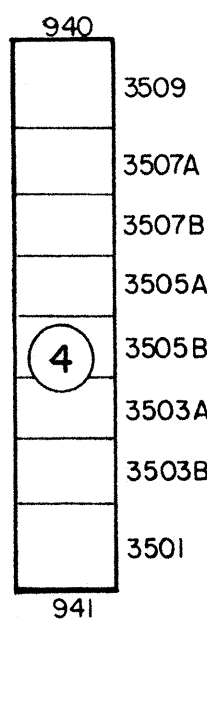
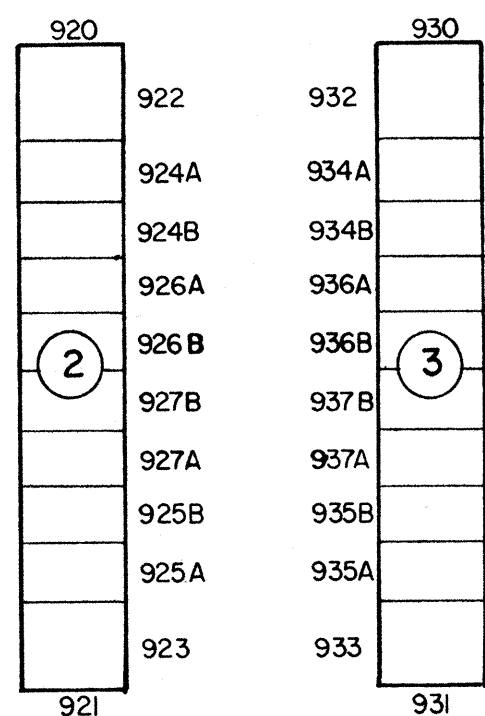
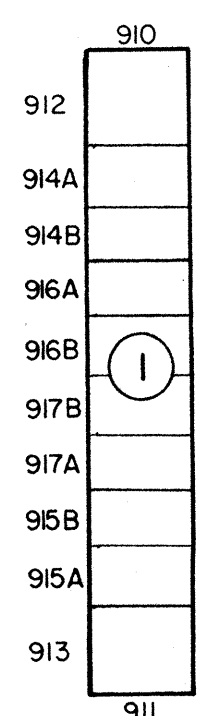
36 TH STREET

35 TH STREET

34 TH STREET

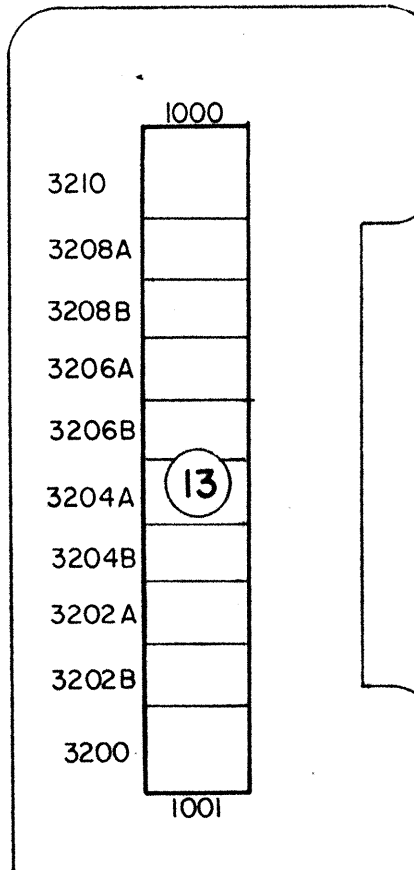
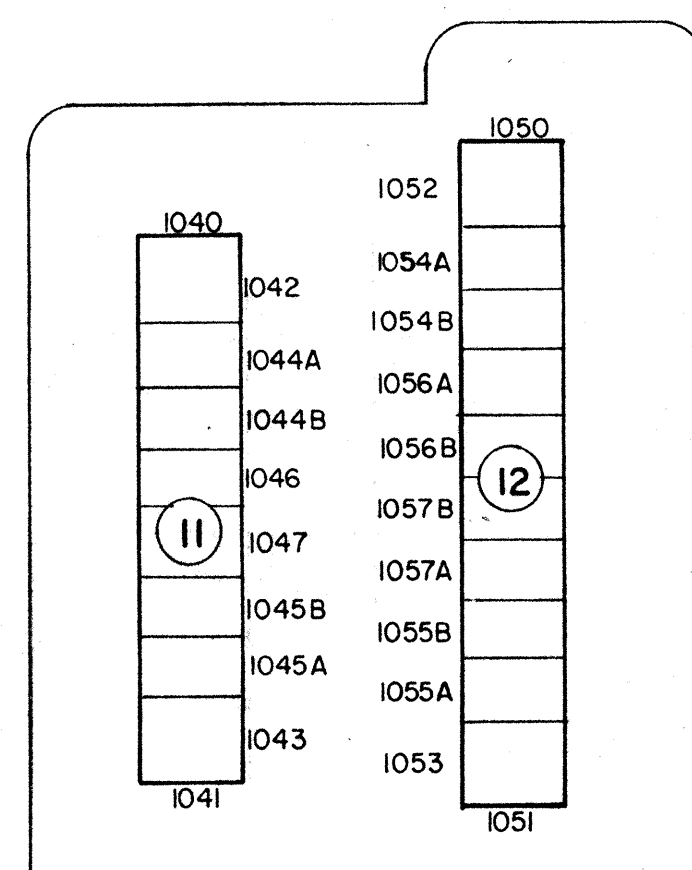
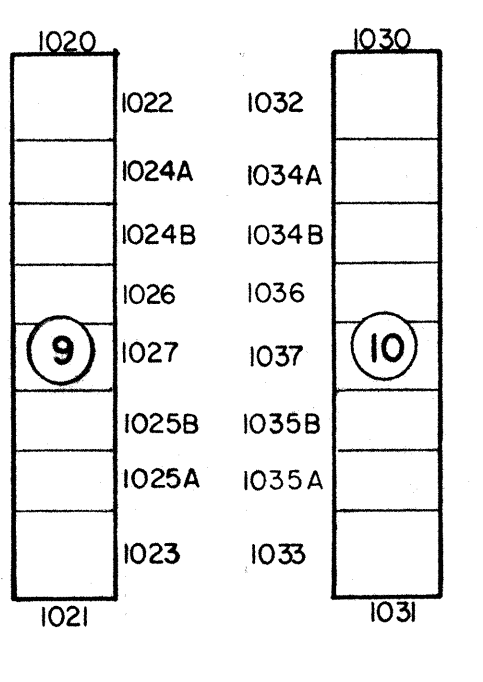
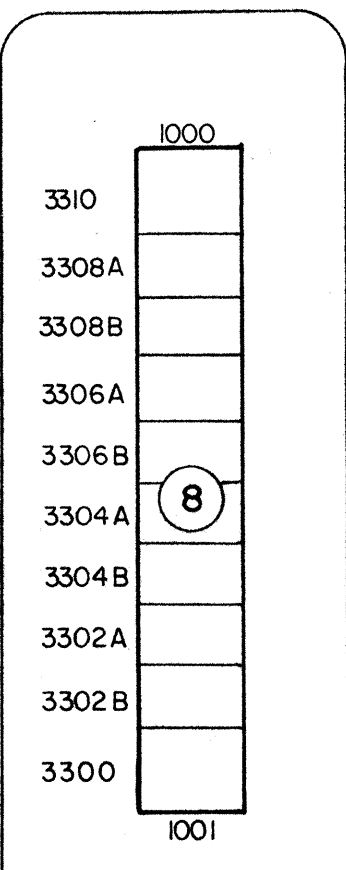
33 RD STREET

32 ND STREET



AVENUE

ORCUTT

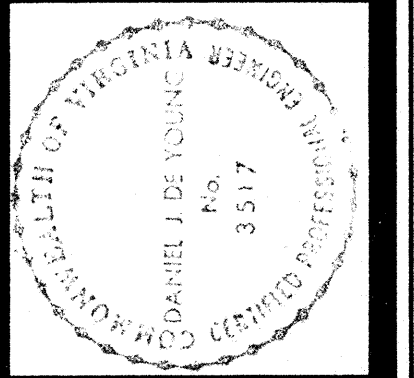
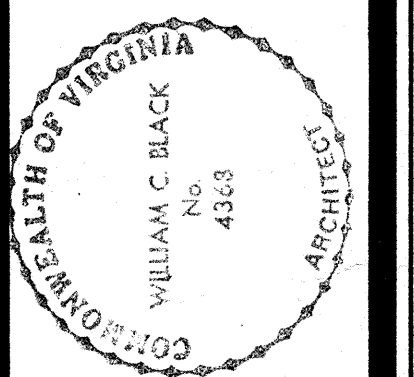


**GENERAL BUILDING DESCRIPTION:**  
 TWO-STORY LIVING UNITS 172' LONG (5), (6), (8), (12) & (13)  
 TWO-STORY LIVING UNITS 166' LONG (1), (2), (3) & (7)  
 TWO-STORY LIVING UNITS 142' LONG (4), (9), (10) & (11)  
 ADMINISTRATION BUILDING (14)

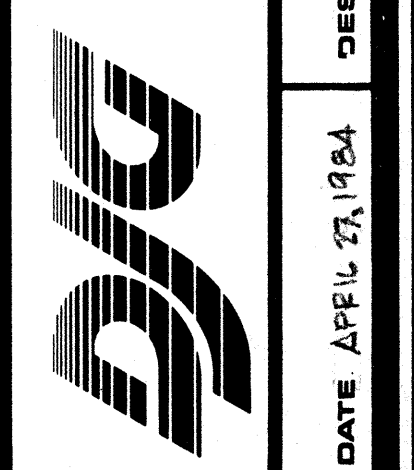
**ORCUTT HOMES - BUILDING LOCATION PLAN**

SCALE: 1" = 50'

ORCUTT HOMES - BUILDING LOCATION PLAN  
 STRUCTURAL RENOVATIONS/MARSHALL COURTS & ORCUTT HOMES  
 PHASE II  
**NEWPORT NEWS REDEVELOPMENT & HOUSING AUTHORITY**  
 NEWPORT NEWS VIRGINIA



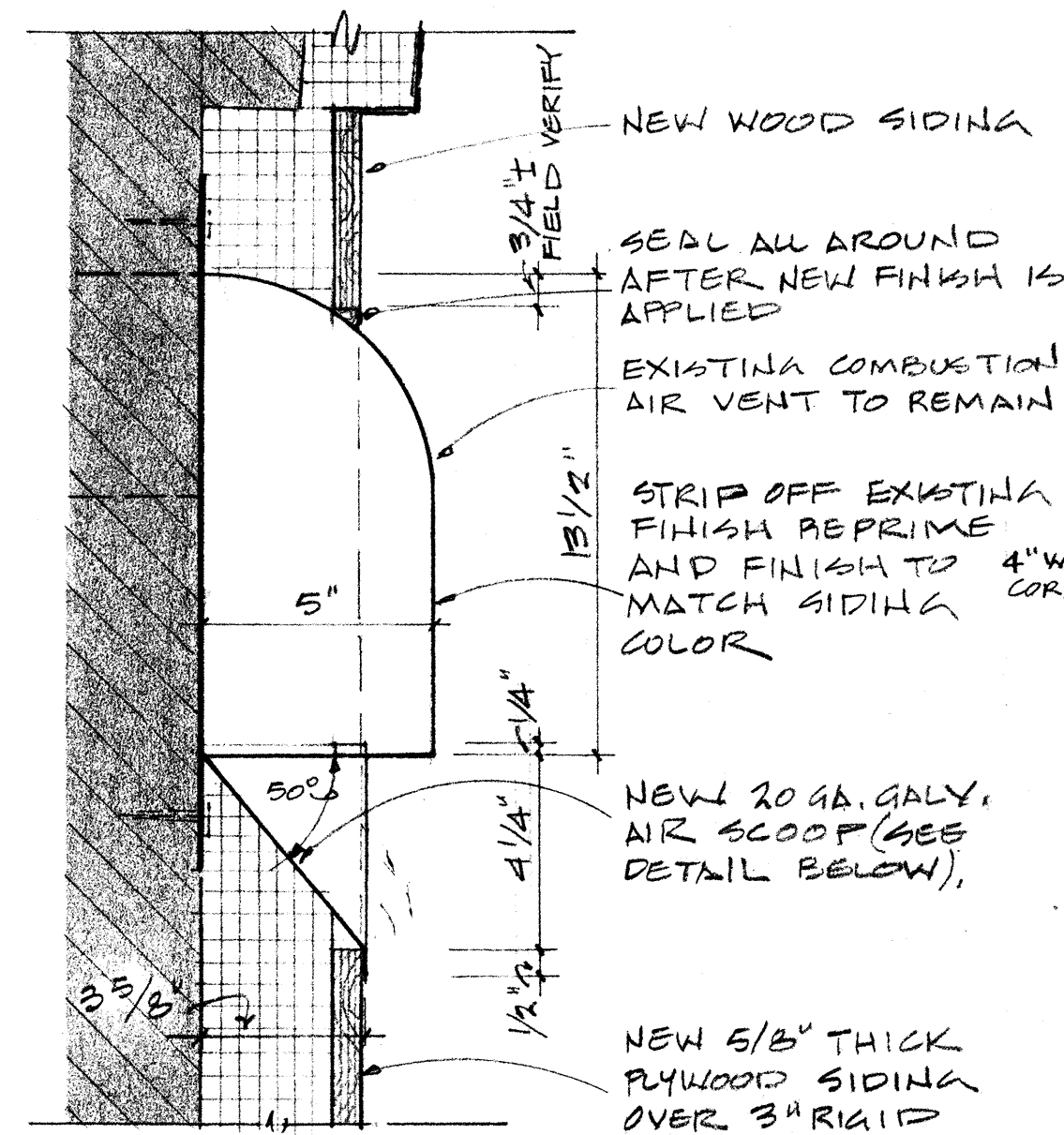
**THE DEYOUNG-JOHNSON GROUP, INC.**  
 ENGINEERS - ARCHITECTS - SURVEYORS  
 P.O. BOX 197 WILLIAMSBURG, VIRGINIA 23187 (804) 253-0673  
 DESIGNED W.C.B. DRAWN T.C.S. CHECKED W.C.B.



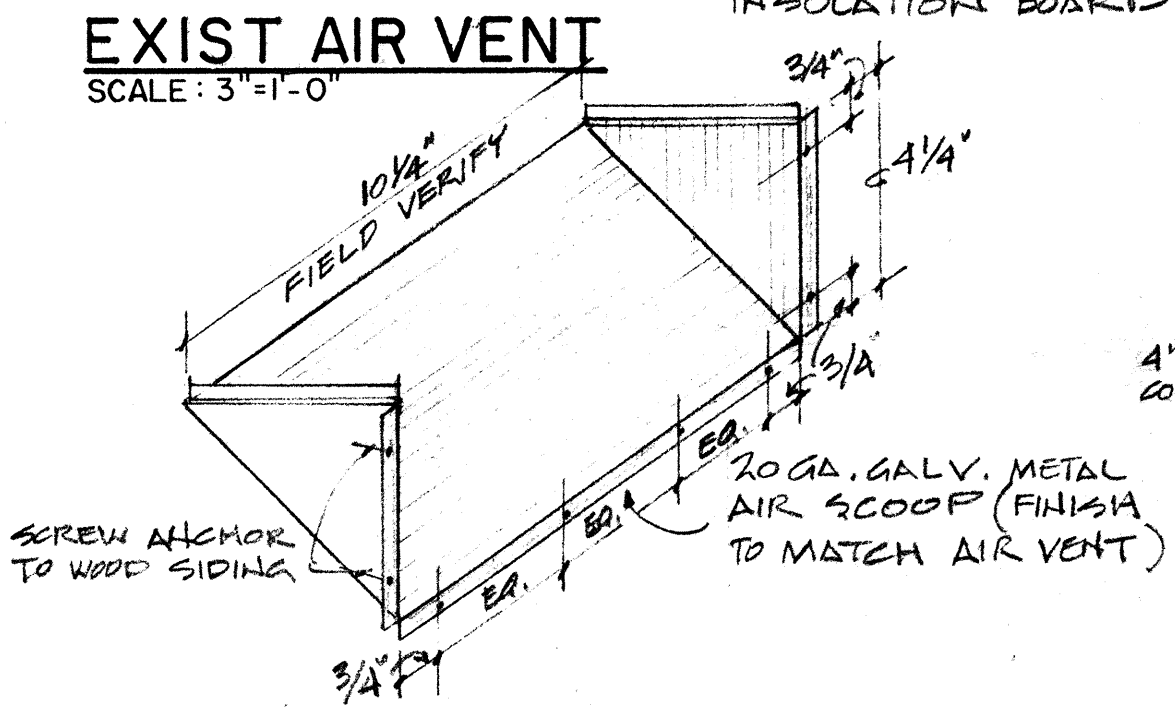
83-62

C-6  
 6 OF 27

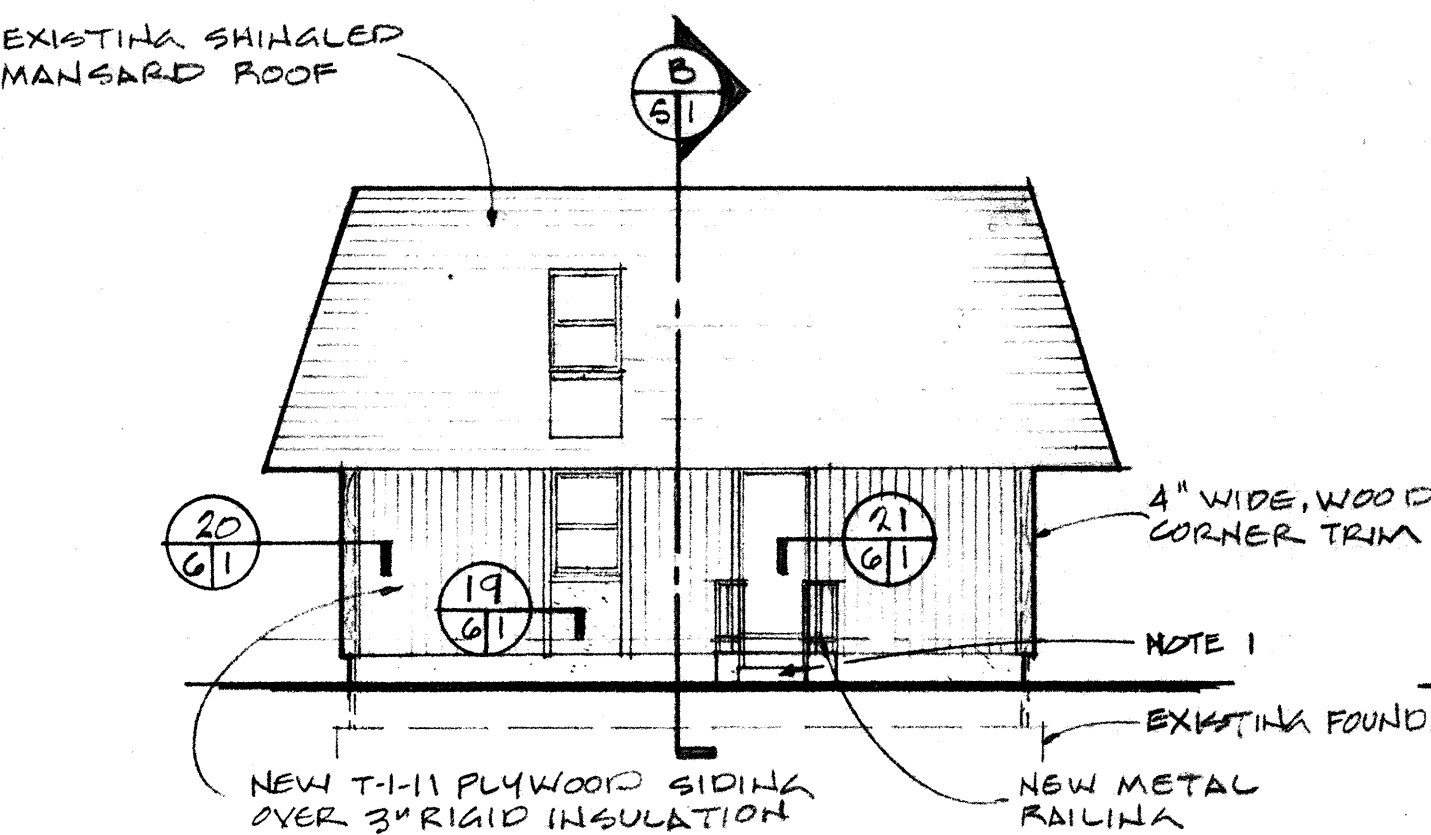




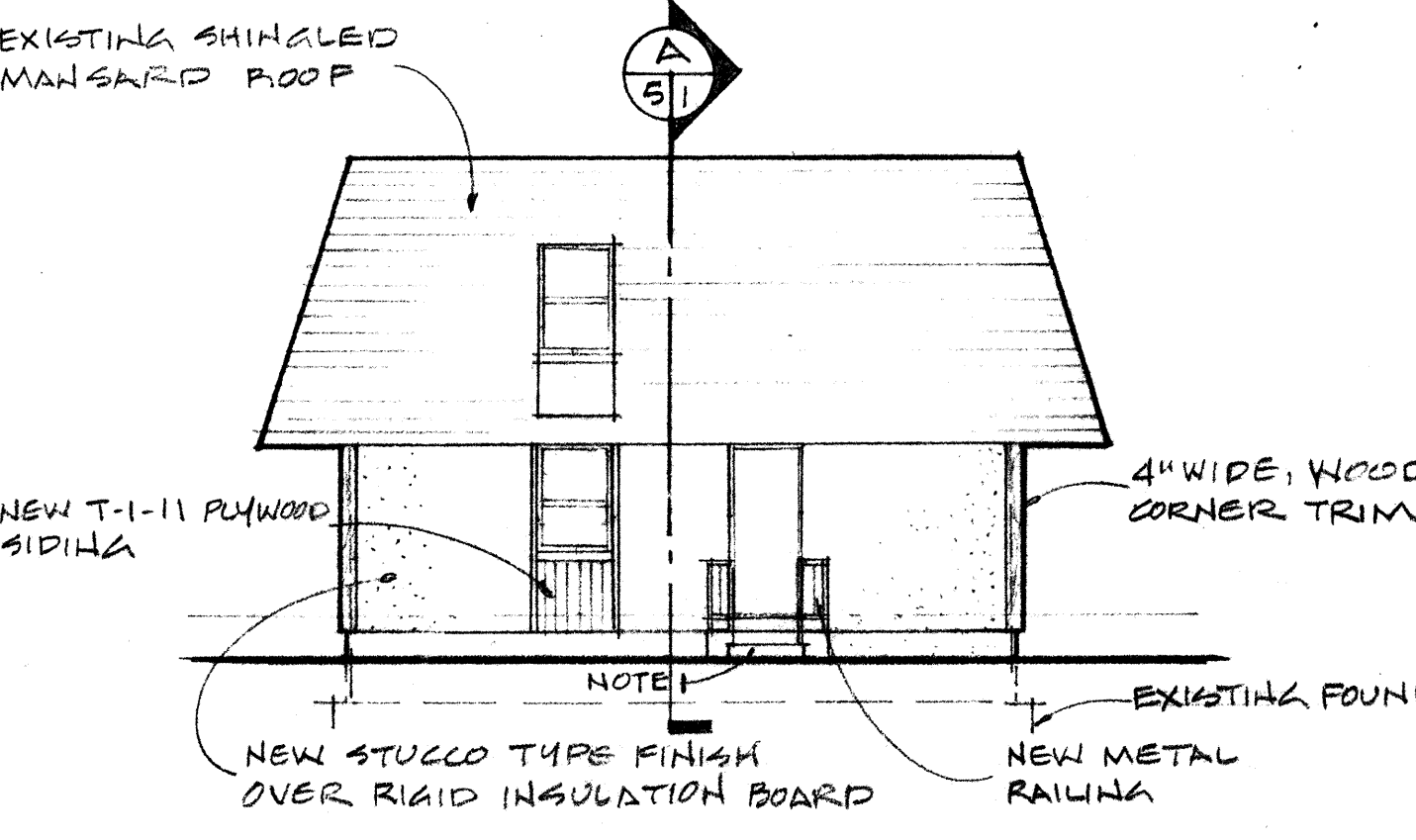
**EXIST AIR VENT**  
SCALE: 3"=1'-0"



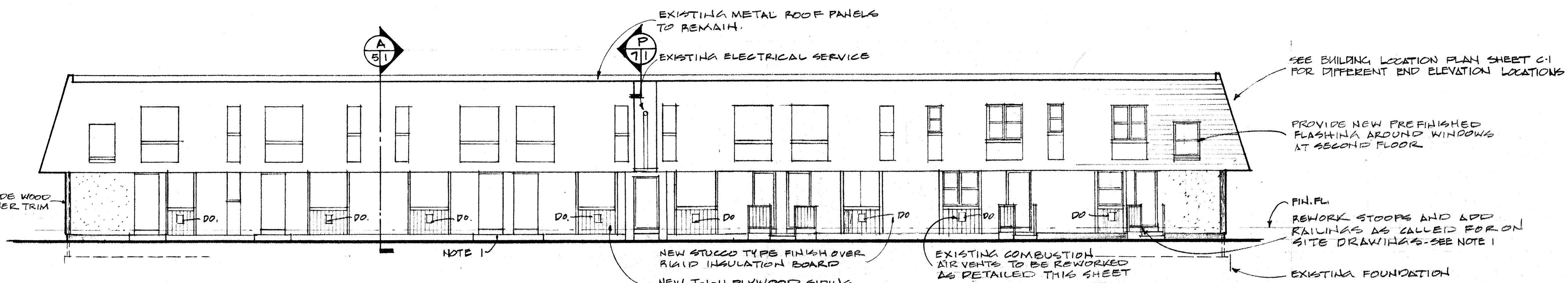
**NEW AIR SCOOP**  
NO SCALE



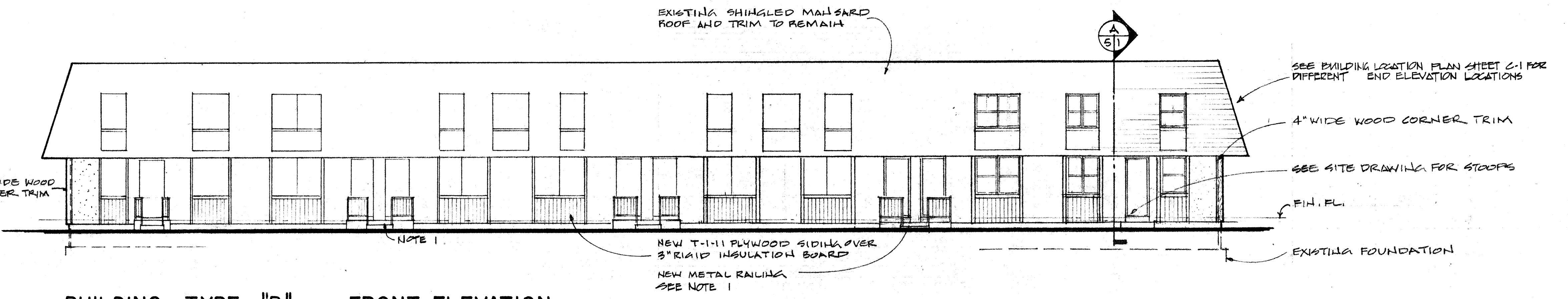
**A END ELEVATION (typical)**  
SCALE: 1/8"=1'-0" (SEE SITE DRAWINGS FOR LOCATIONS)



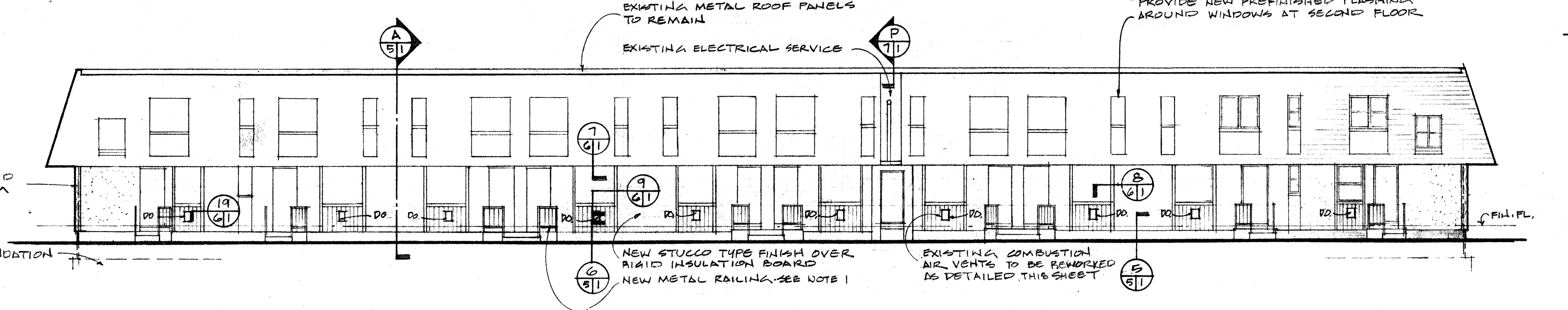
**B END ELEVATION (typical)**  
SCALE: 1/8"=1'-0" (SEE SITE DRAWINGS FOR LOCATIONS)



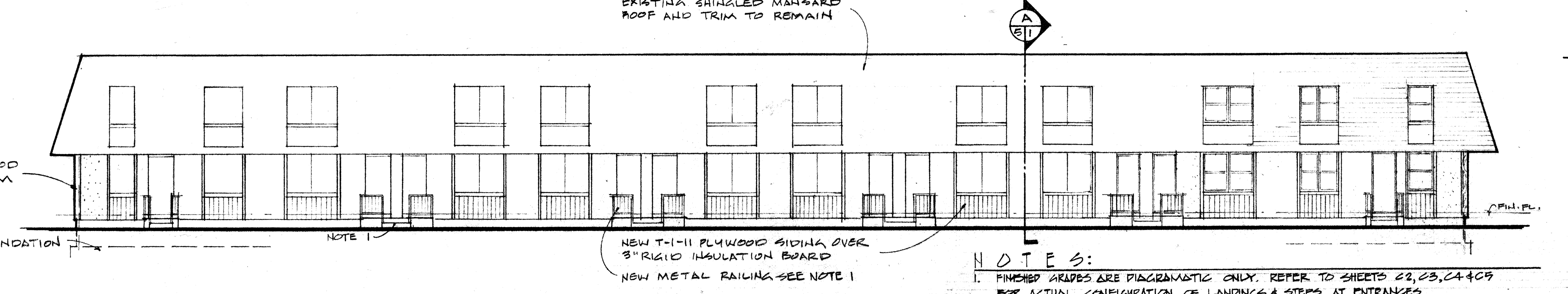
**BUILDING TYPE "B" REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**BUILDING TYPE "B" FRONT ELEVATION**  
SCALE: 1/8"=1'-0"

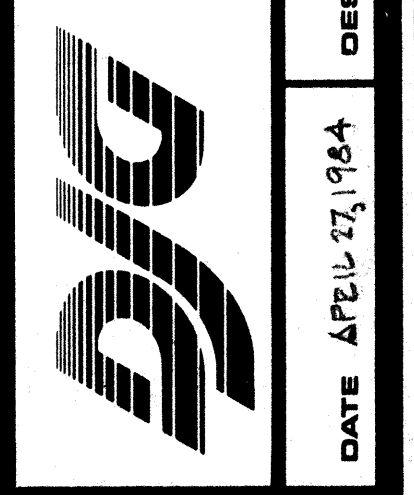
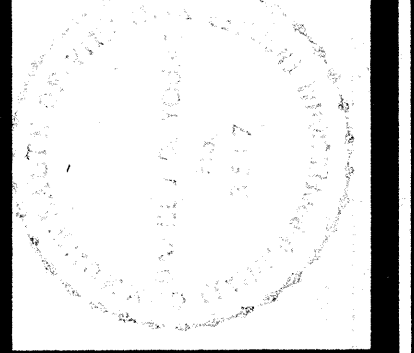


**BUILDING TYPE "A" REAR ELEVATION**  
SCALE: 1/8"=1'-0"

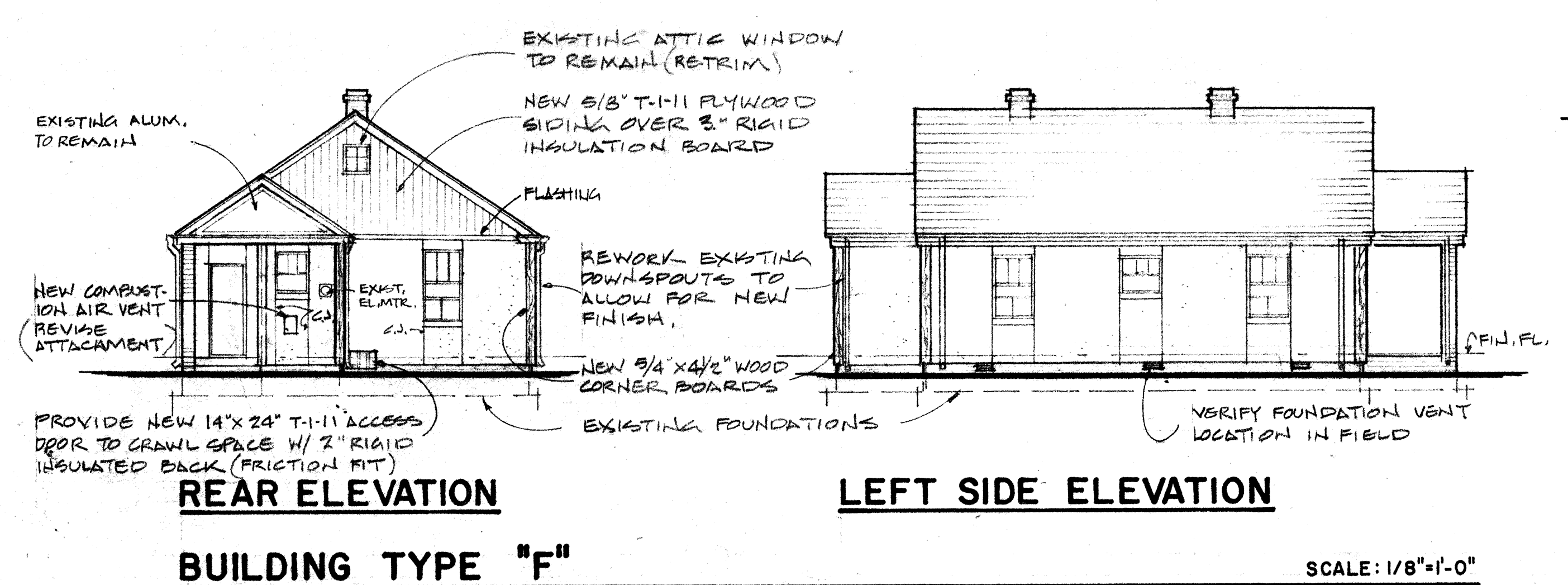
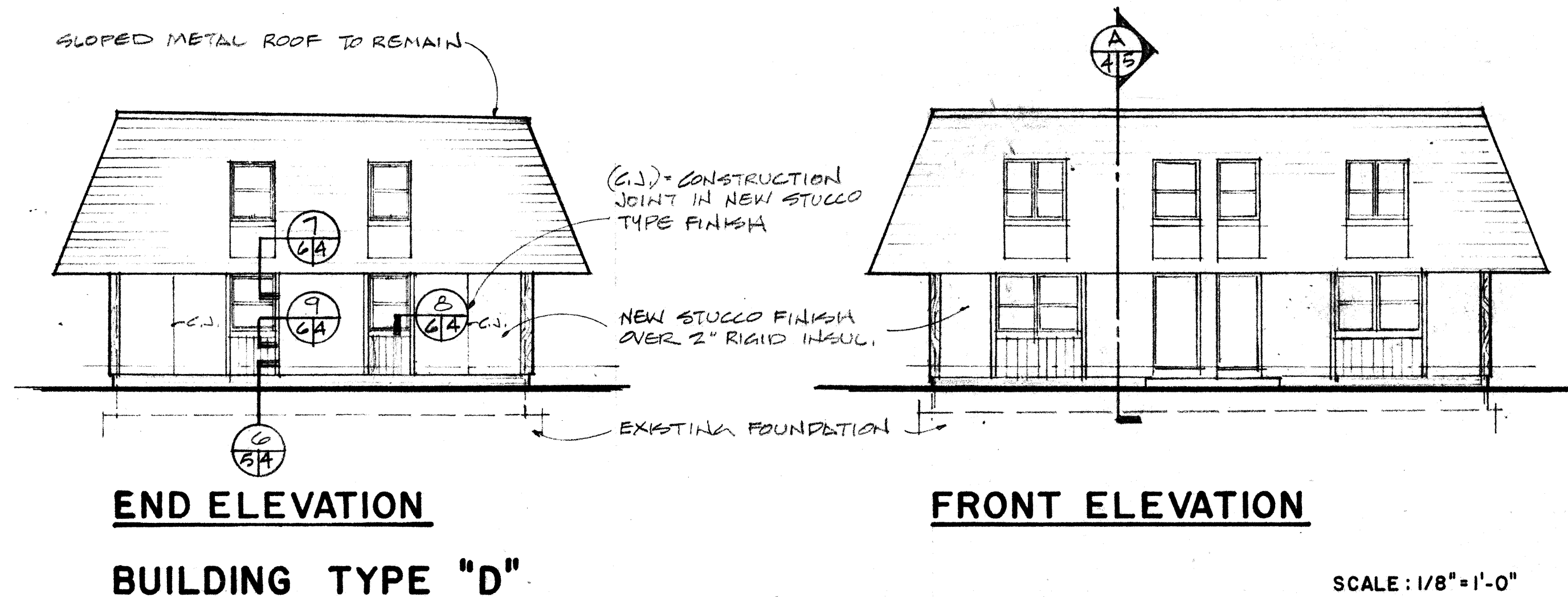
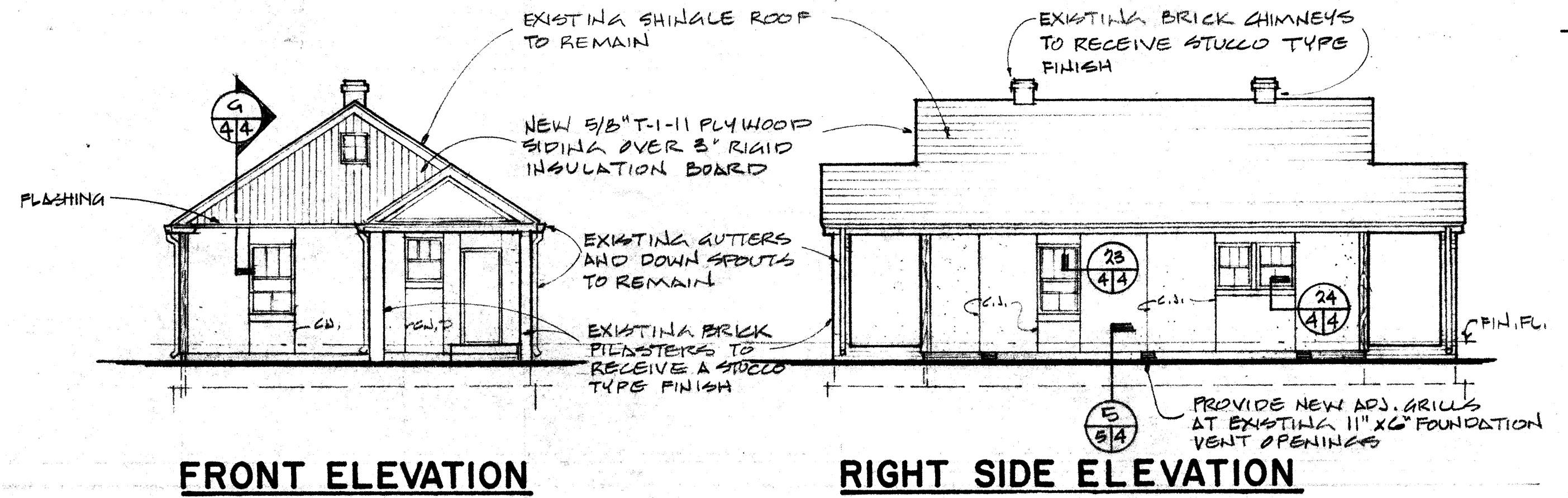
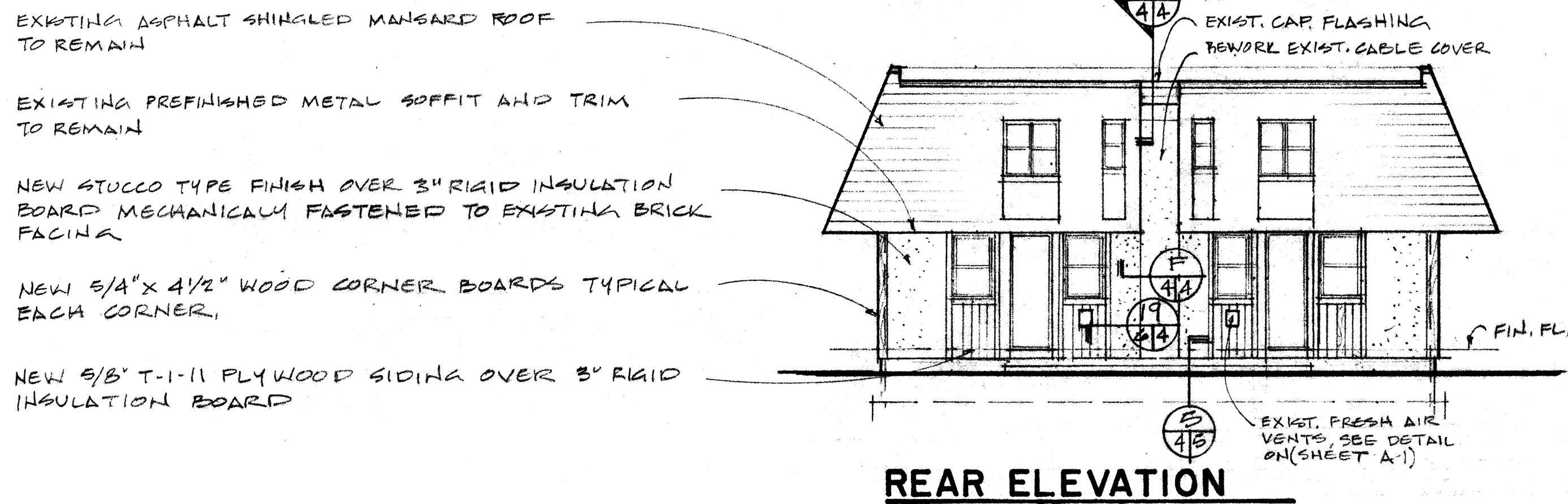
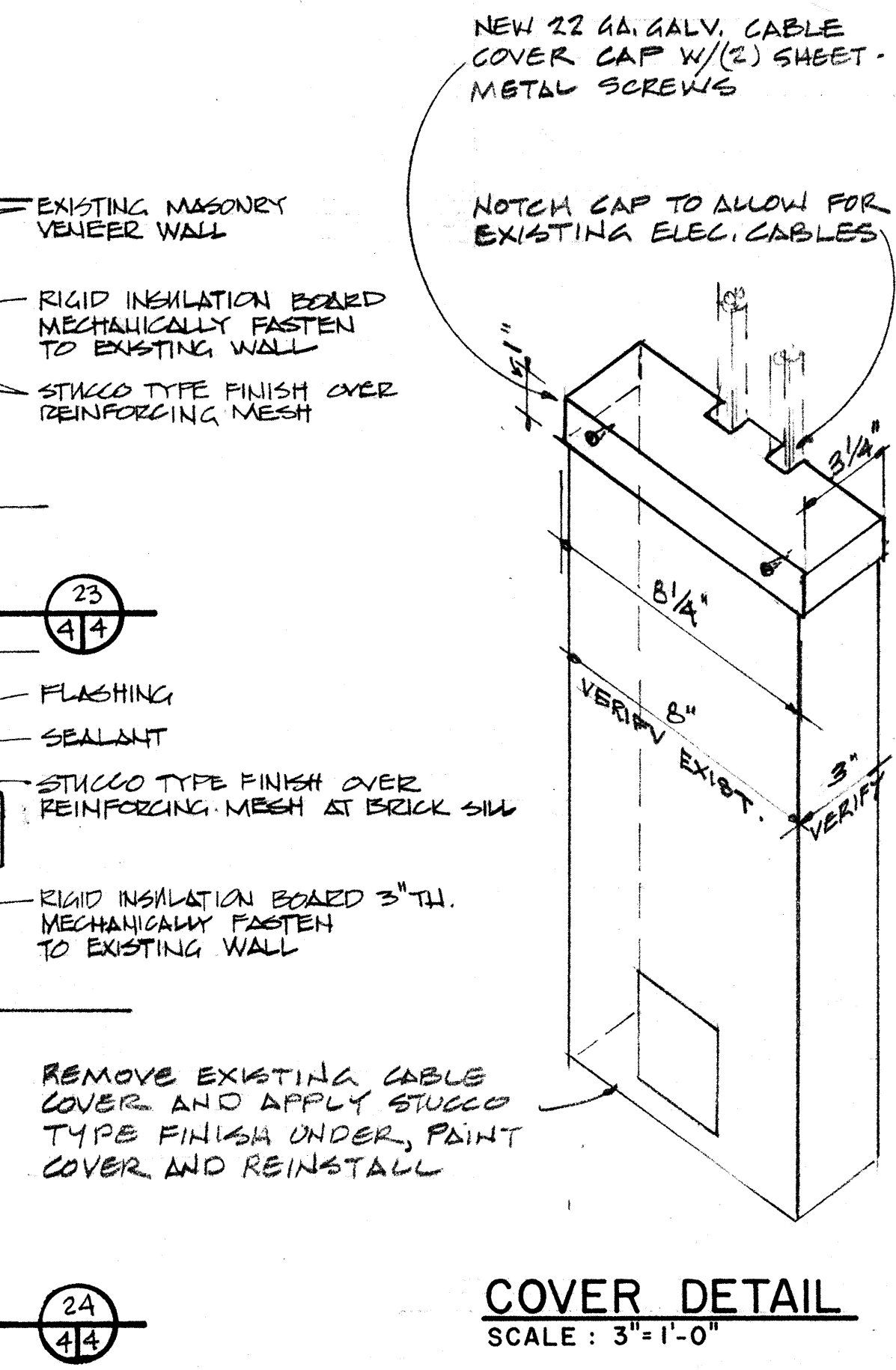
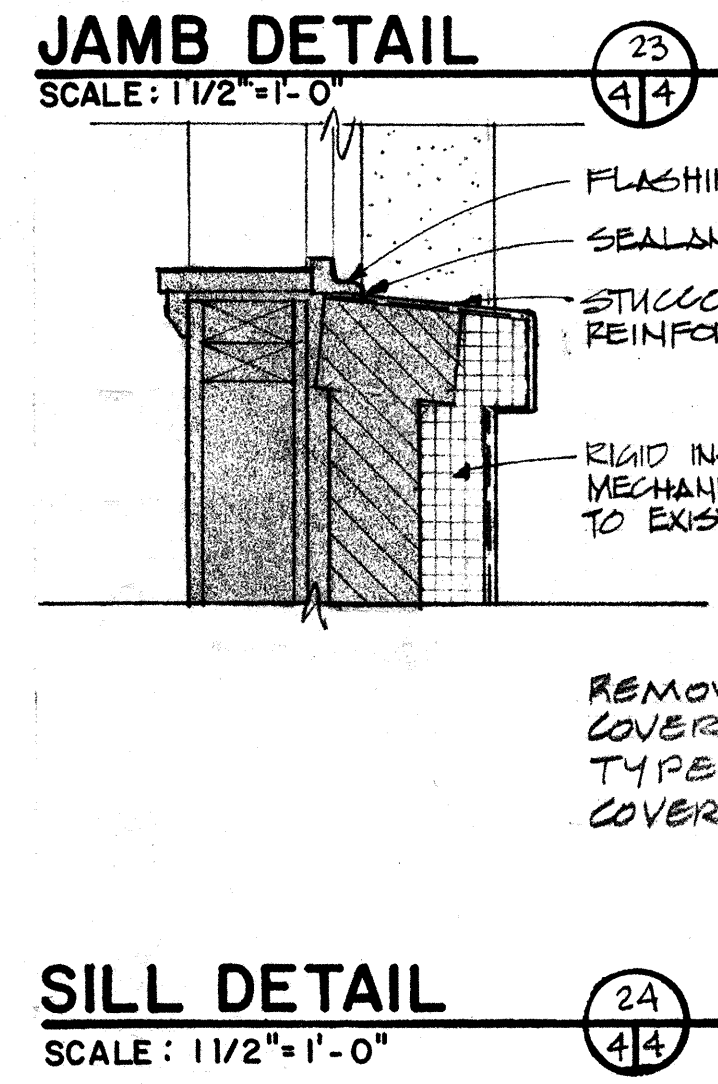
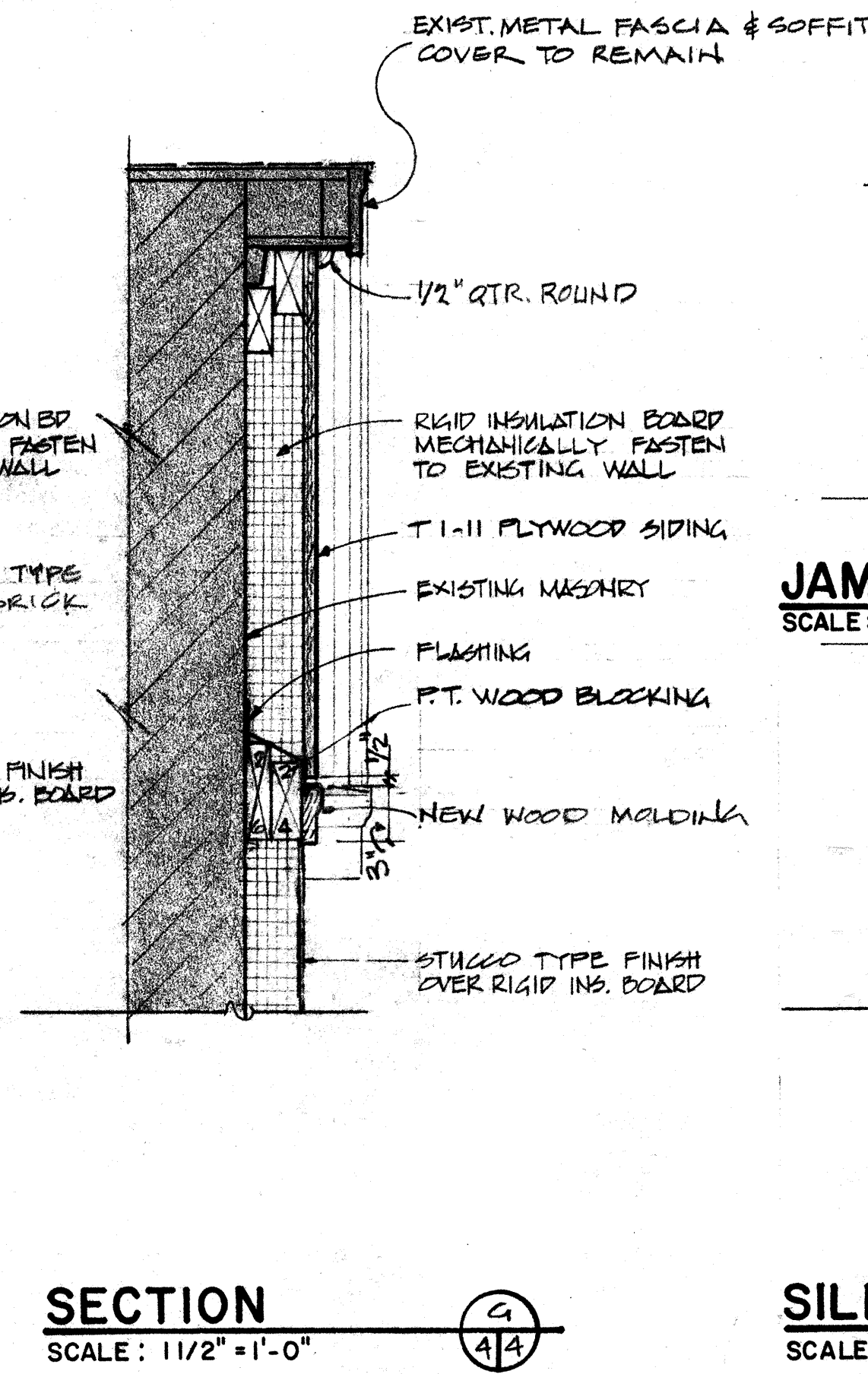
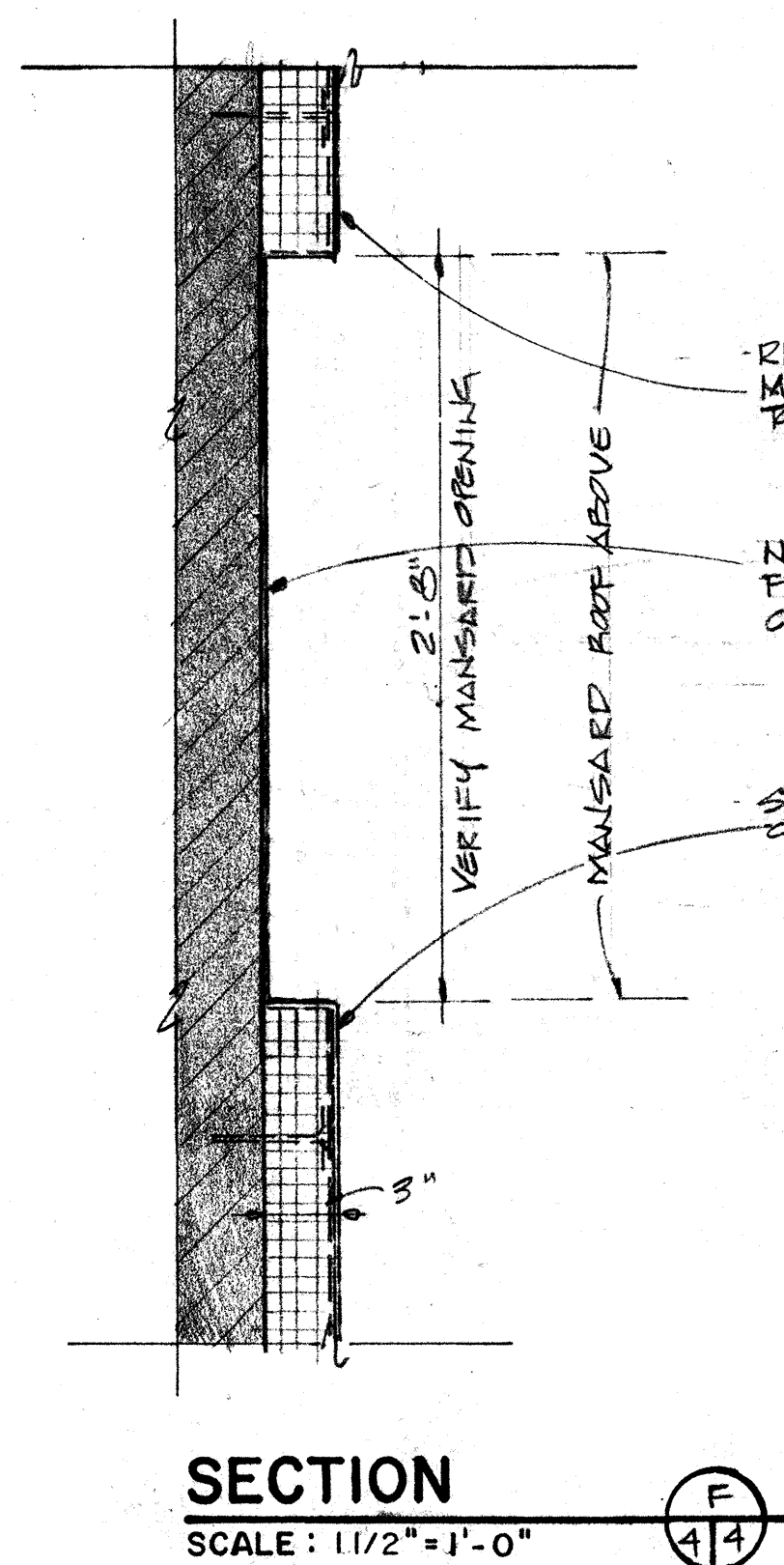
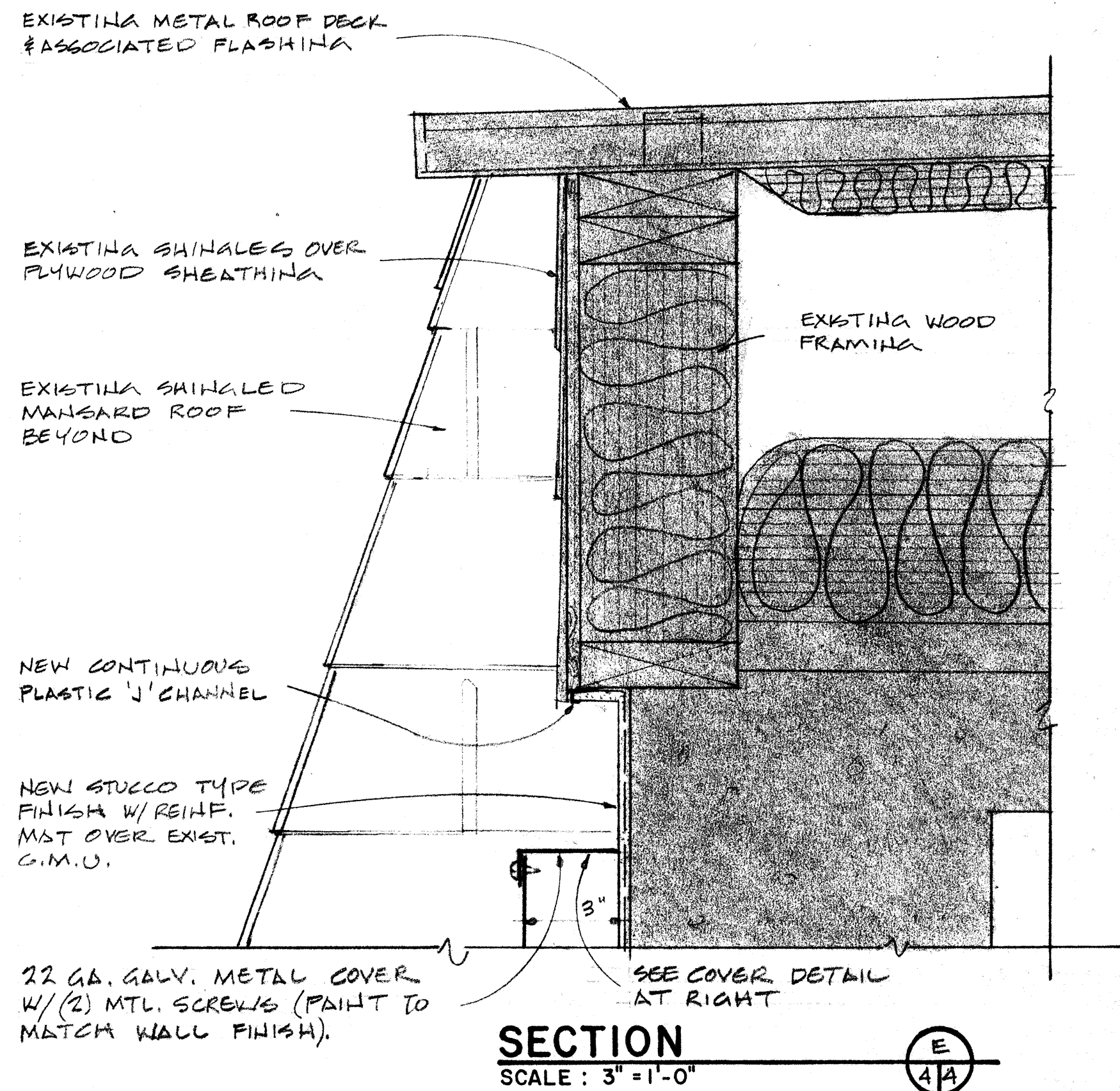


**BUILDING TYPE "A" FRONT ELEVATION**  
SCALE: 1/8"=1'-0"

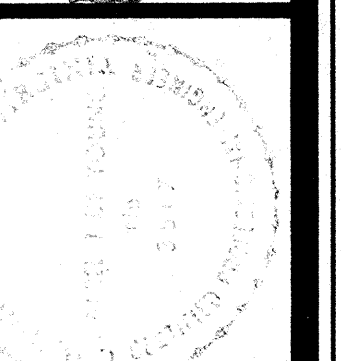
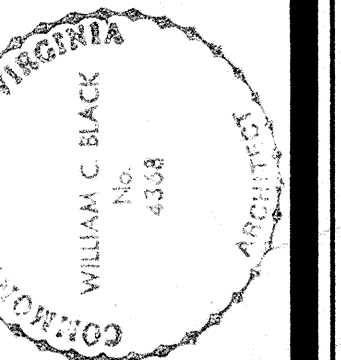
- NOTES:**
1. FINISHED GRAPES ARE DIAGNOSTIC ONLY. REFER TO SHEETS C2, C3, C4 & C5 FOR ACTUAL CONFIGURATION OF LANDINGS & STEPS AT ENTRANCES.
  2. ALL NEW WOOD NAILERS IN CONTACT WITH C.M.U. SHALL BE PRESSURE TREATED AND FASTENED W/ 1/2"  $\phi$  EXPANSION ANCHORS AT 2'-0" O/C MAXIMUM.
  3. SEE NOTE ON SHEET A-7 "COTTAGE METER COVER" FOR NEW LOCATION OF APARTMENT NUMBERS.
  4. EASE ALL EXPOSED EDGES OF WOOD TRIM TO PREVENT EXCESSIVE SPLINTERING.



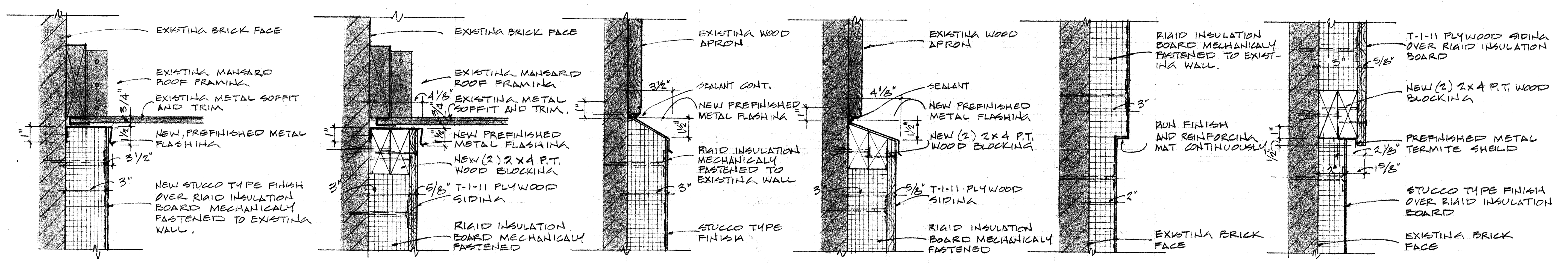




NOTE: EXISTING GALVANIZED METAL ITEMS REQUIRING REFINISHING SHALL BE STRIPED OF THEIR ORIGINAL FINISH AND PREPARED FOR NEW FINISH AS SPECIFIED IN SECTION 0900-PAINTING OF THESE SPECIFICATIONS.







DETAIL 1  
SCALE: 3"=1'-0"

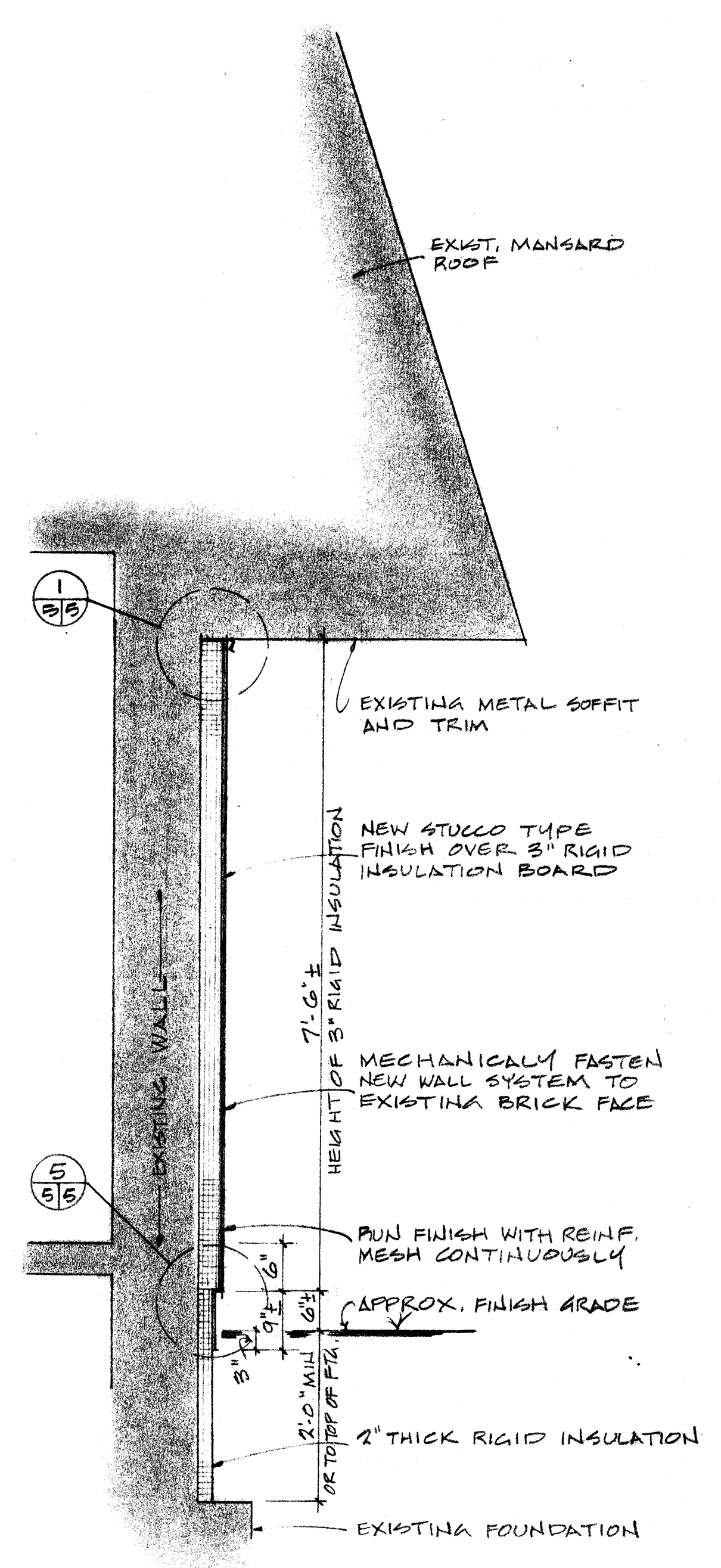
DETAIL 2  
SCALE: 3"=1'-0"

DETAIL 3  
SCALE: 3"=1'-0"

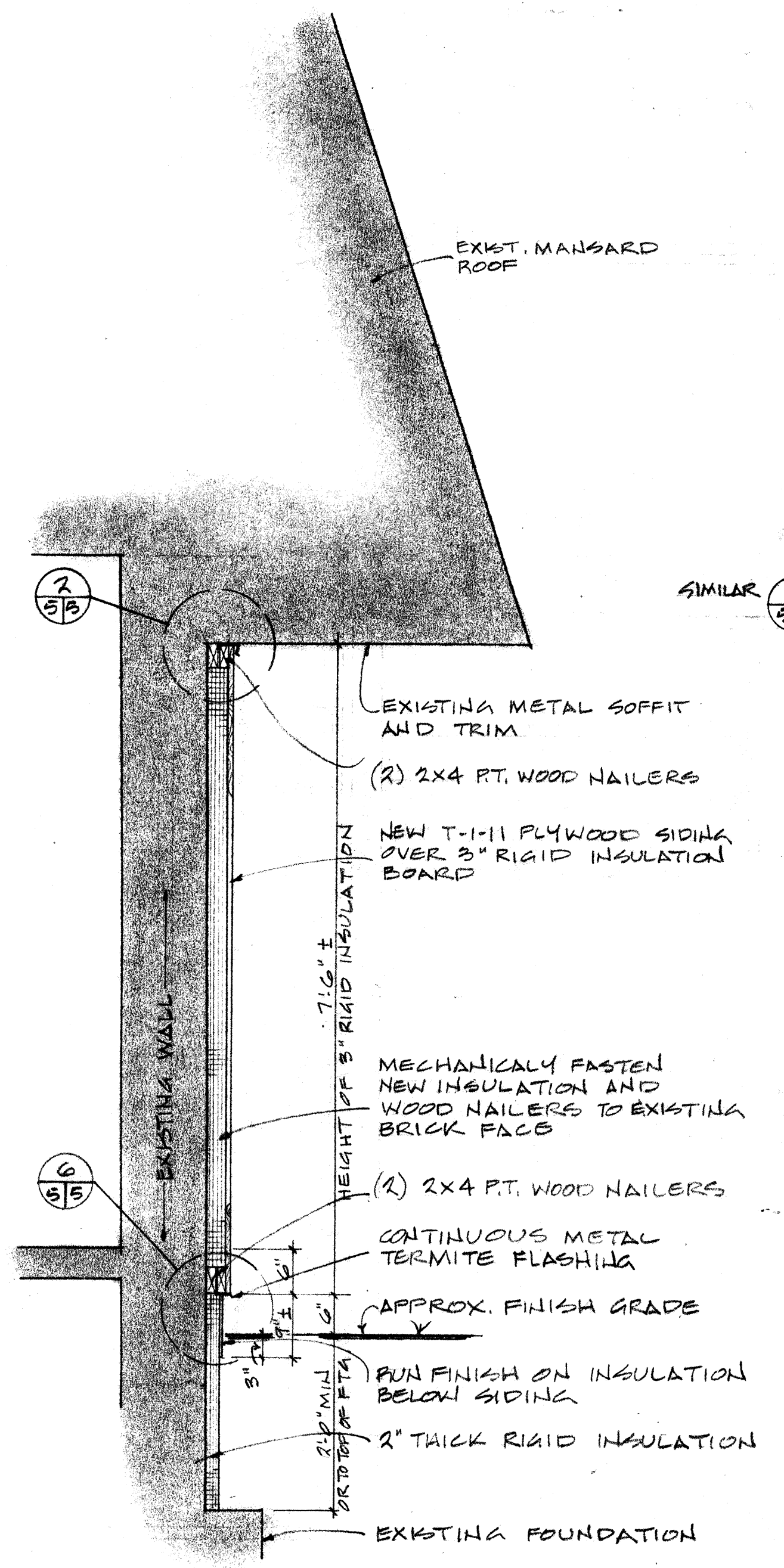
DETAIL 4  
SCALE: 3"=1'-0"

DETAIL 5  
SCALE: 3"=1'-0"

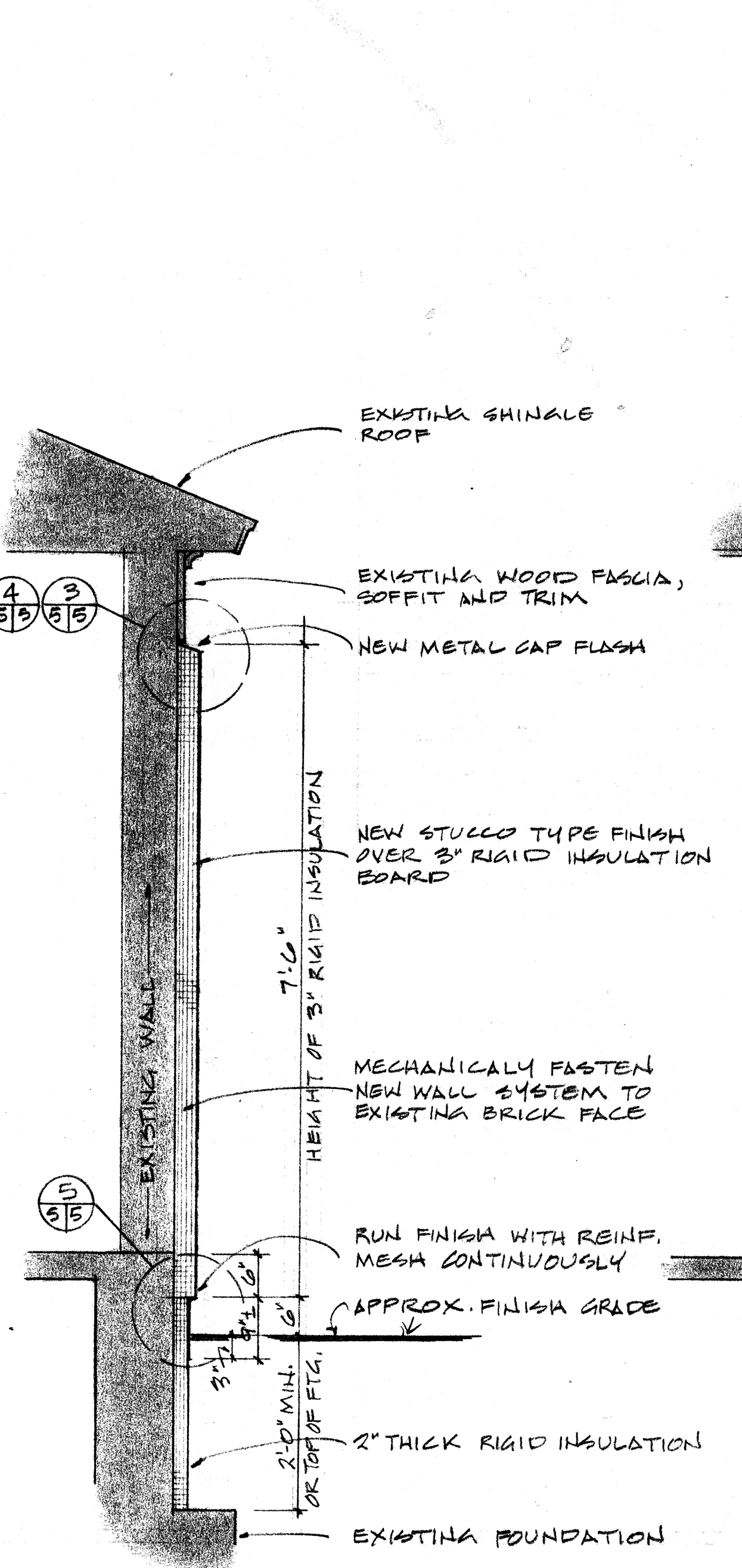
DETAIL 6  
SCALE: 3"=1'-0"



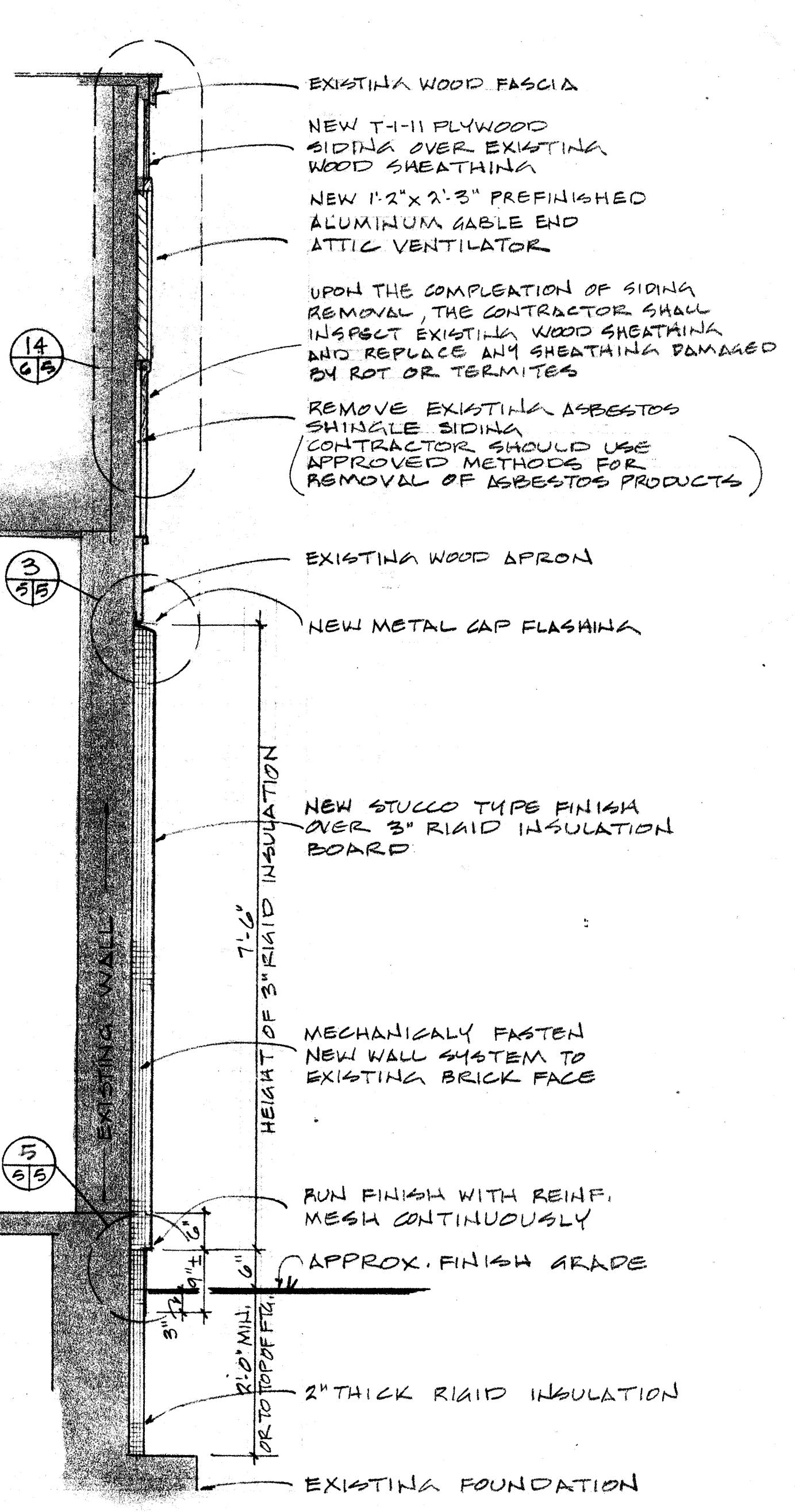
SECTION A  
SCALE: 3/4"=1'-0"



SECTION B  
SCALE: 3/4"=1'-0"

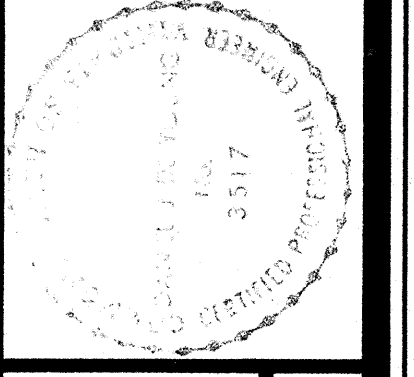


SECTION C  
SCALE: 3/4"=1'-0"



SECTION D  
SCALE: 3/4"=1'-0"

MARSHALL COURTS - WALL SECTIONS & DETAILS  
STRUCTURAL RENOVATIONS/MARSHALL COURTS & ORCUTT HOMES  
PHASE II  
NEWPORT NEWS REDEVELOPMENT & HOUSING AUTHORITY  
NEWPORT NEWS VIRGINIA



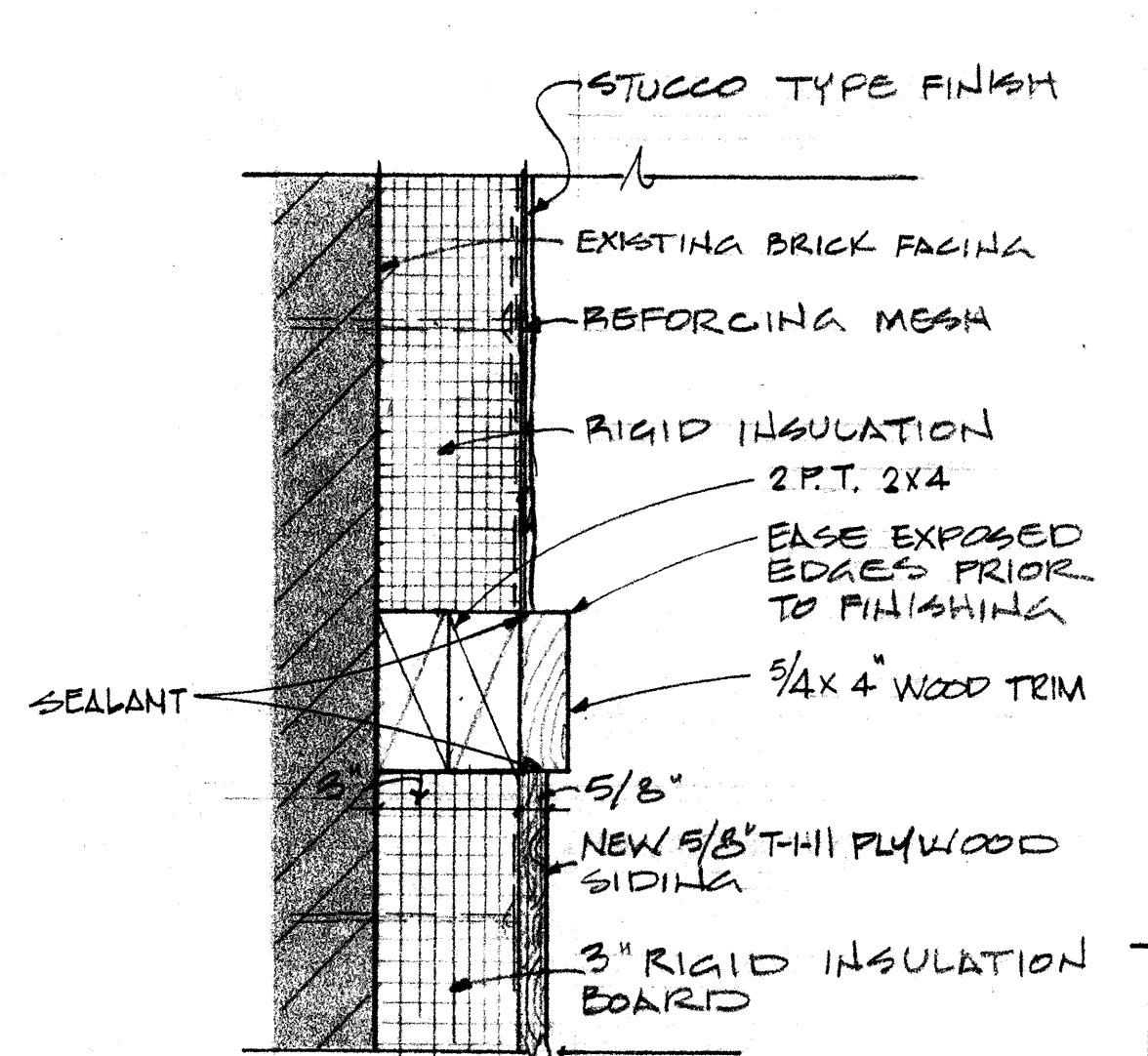
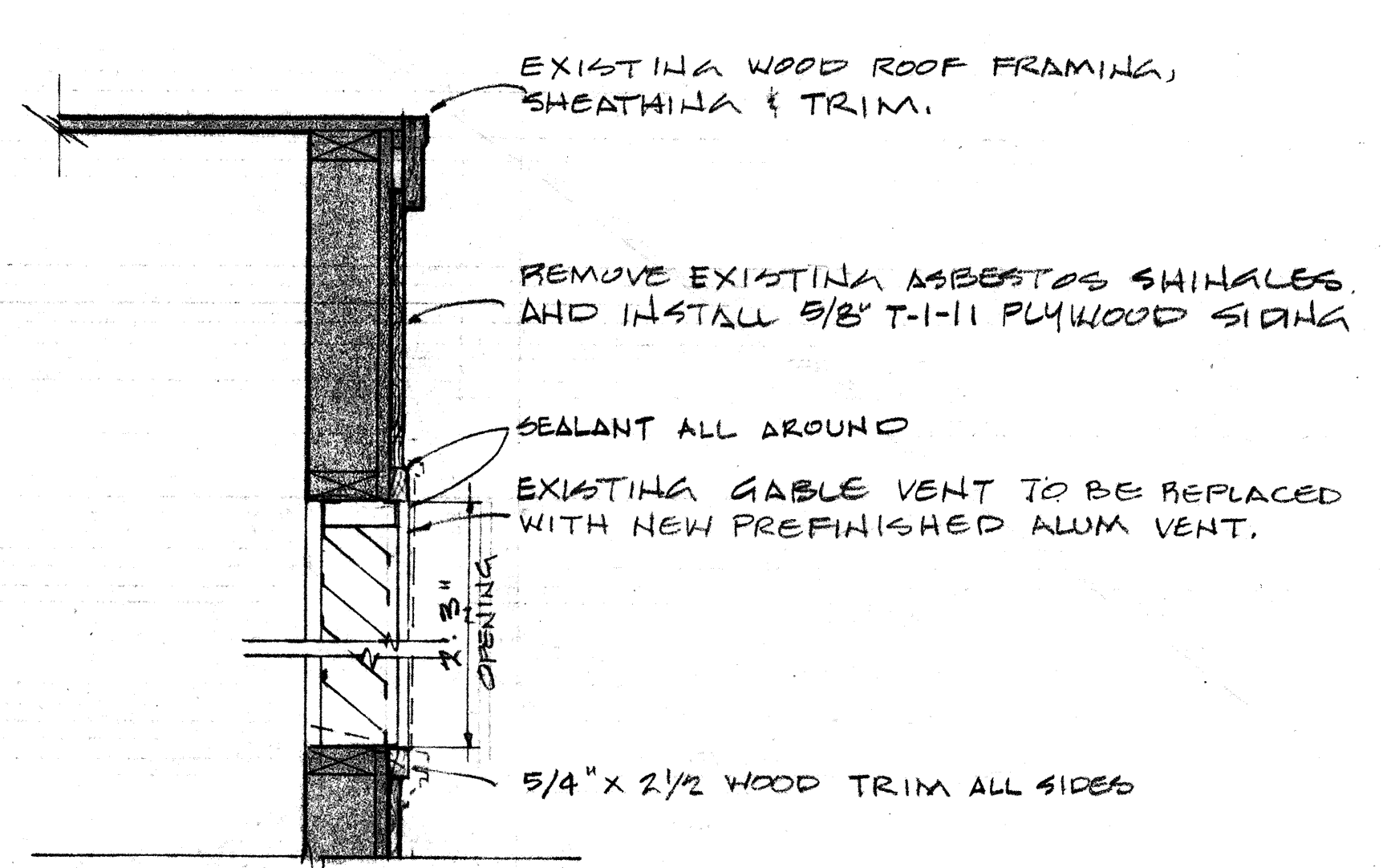
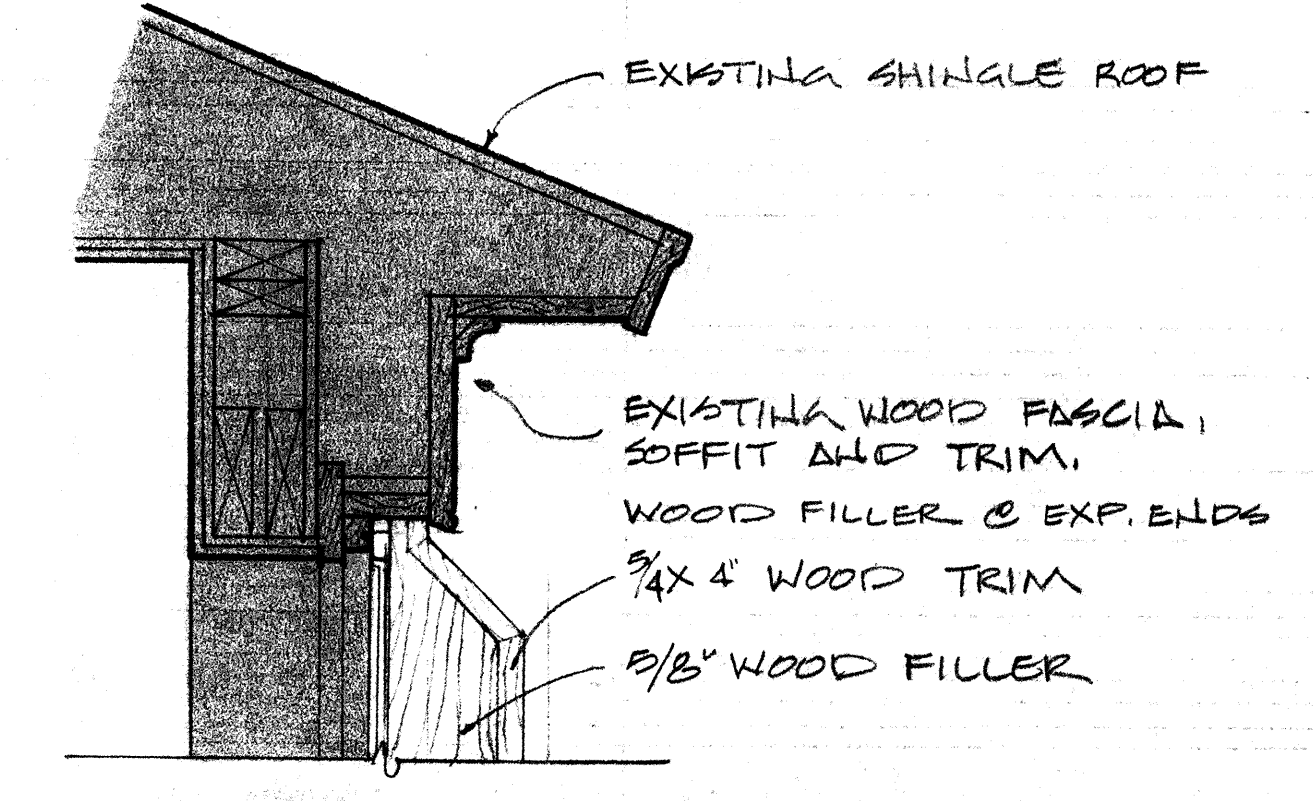
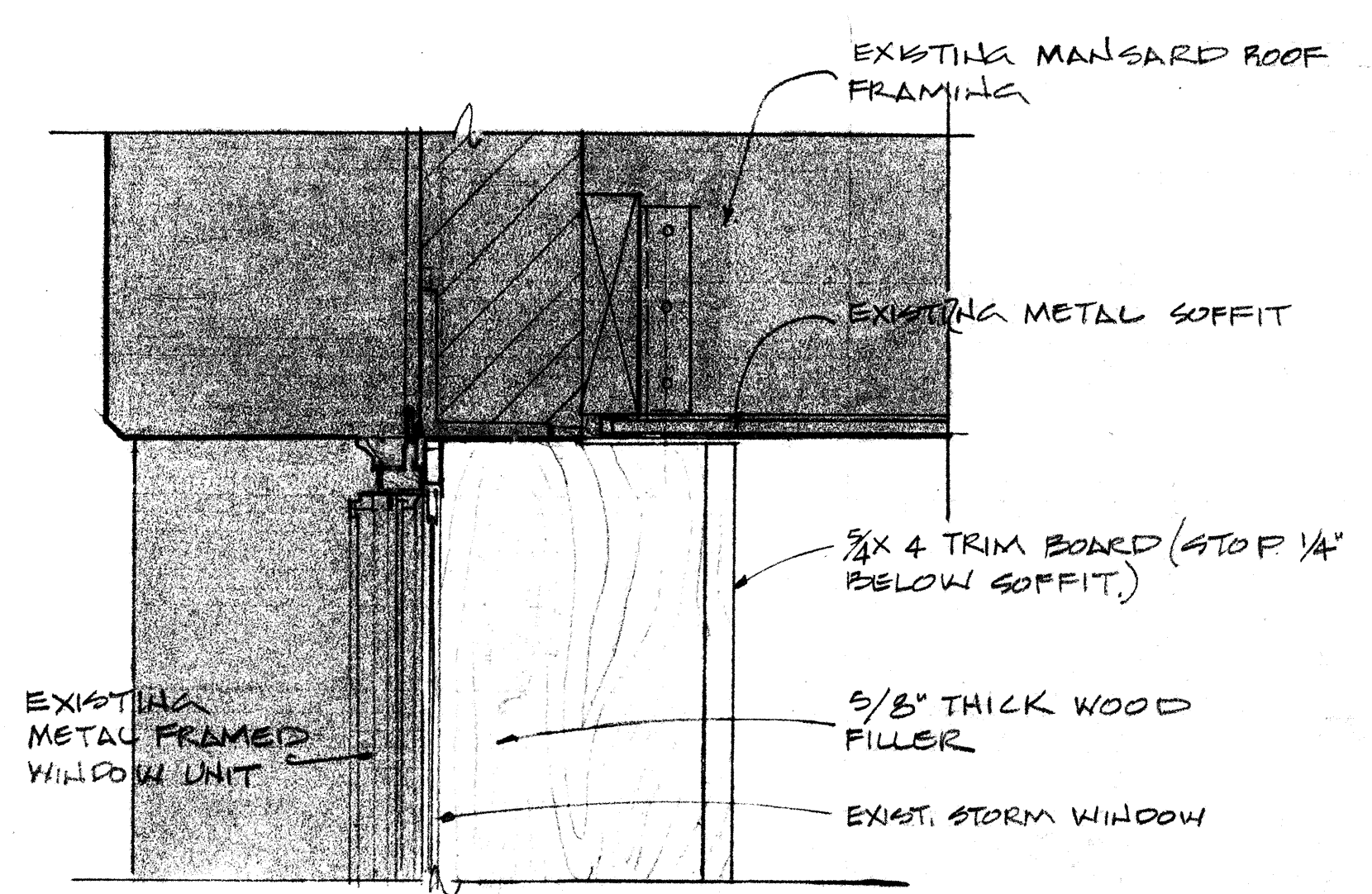
THE DEYOUNG-JOHNSON GROUP, INC.  
ENGINEERS - ARCHITECTS - SURVEYORS  
P.O. BOX 197 WILLIAMSBURG, VIRGINIA 23187 (804) 253-0673  
DATE: APRIL 27, 1984  
DESIGNED: J.J.C.  
DRAWN: J.J.C.  
CHECKED: W.C.B.



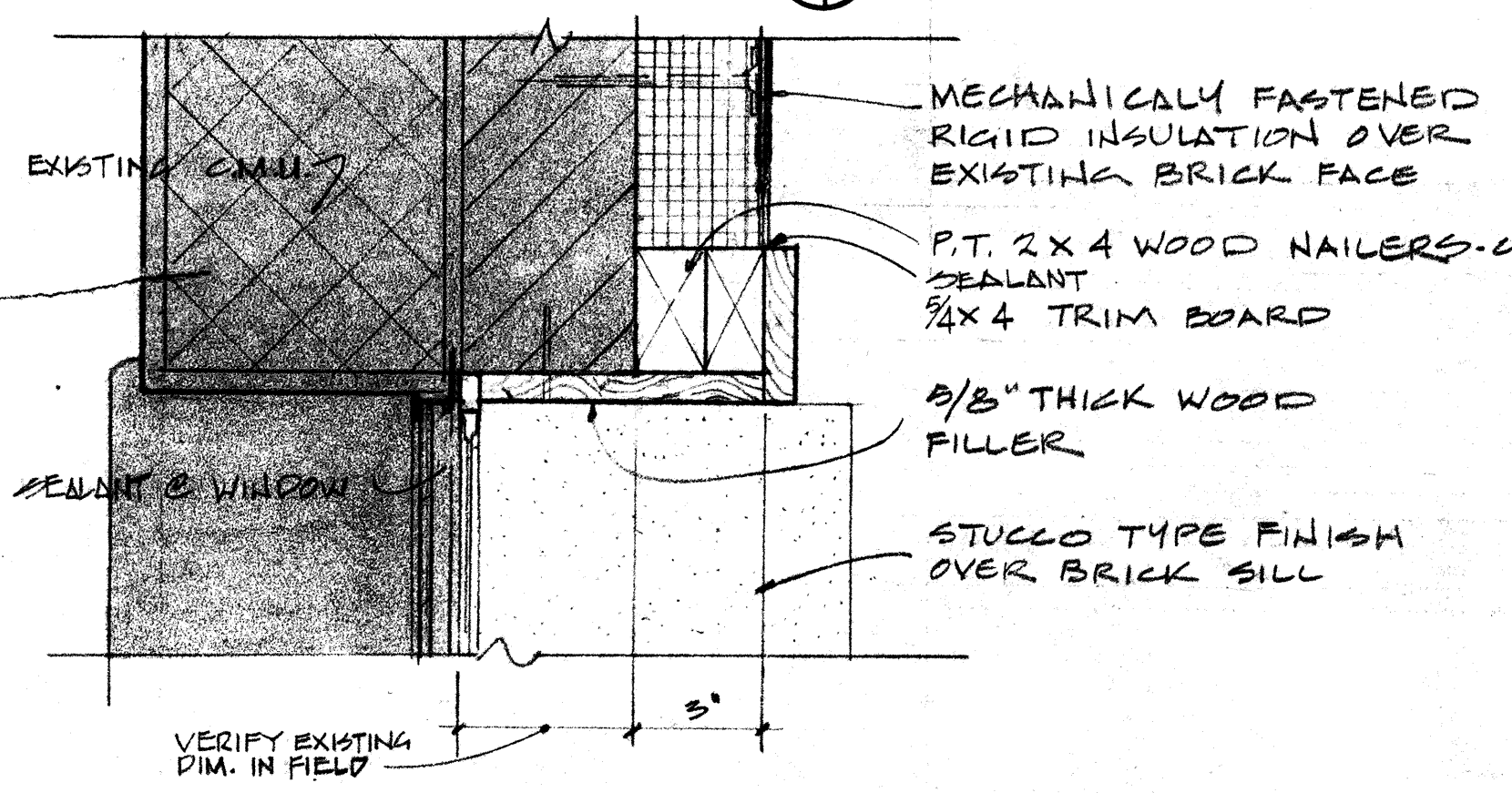
83-62

A-5  
11 OF 27

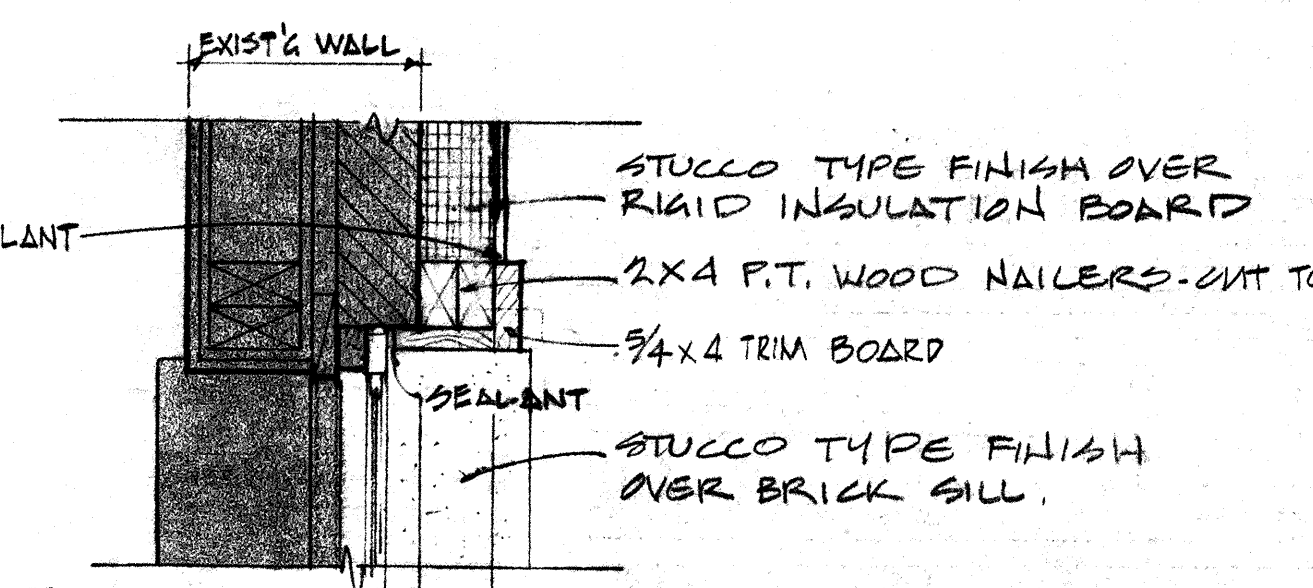




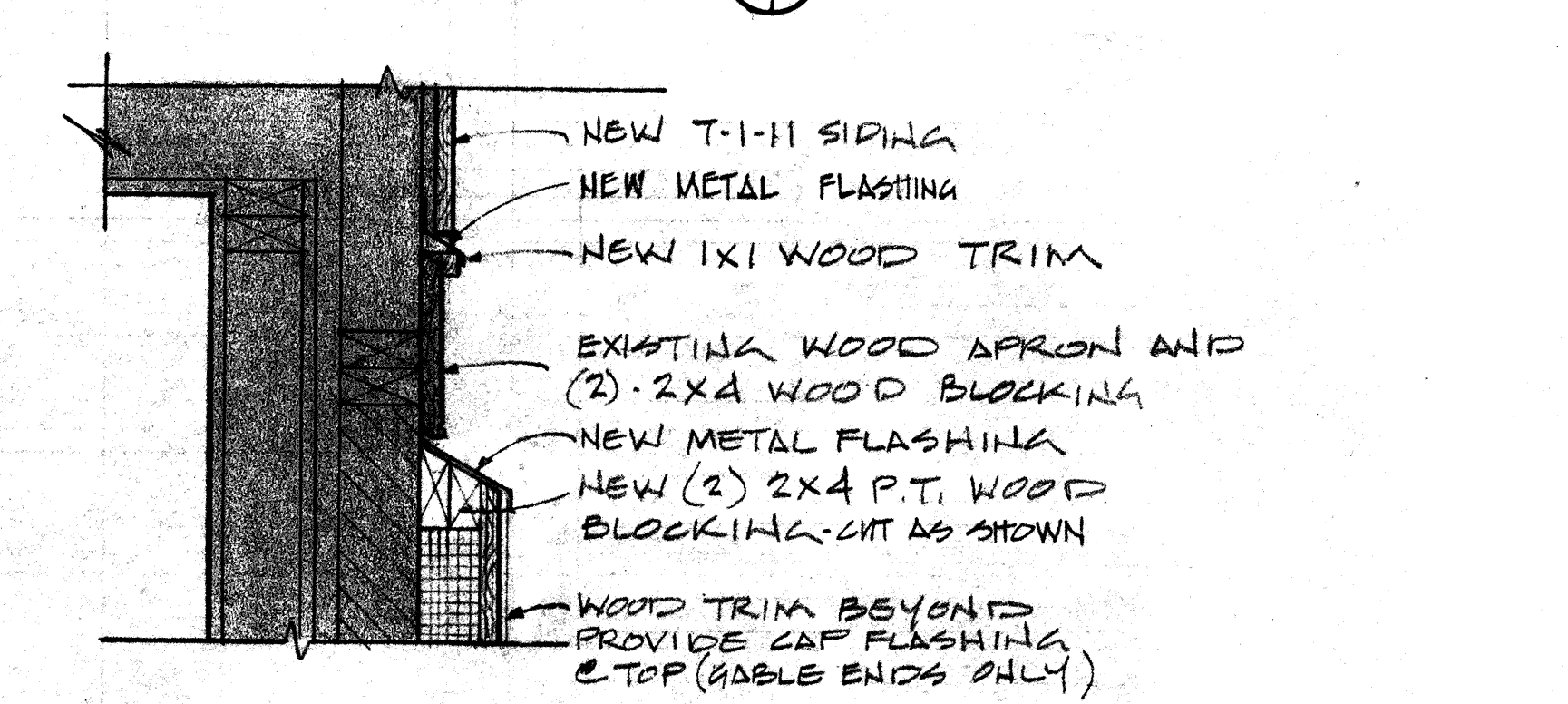
**HEAD DETAIL**  
SCALE: 3"=1'-0"



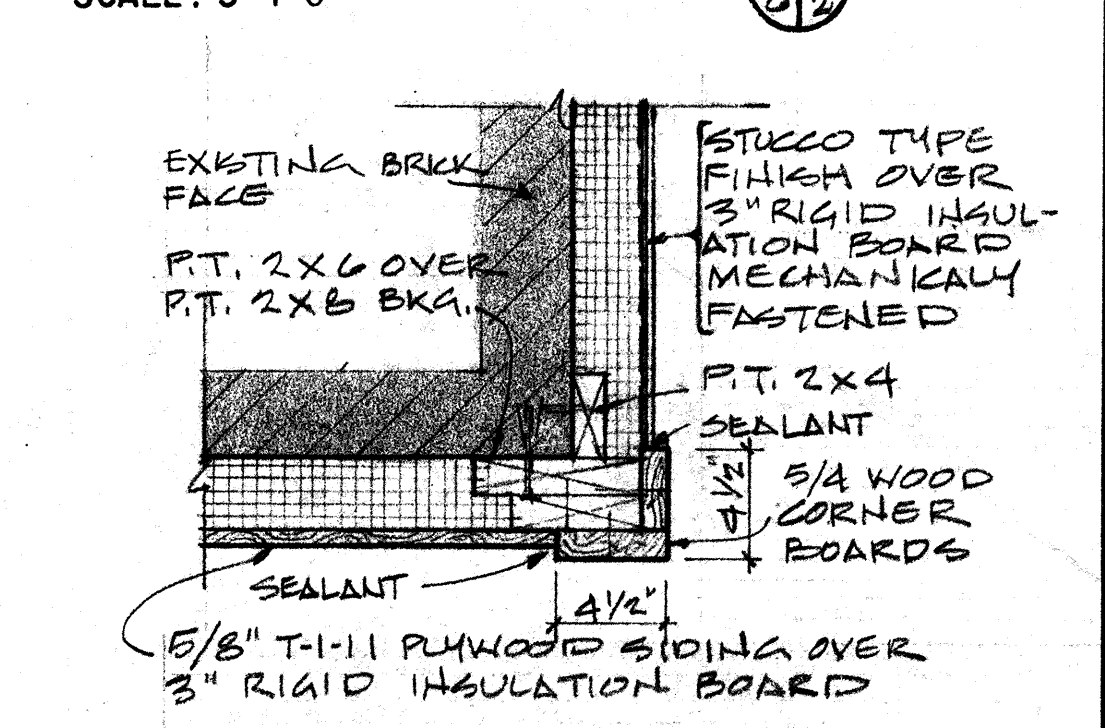
**HEAD DETAIL**  
SCALE: 1 1/2"=1'-0"



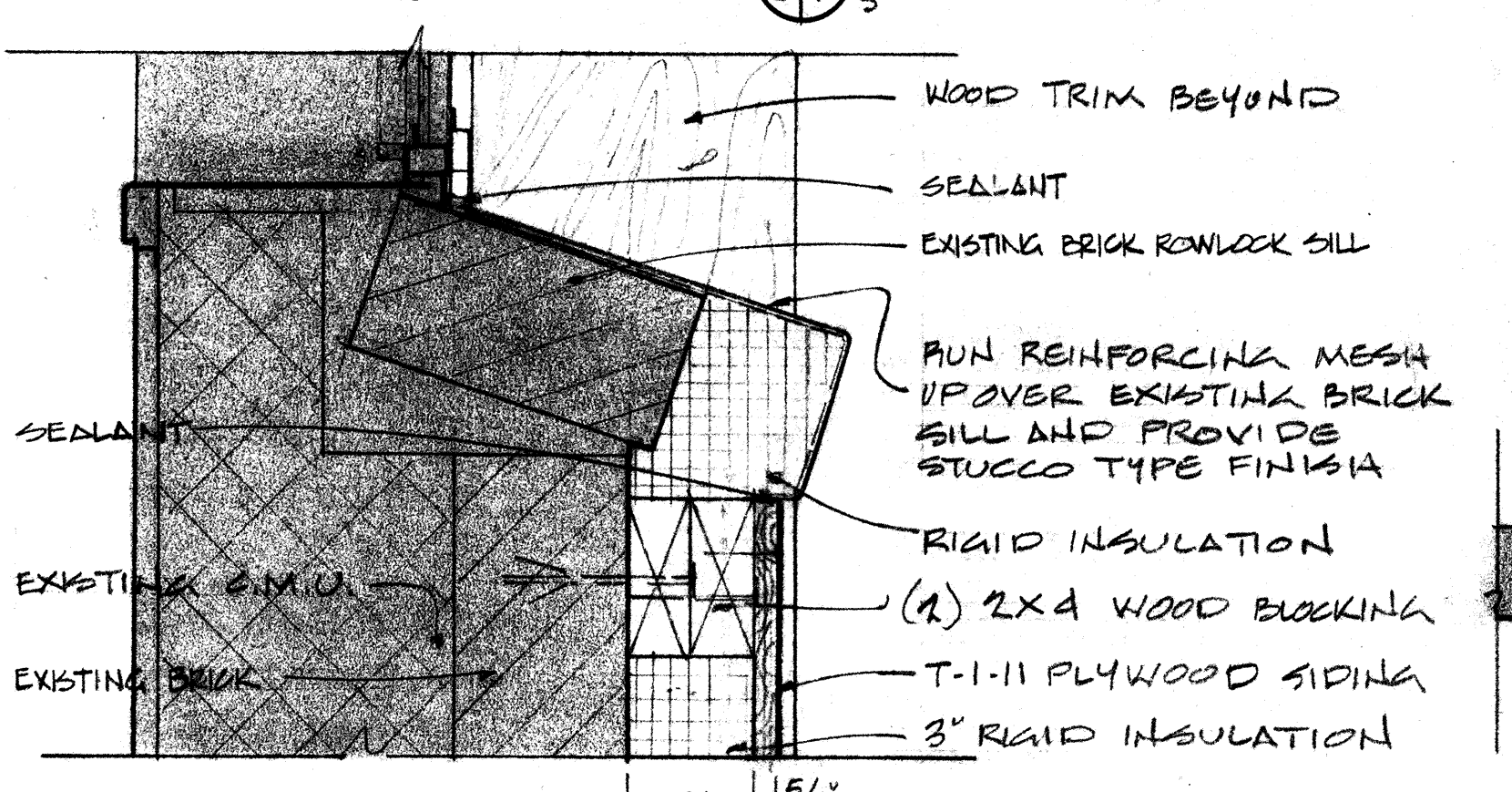
**GABLE DETAIL**  
SCALE: 1 1/2"=1'-0"



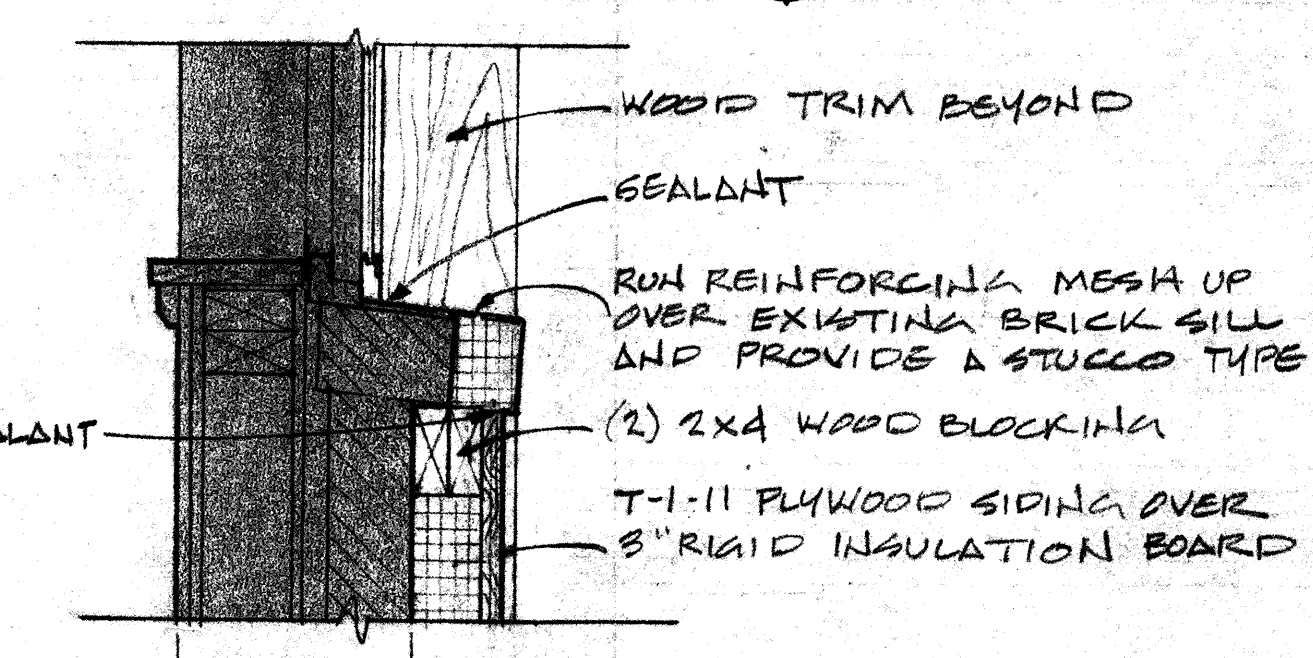
**JAMB DETAIL**  
SCALE: 3"=1'-0"



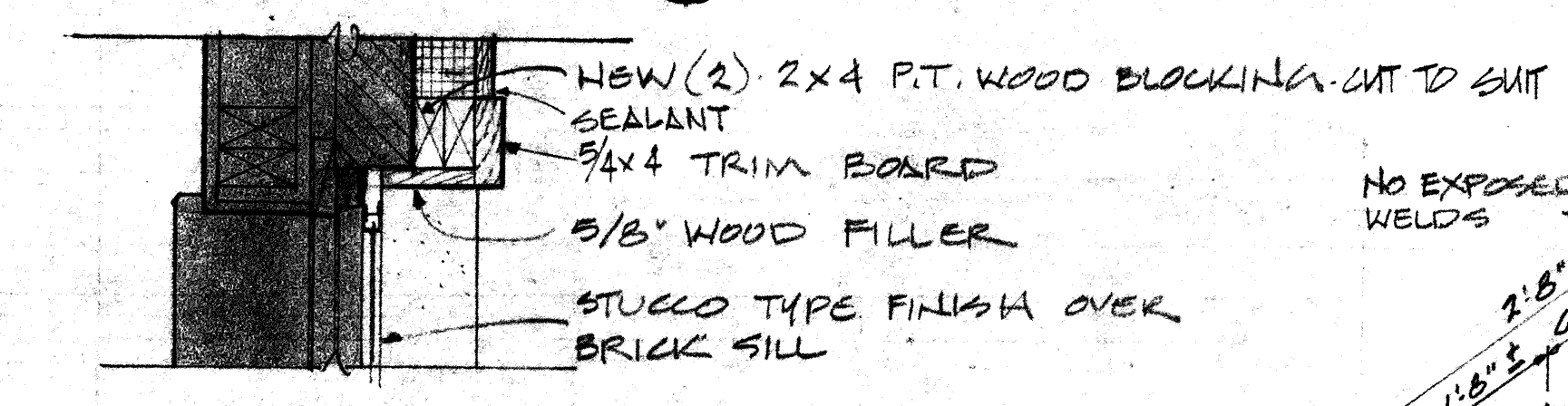
**JAMB DETAIL**  
SCALE: 3"=1'-0"



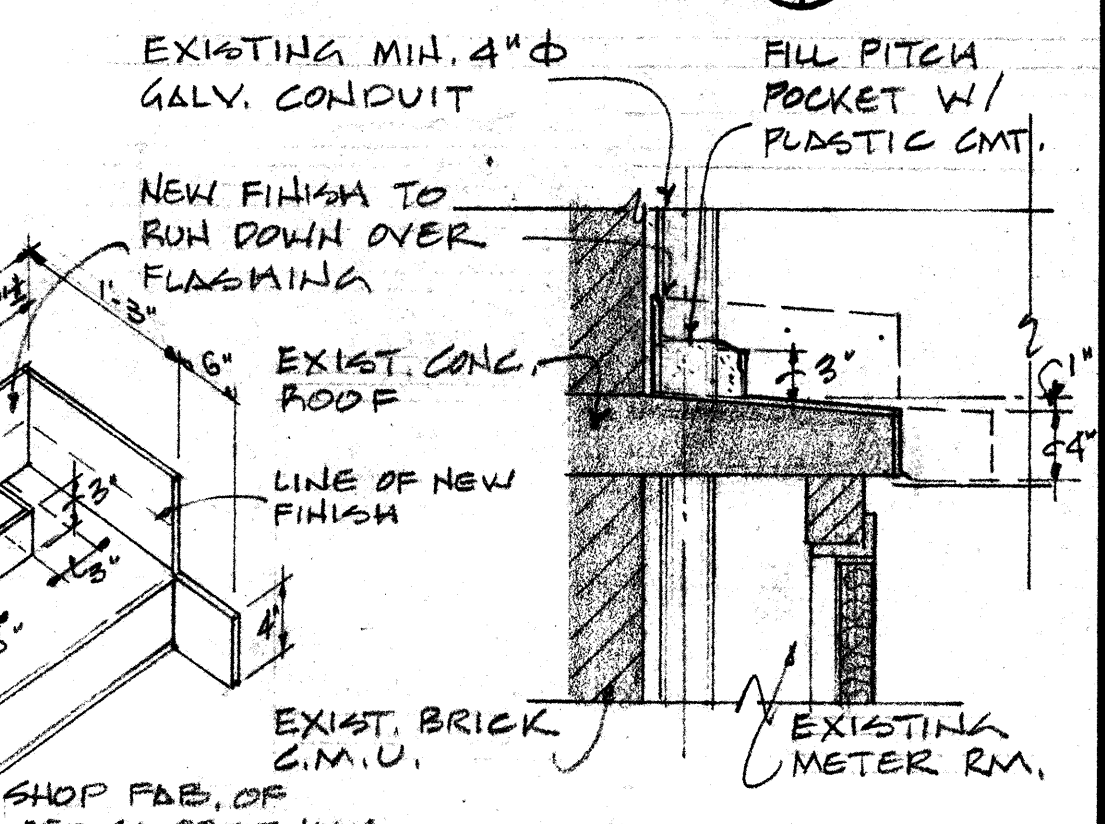
**JAMB DETAIL**  
SCALE: 1 1/2"=1'-0"



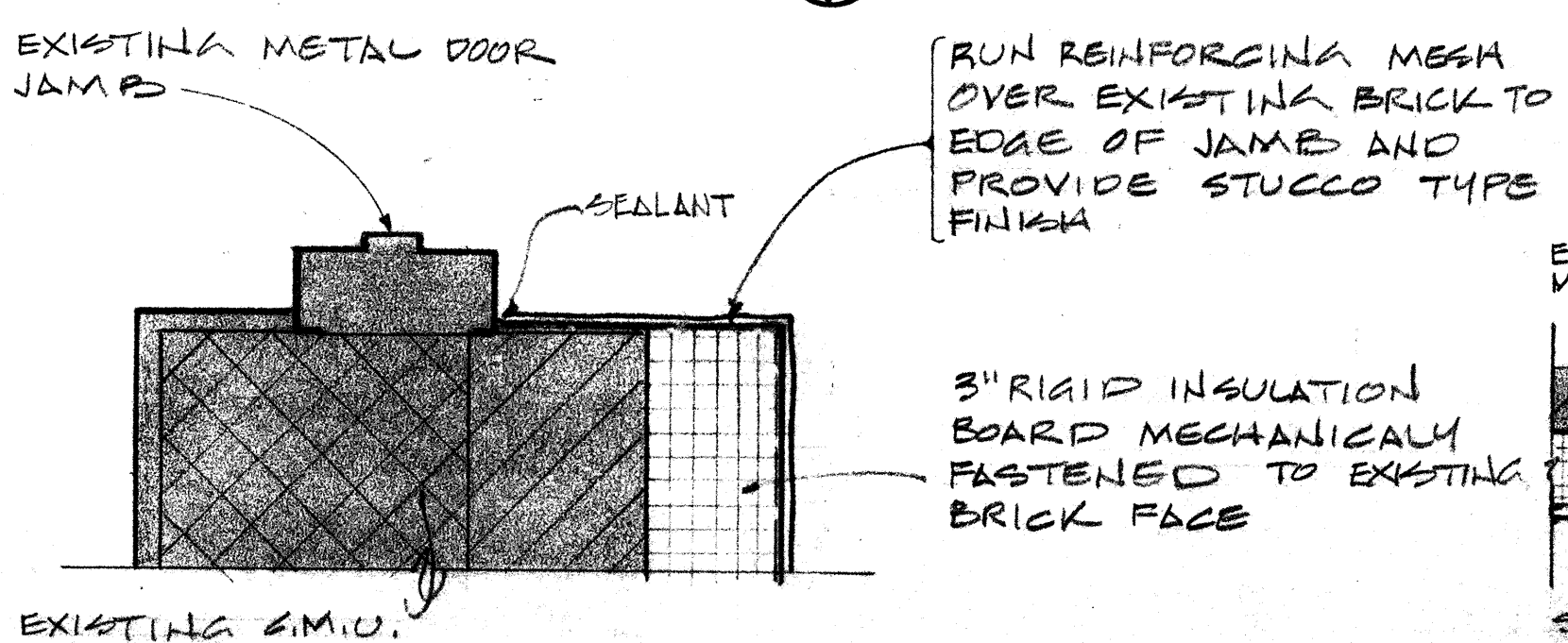
**DETAIL**  
SCALE: 1 1/2"=1'-0"



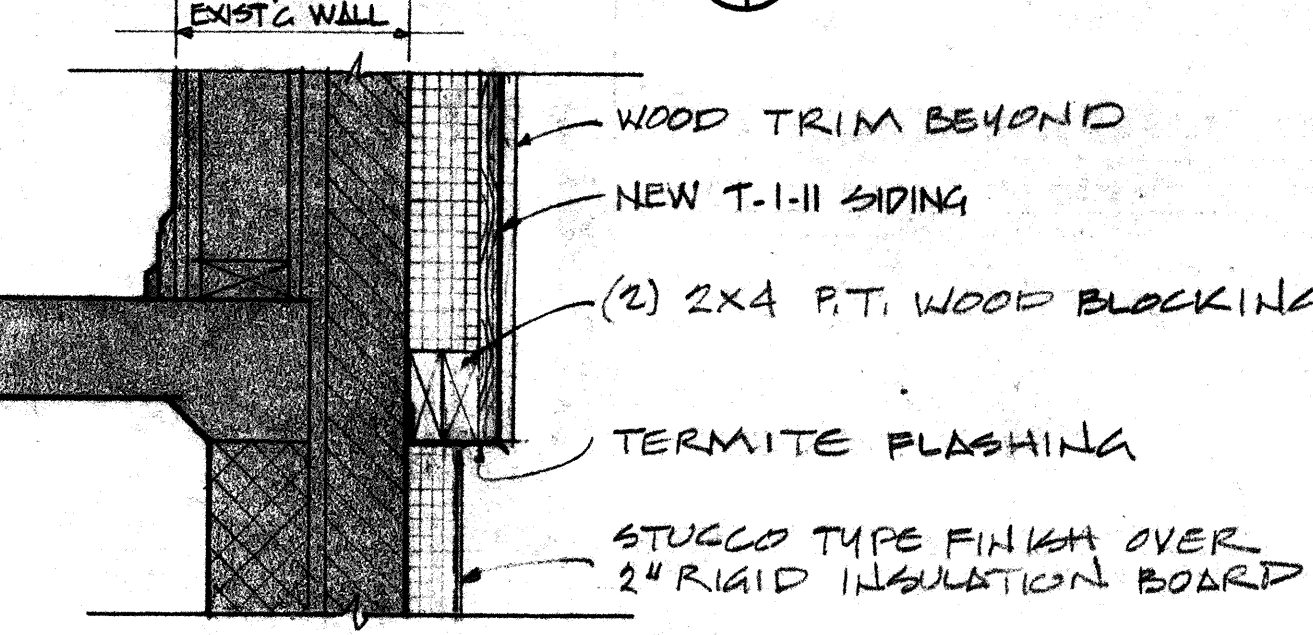
**CORNER DETAIL**  
SCALE: 1 1/2"=1'-0"



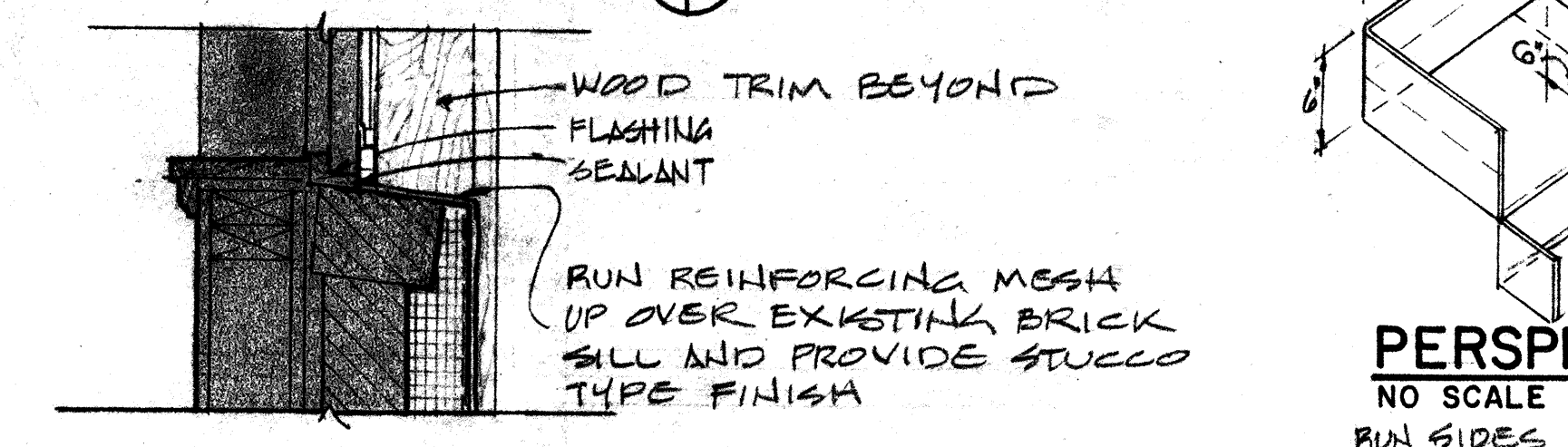
**SILL DETAIL**  
SCALE: 3"=1'-0"



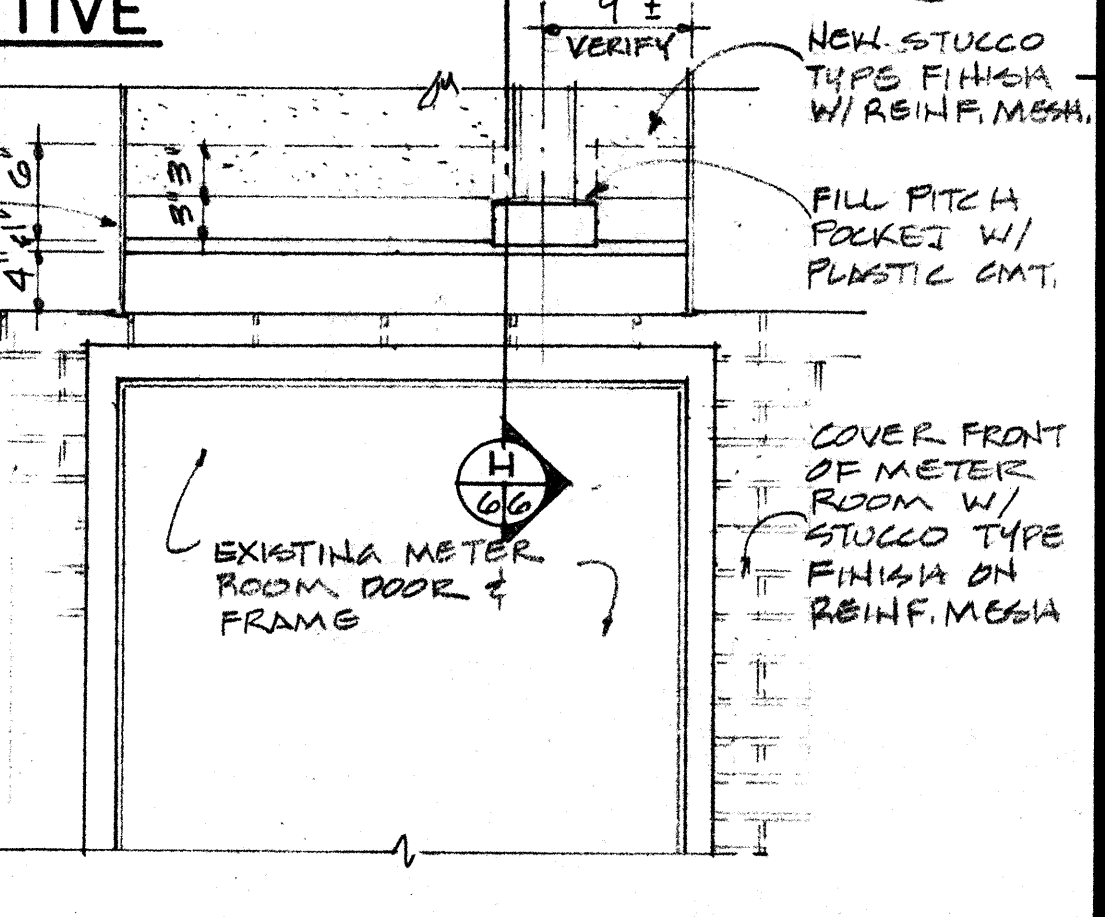
**SILL DETAIL**  
SCALE: 1 1/2"=1'-0"



**JAMB DETAIL**  
SCALE: 1 1/2"=1'-0"

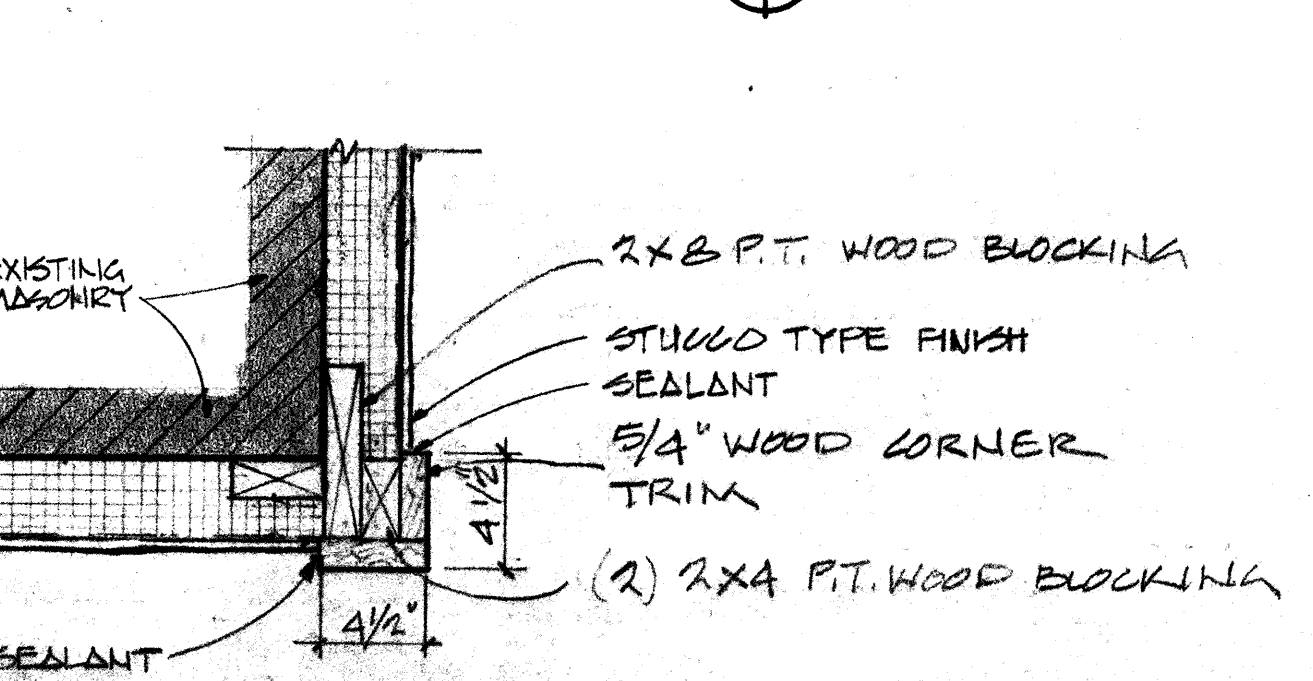


**SECTION H**  
SCALE: 1"=1'-0"

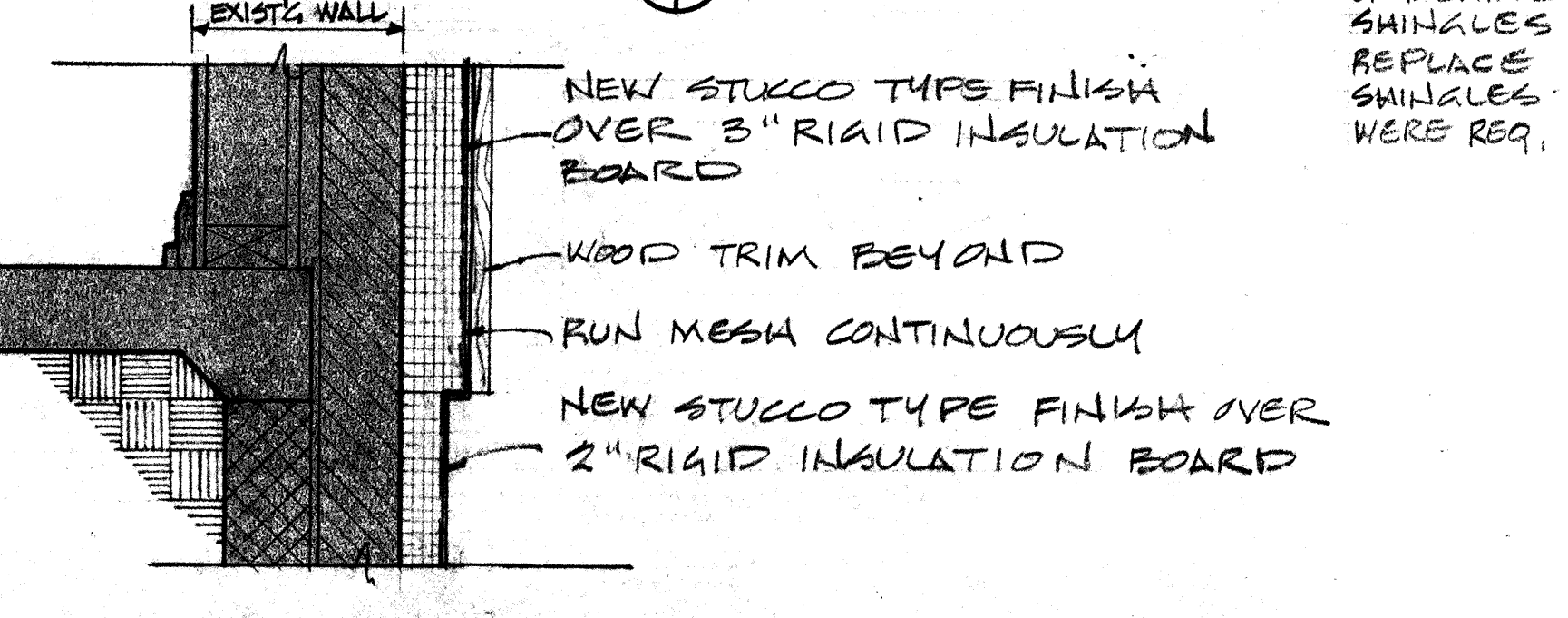


**TYPICAL DOOR JAMB**  
SCALE: 3"=1'-0"

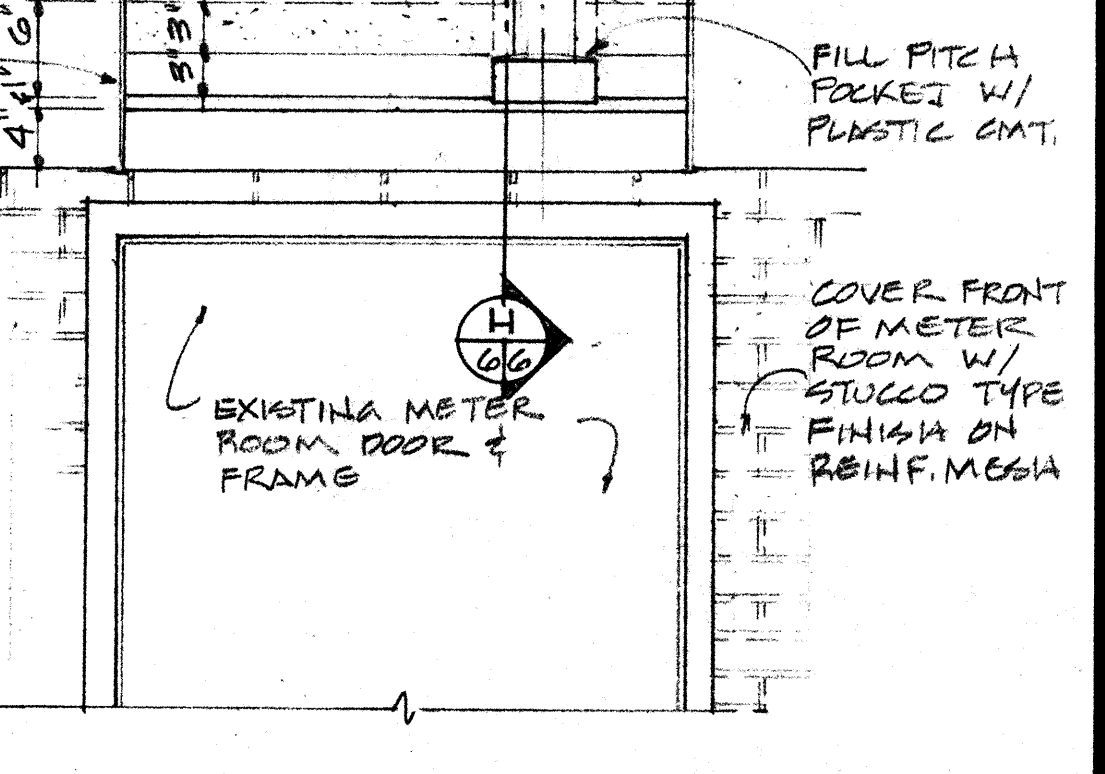
**DETAIL**  
SCALE: 1 1/2"=1'-0"



**SILL DETAIL**  
SCALE: 1 1/2"=1'-0"



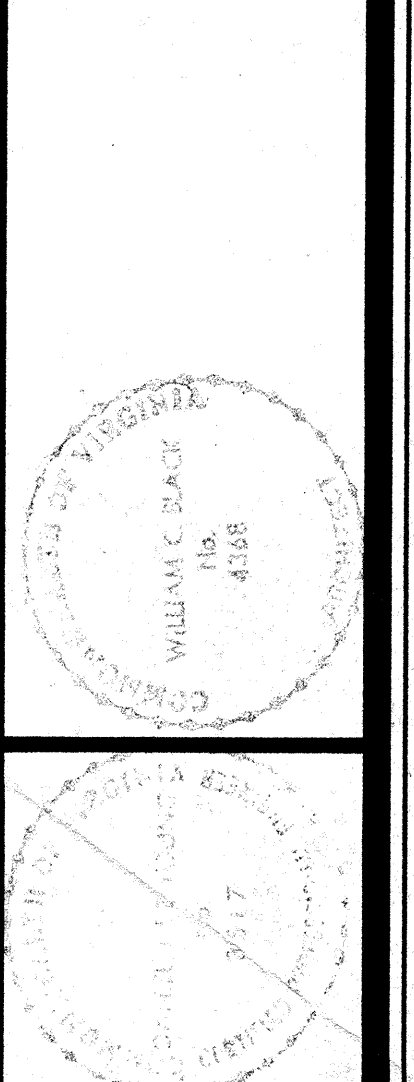
**PERSPECTIVE**  
NO SCALE



**TYPICAL CORNER DETAIL**  
SCALE: 1 1/2"=1'-0"

**DETAIL**  
SCALE: 1 1/2"=1'-0"

**PARTIAL ELEVATION**  
SCALE: 1"=1'-0"





CONSTRUCT VENT AND SLEEVE OF 20 GAUGE GALV. STEEL

SCREW ATTACH FLANGE TO BACK SIDE OF WOOD SIDING W/ (4) 1/2" LONG WOOD SCREWS

PAINT EXPOSED METAL TO MATCH ALUM. FLASHING

HEMMED SEAM

GALV. HARDWARE CLOTH @ BOTTOM

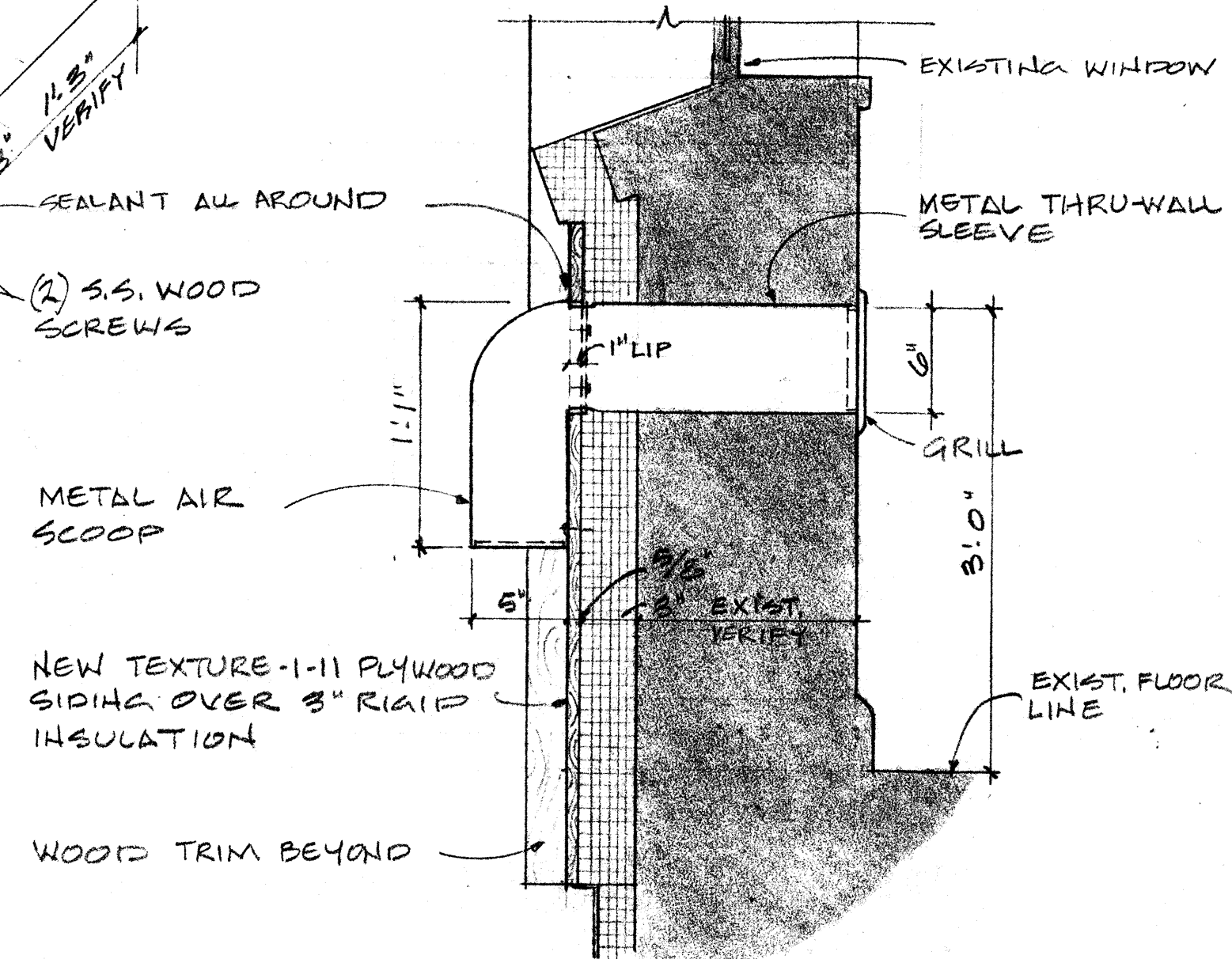
TURN BOTTOM TO FORM 1/4" WIDE LIP ALL AROUND

PERSPECTIVE  
NO SCALE

STANDARD TYPE PREFINISHED METAL GRILL W/ 1/4" SQ. FT. FREE AIR

PROVIDE (2) WALL ANCHORS W/ 5/8" S.S. SCREWS

INTERIOR



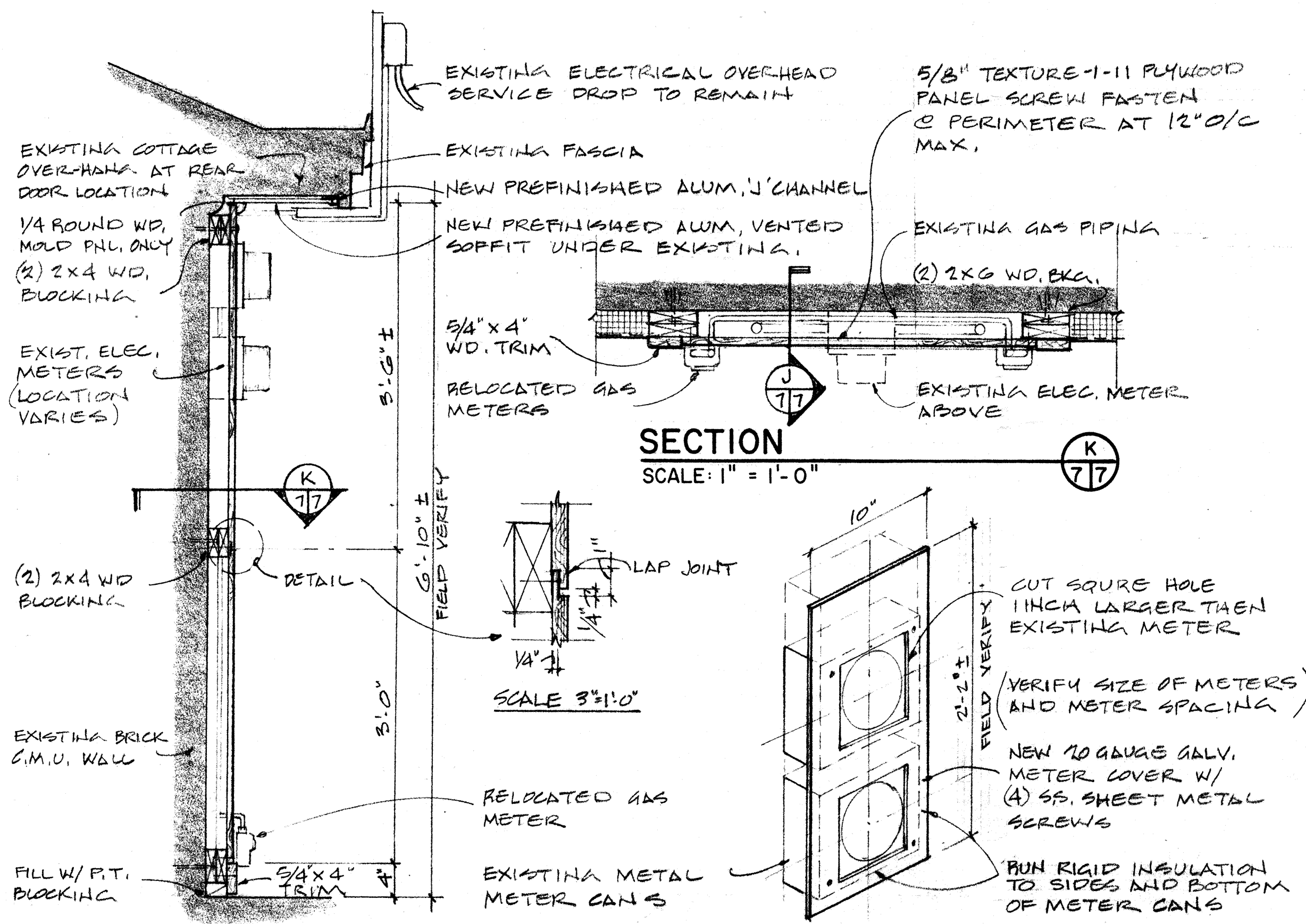
SECTION

NEW TEXTURE-1-11 PLYWOOD SIDING OVER 3" RIGID INSULATION

WOOD TRIM BEYOND

TYPICAL (NEW) COMBUSTION AIR VENT

SCALE: 1 1/2" = 1'-0"



SECTION

SCALE: 1" = 1'-0"

METER COVER DETAIL

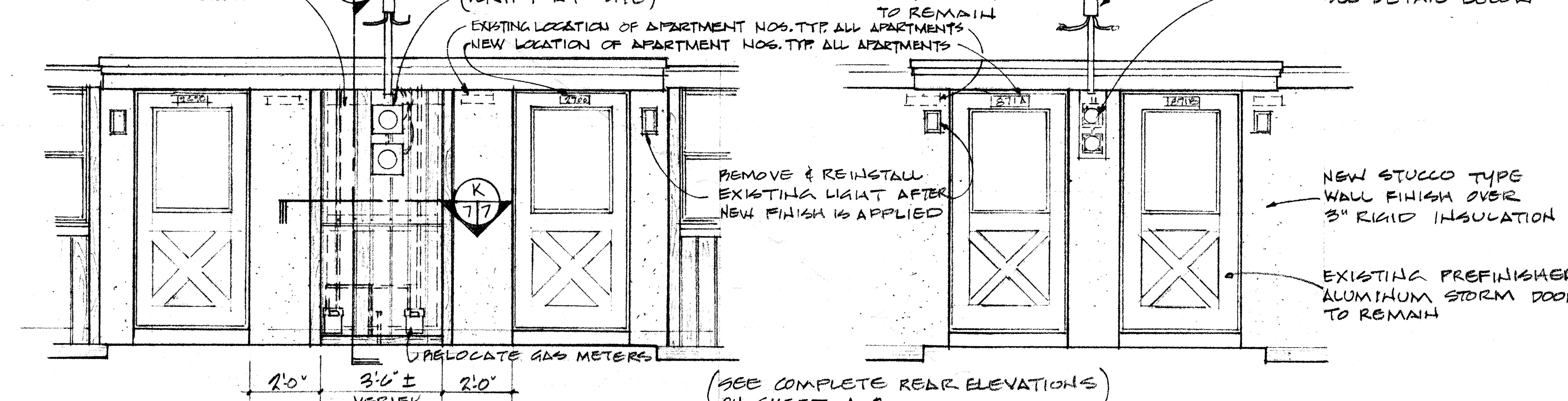
SCALE: 1 1/2" = 1'-0"

NEW REMOVABLE WOOD PANEL @ METER LOCATION

METER LOCATIONS MAY VARY (VERIFY AT SITE)

EXISTING ELECTRICAL SERVICE HEAD TO REMAIN

NEW METER COVER SEE DETAIL BELOW

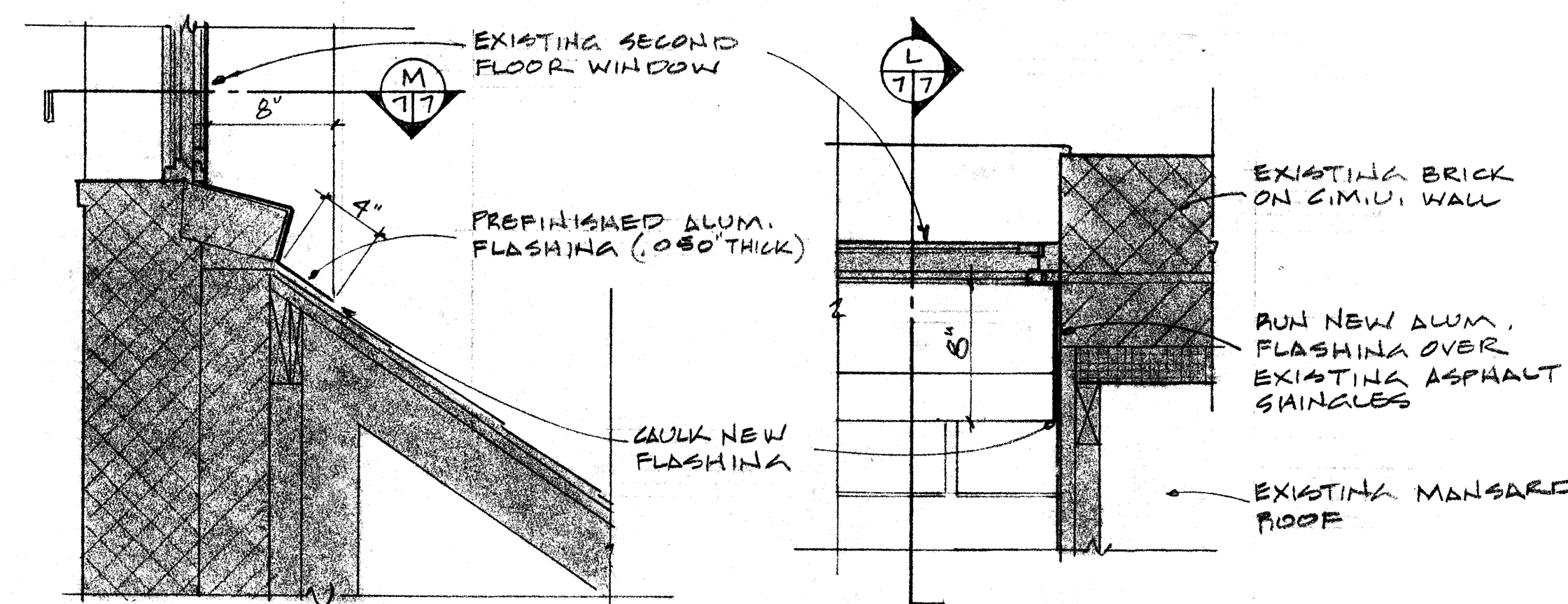


PARTIAL ELEVATION - BUILDING TYPE D-3

PARTIAL ELEVATION - BUILDING TYPE D-2

TYPICAL COTTAGE METER COVER

SCALE: 3/8" = 1'-0"



SECTION

SCALE: 1 1/2" = 1'-0"

SECTION

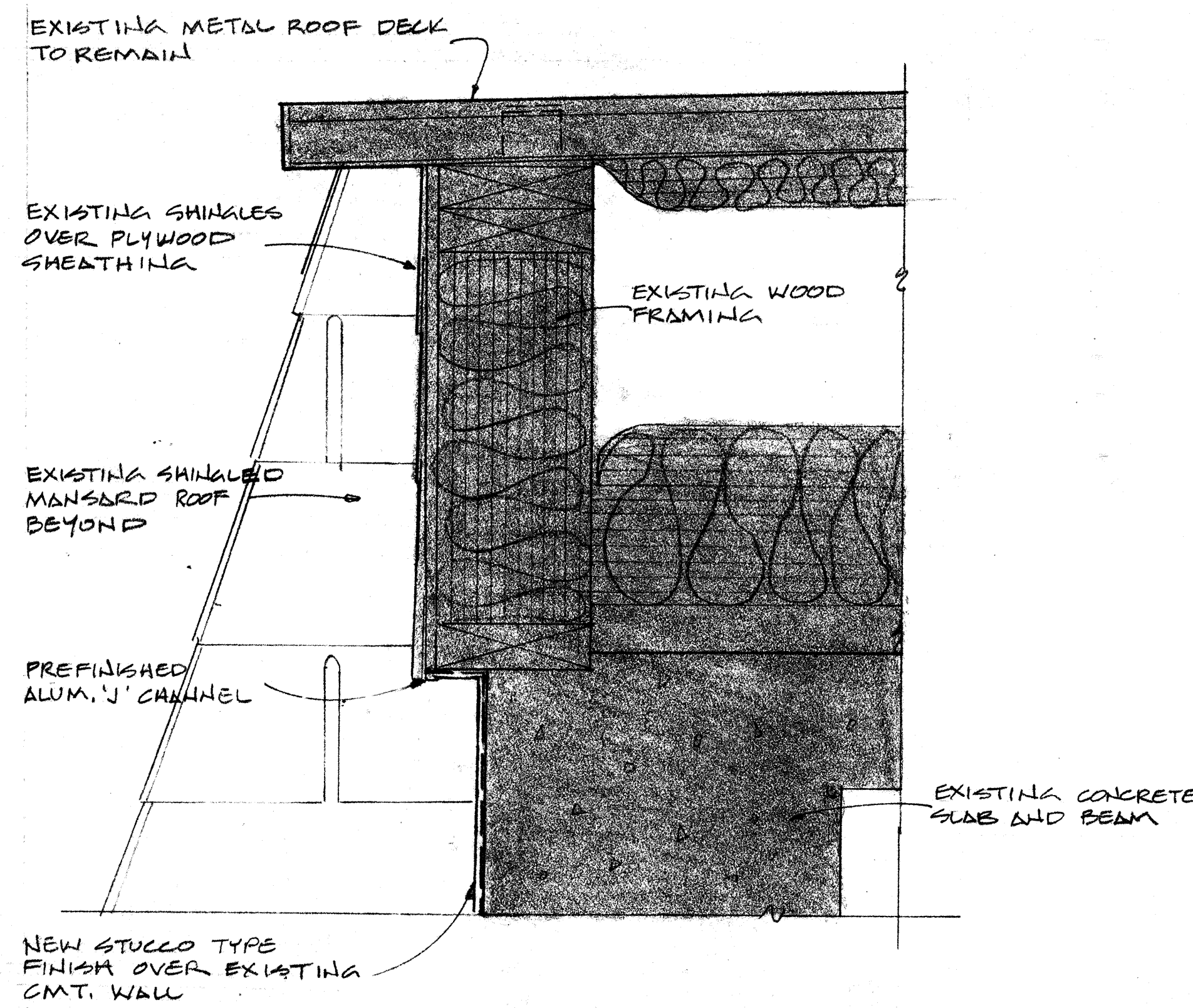
SCALE: 1 1/2" = 1'-0"

EXISTING METAL ROOF DECK TO REMAIN

EXISTING SHINGLES OVER PLYWOOD SHEATHING

EXISTING SHINGLED MANSARD ROOF BEYOND

NEW STUCCO TYPE FINISH OVER EXISTING C.M.T. WALL



SECTION

SCALE: 3" = 1'-0"

MISC. DETAILS  
STRUCTURAL RENOVATIONS/MARSHALL COURTS & ORCUTT HOMES  
PHASE II  
NEWPORT NEWS REDEVELOPMENT & HOUSING AUTHORITY  
NEWPORT NEWS, VIRGINIA

COMMONWEALTH OF VIRGINIA  
WILLIAM C. BLACK  
No. 4333  
REGISTERED PROFESSIONAL ARCHITECT

COMMONWEALTH OF VIRGINIA  
DANIEL J. DE YOUNG  
No. 3517  
REGISTERED PROFESSIONAL SURVEYOR

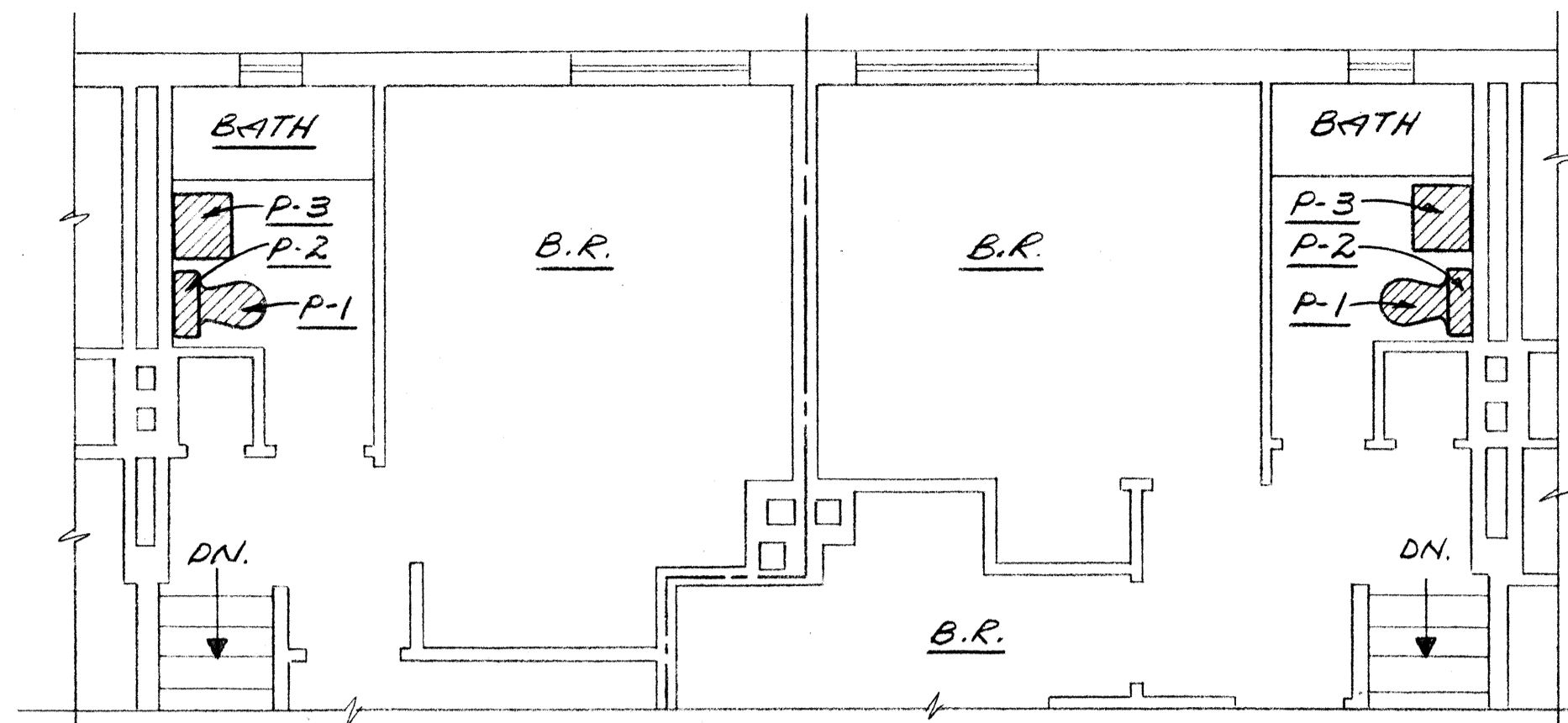
THE DEYOUNG-JOHNSON GROUP, INC.  
ENGINEERS-ARCHITECTS-SURVEYORS  
P.O. BOX 197 WILLIAMSBURG, VIRGINIA 23187 (804) 253-0673

DATE APRIL 27, 1984  
DESIGNED J.I.C.  
DRAWN J.I.C.  
CHECKED W.C.B.

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A-7  
13 OF 27





SECOND FLOOR PLAN

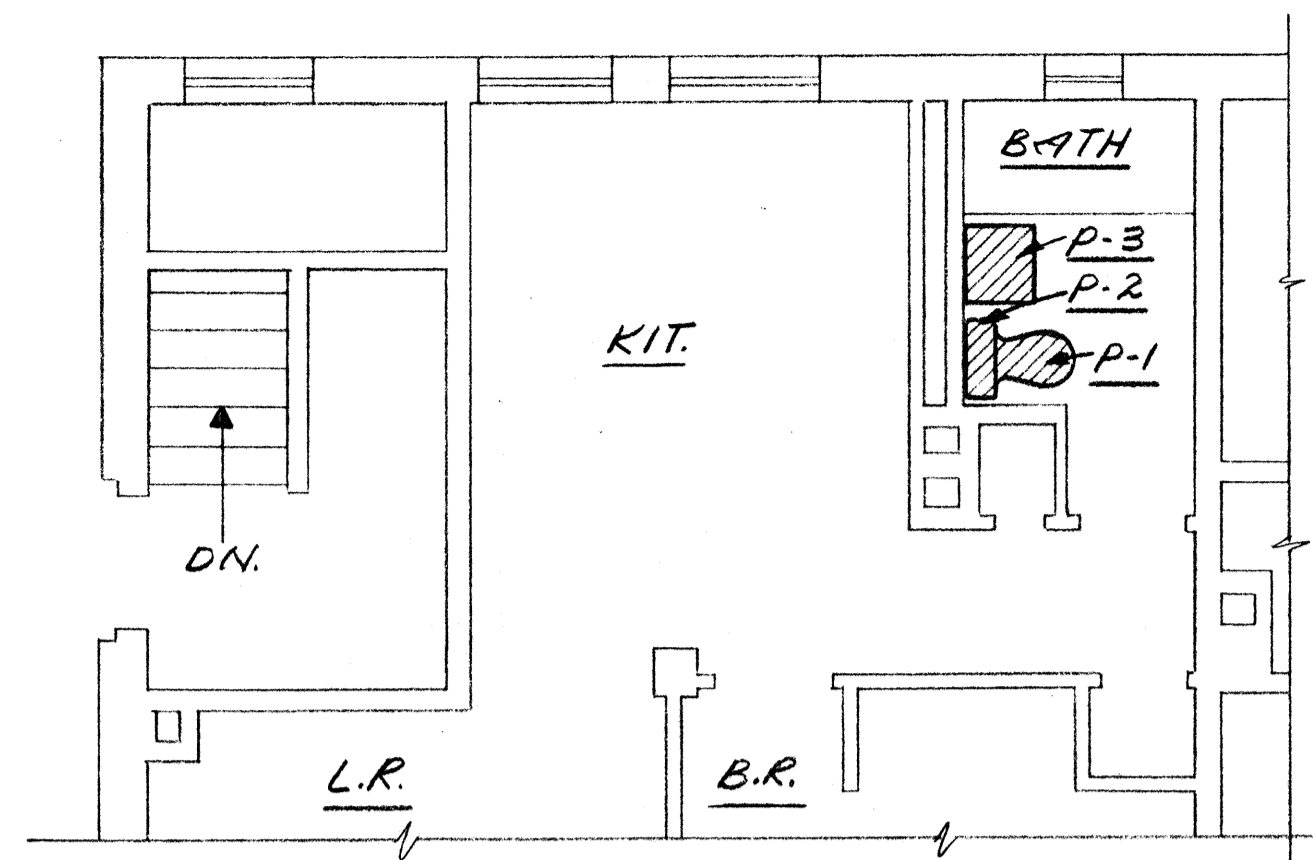
1/4" = 1'-0"

UNIT TYPE I

9 AS SHOWN  
9 OPPOSITE HAND

UNIT TYPE II

9 AS SHOWN  
9 OPPOSITE HAND

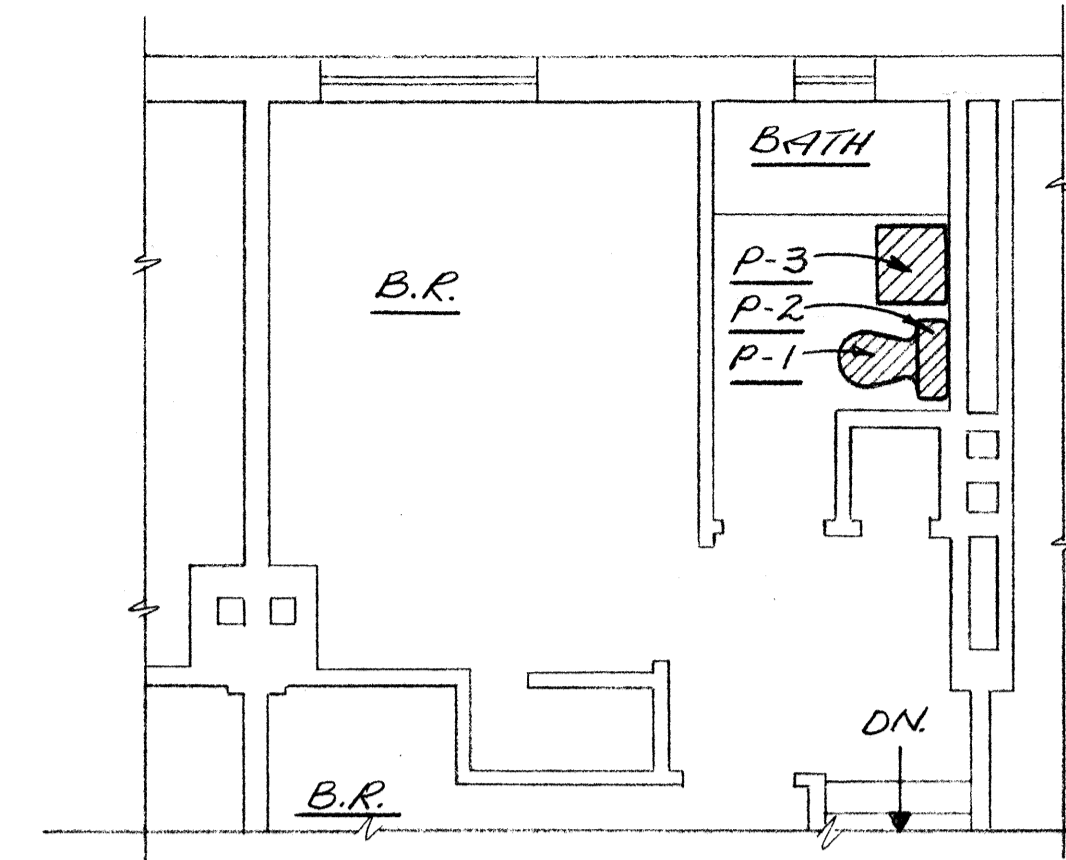


FIRST FLOOR PLAN

1/4" = 1'-0"

UNIT TYPE III

FIRST FLOOR - 13 AS SHOWN - 13 OPPOSITE HAND  
SECOND FLOOR - 13 AS SHOWN - 13 OPPOSITE HAND



SECOND FLOOR PLAN

1/4" = 1'-0"

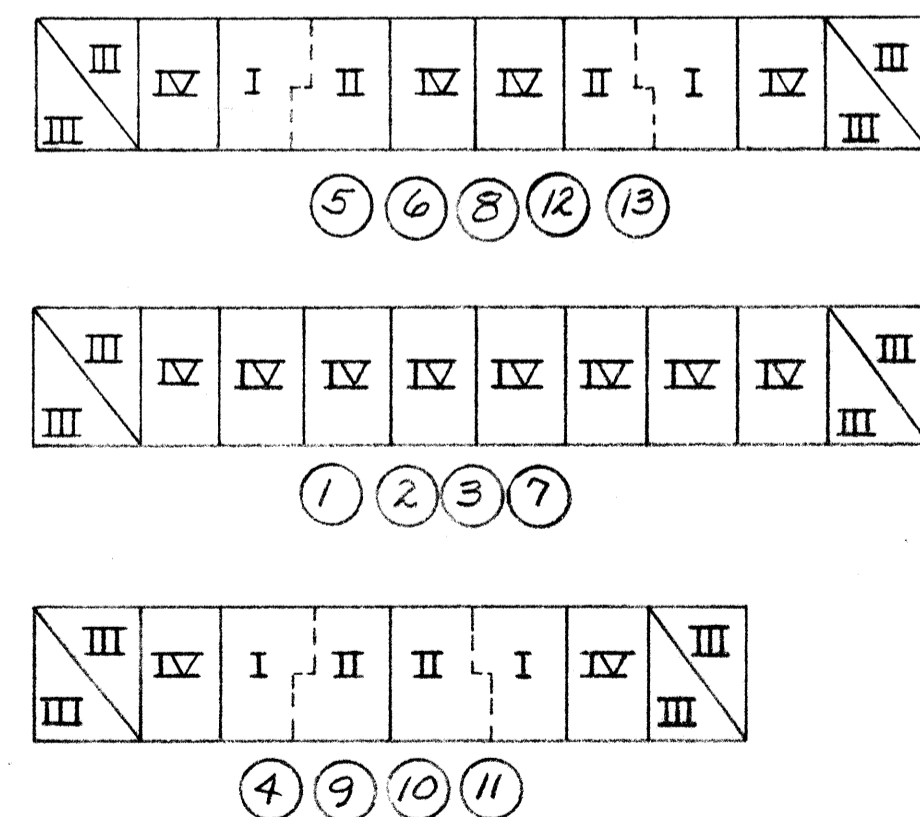
UNIT TYPE IV

30 AS SHOWN  
30 OPPOSITE HAND

| PLUMBING FIXTURE SCHEDULE |                   |                 |   |
|---------------------------|-------------------|-----------------|---|
| P#                        | FIXTURE           | MANUFACTURER**  | REMARKS   |
| P-1                       | WATER CLOSET BOWL | MANFIELD #126   | SUPPLY - BRASS CRAFT #R-1512 DL<br>SEAT - BEMIS #500T WHITE                                 |
| P-2                       | WATER CLOSET TANK | GEBERIT #35000  |   |
| P-3                       | LAVATORY          | MANFIELD #1917C | FAUCETS = KOHLER #7403T<br>SUPPLY - BRASS CRAFT #R-1512 &<br>P-TRAP = BRASS CRAFT #PVC 5001 |

NOTES:

1. PROVIDE NEW WAX SEAL FOR NEW WATER CLOSETS.
2. NEW WATER CLOSETS & LAVATORIES SHALL BE PLACED IN SAME LOCATION AS EXISTING.
3. ALL NEW PIPES SHALL MATCH EXISTING PIPES IN DIAMETER.



BUILDING SCHEDULE

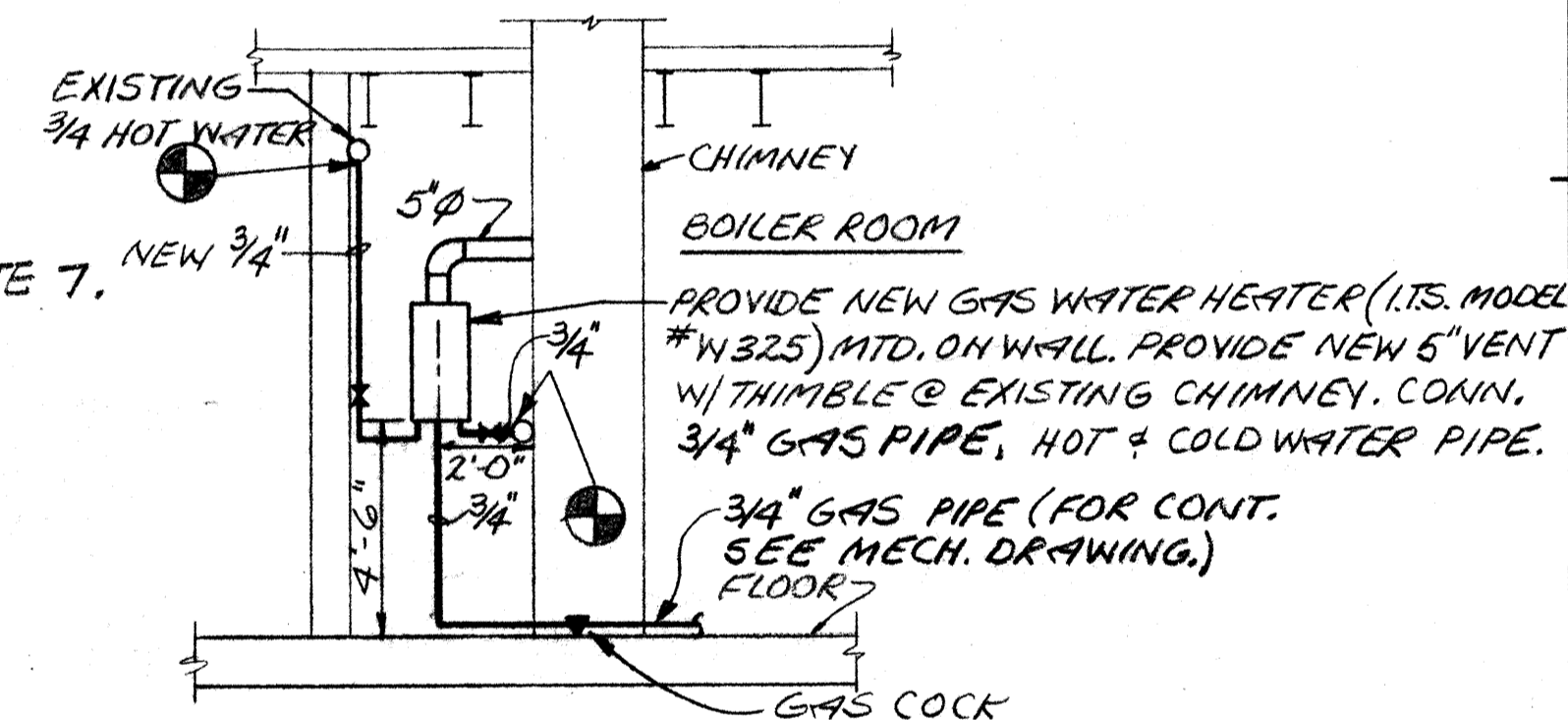
TOTAL APARTMENTS = 148  
FOR BUILDING LOCATIONS SEE  
ORCUTT HOMES SITE PLANS.

GENERAL NOTES (TYP. FOR ORCUTT & MARSHALL)

1. REMOVE LAVATORIES & WATER CLOSETS. PROVIDE NEW TANKS, BOWLS & LAVATORIES WITH NEW TRIM IN THE SAME LOCATION. MODIFY SUPPLY PIPING TO SUIT NEW FIXTURES. PROVIDE CUT-OFFS TO EACH FIXTURE AND PROVIDE NEW PLASTIC P-TRAPS ON LAVATORIES.
2. SEE SPECIFICATIONS FOR WATER CLOSET FLOOR FLANGE ALLOWANCE.
3. ALLOW 2 SF OF VINYL FLOOR PATCH IN ALL BATHS. TILE MUST BE SET SO WATER CLOSET IS INSTALLED OVER TILE TO MATCH EXISTING. SEE NOTE 7.
4. ALLOW 3 SF OF PLASTER/MASONRY/GWB WALL PATCH. SEE NOTE 7.
5. PAINT WALL AREA BEHIND FIXTURES 4'-0" HIGH FROM SIDE WALL TO TUB SURROUND EDGE WITH TWO COATS STANDARD WHITE SEMI GLOSS LATEX. SEE NOTE 7.
6. FOR LOCATION OF BUILDINGS, GAS METERS AND HOSE BIBBS SEE MARSHALL COURTS SITE PLANS.
7. CUTTING, PATCHING & PAINTING SHALL BE PROVIDED UNDER SPEC. SECTION 01045 AND DIVISION 9. WORKMEN SHALL BE SKILLED IN THE TRADE INVOLVED.

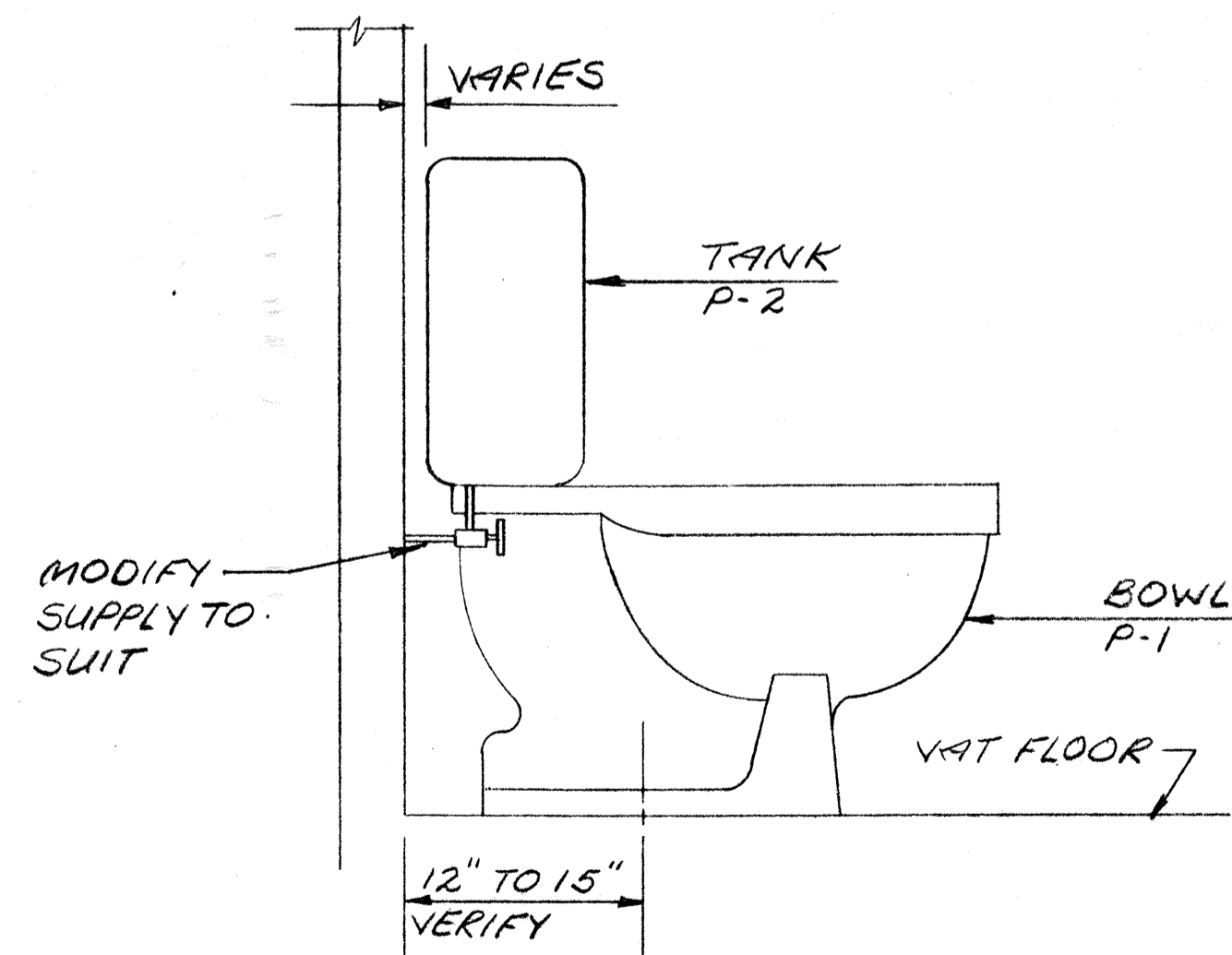
LEGEND (TYP. FOR MARSHALL & ORCUTT HOMES)

- CONNECTION POINT NEW TO EXISTING
- P-1 PLUMBING FIXTURE NUMBER
- EXISTING PIPE
- NEW PIPE



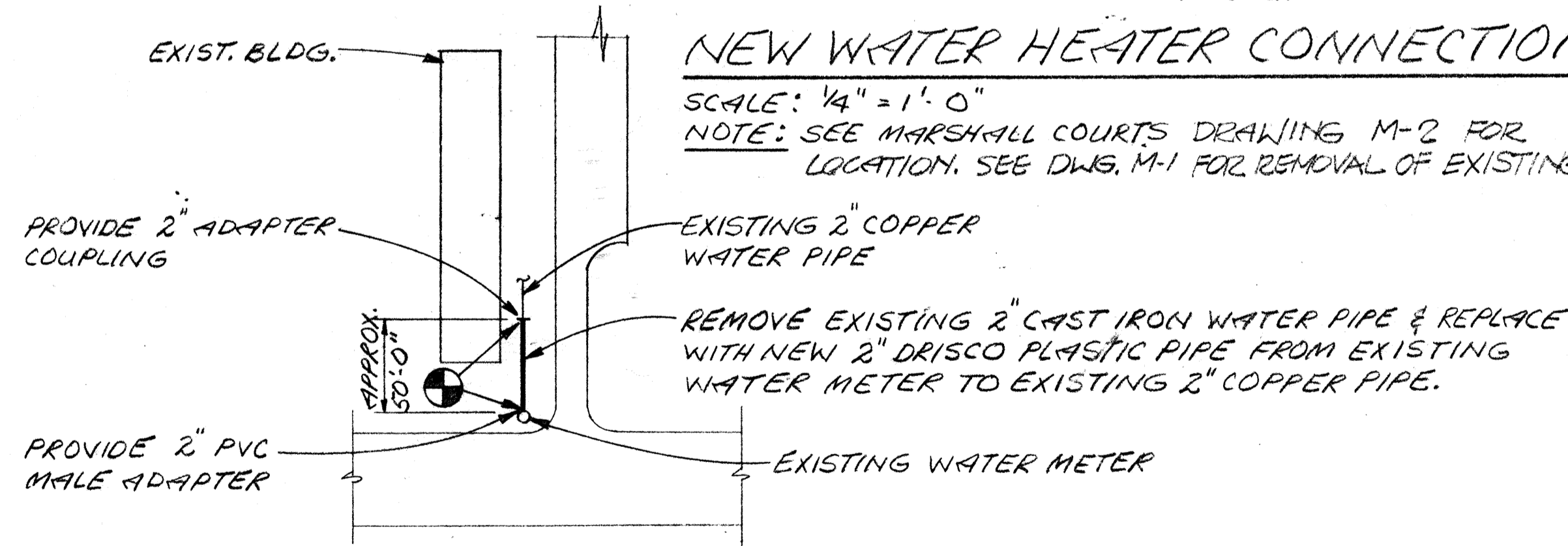
NEW WATER HEATER CONNECTION

SCALE: 1/4" = 1'-0"  
NOTE: SEE MARSHALL COURTS DRAWING M-2 FOR LOCATION. SEE DWS. M-1 FOR REMOVAL OF EXISTING.



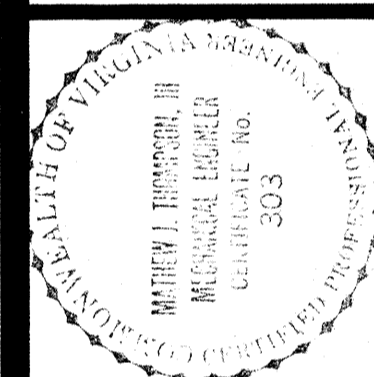
TYP. WATER CLOSET DETAIL

NO SCALE

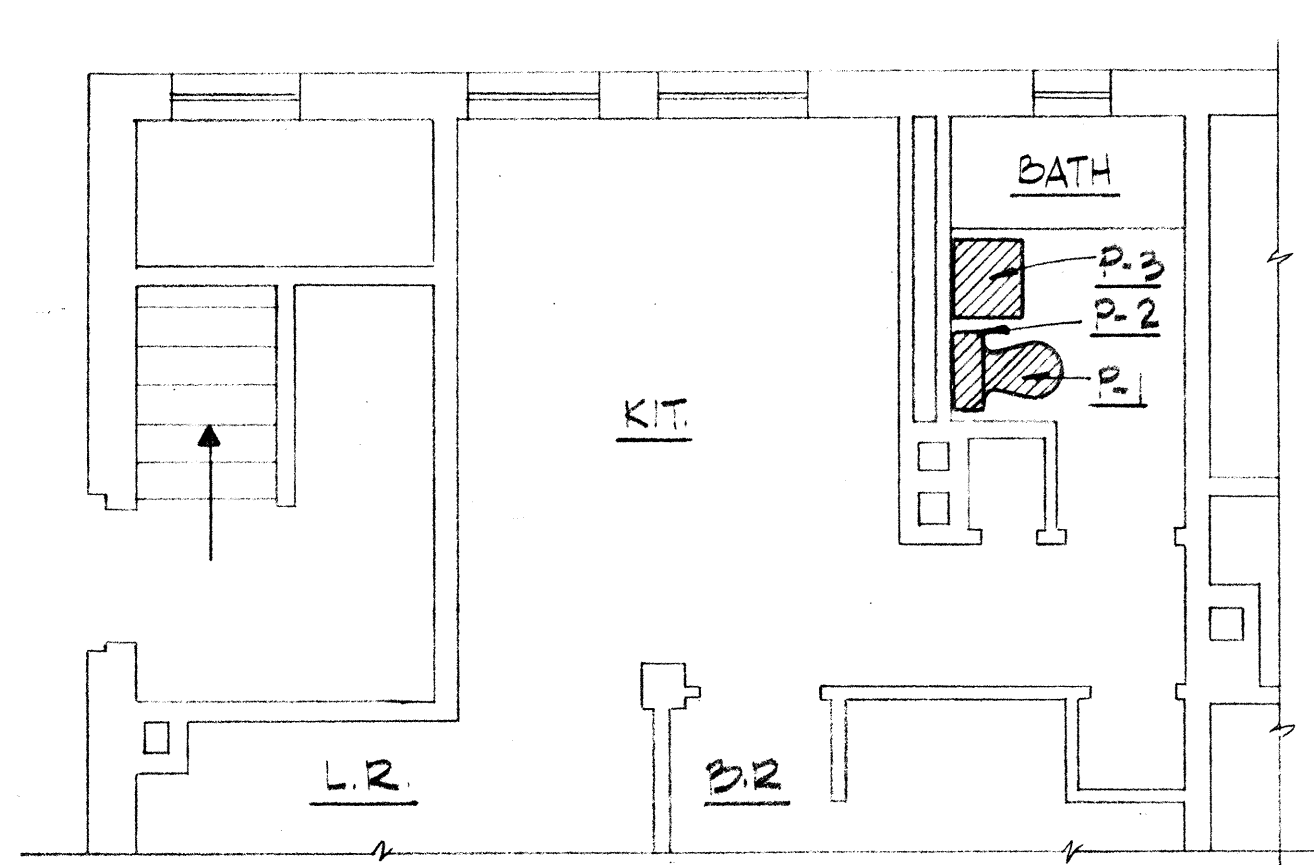


NEW WATER PIPE CONNECTION

SCALE: 1" = 60' (TYPICAL FOR BUILDING ① THRU ②④)  
SEE MARSHALL COURTS SITE PLANS.

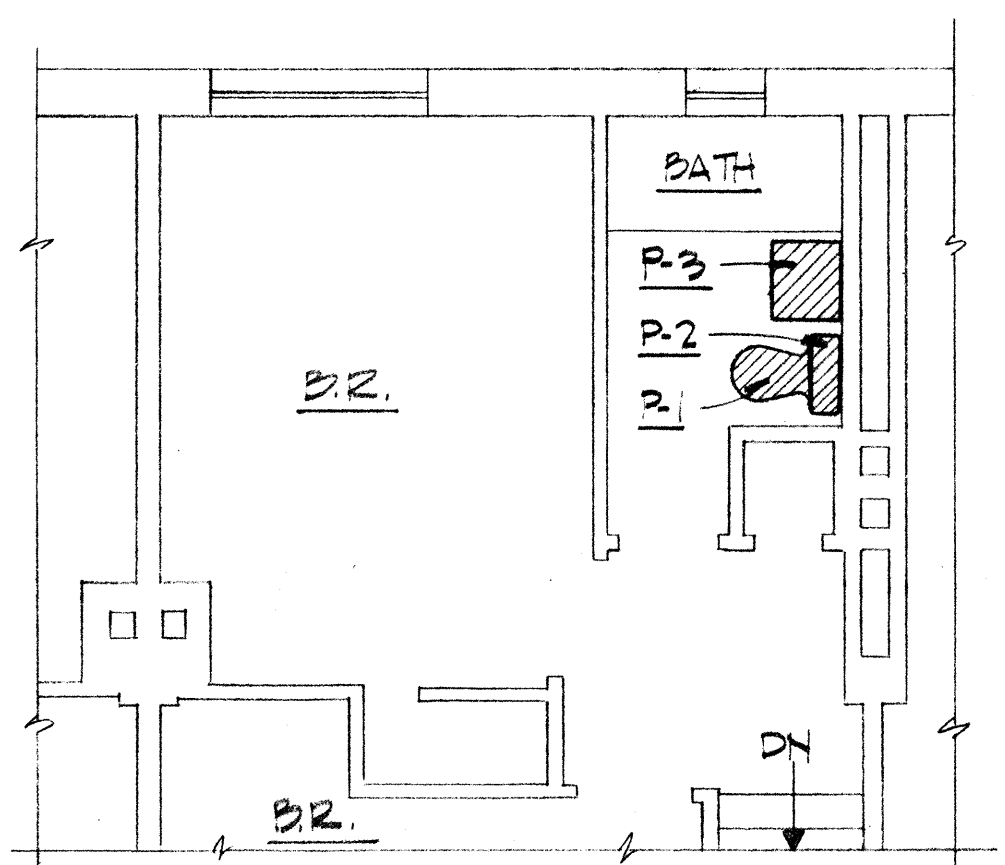






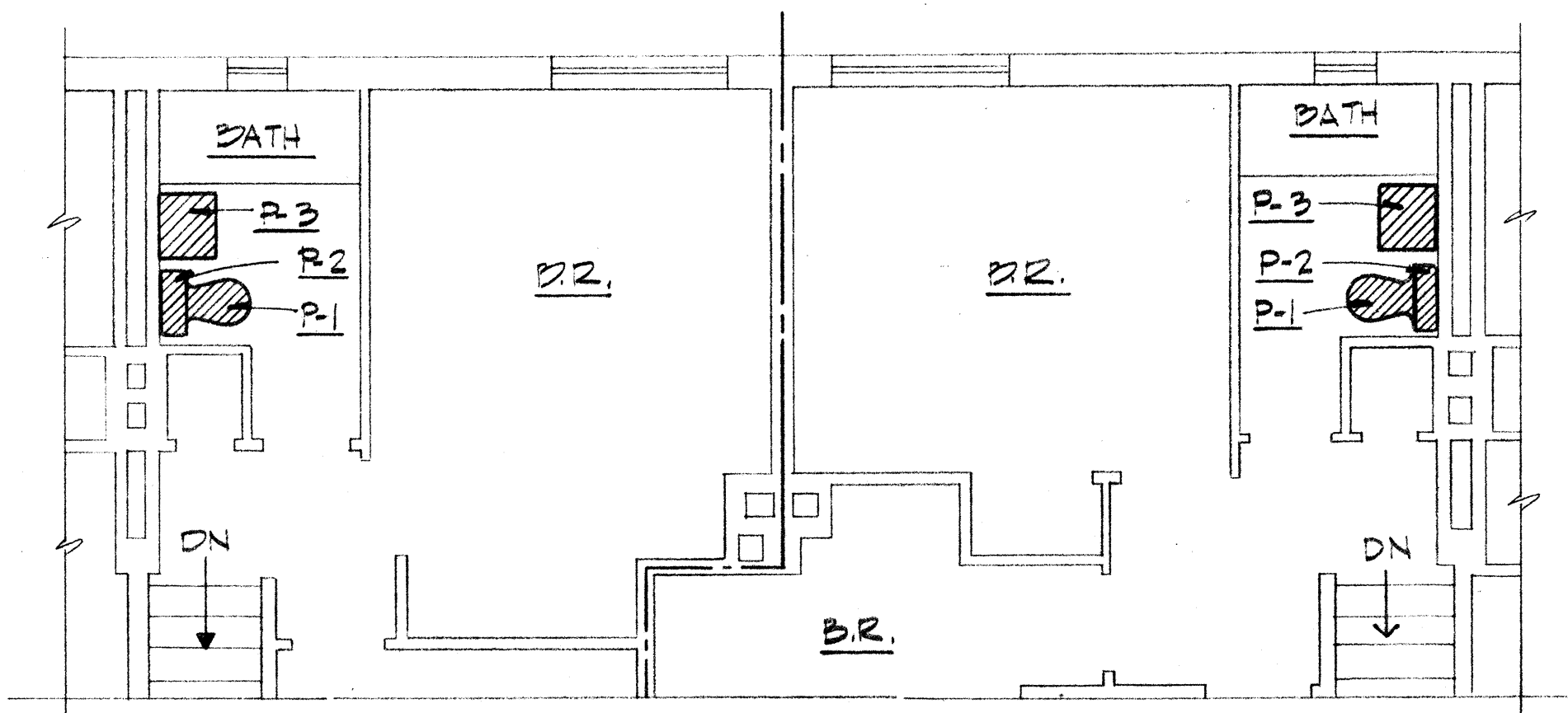
FIRST FLOOR PLAN 1/4" = 1'-0"

UNIT TYPE I  
FIRST FLOOR - 24 AS SHOWN - 24 OPPOSITE HAND  
SECOND FLOOR - 24 AS SHOWN - 24 OPPOSITE HAND



SECOND FLOOR PLAN 1/4" = 1'-0"

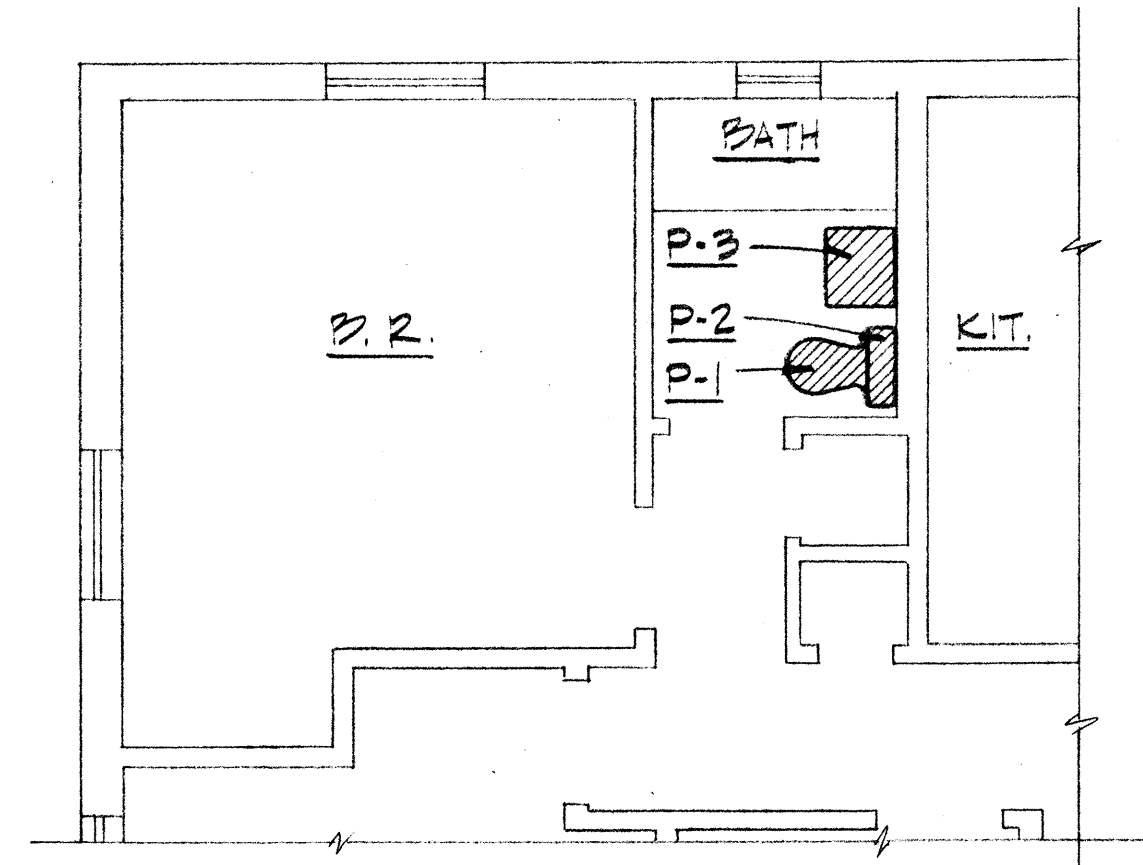
UNIT TYPE II  
48 AS SHOWN  
48 OPPOSITE HAND



SECOND FLOOR PLAN 1/4" = 1'-0"

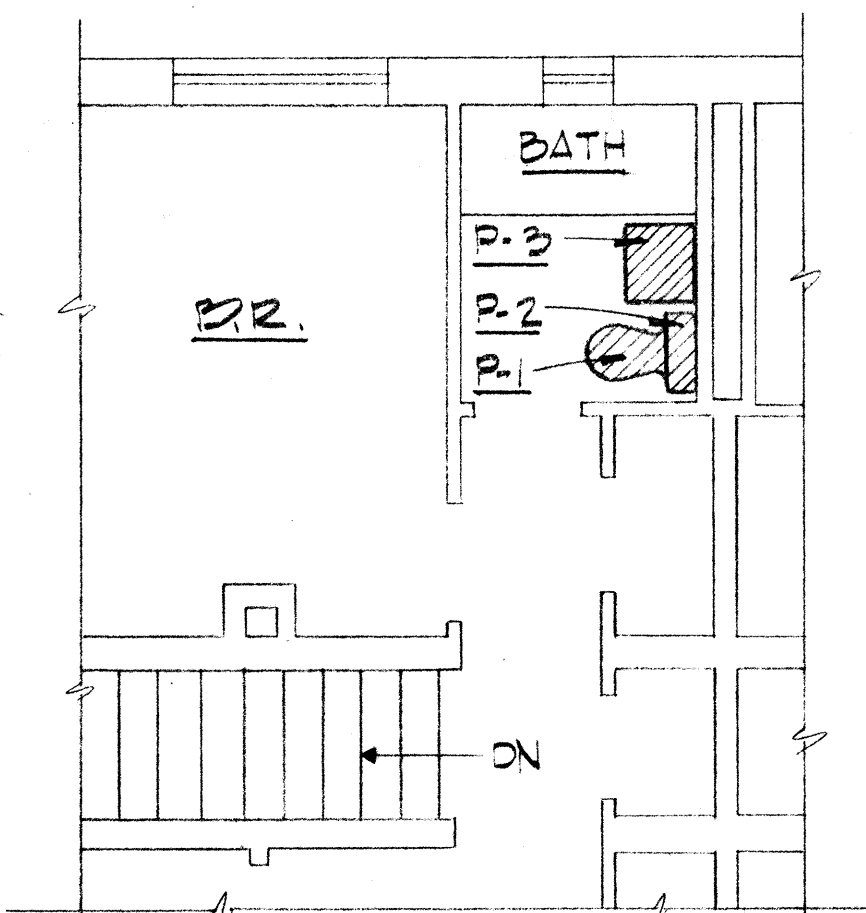
UNIT TYPE III 16 AS SHOWN  
16 OPPOSITE HAND

UNIT TYPE IV 16 AS SHOWN  
16 OPPOSITE HAND



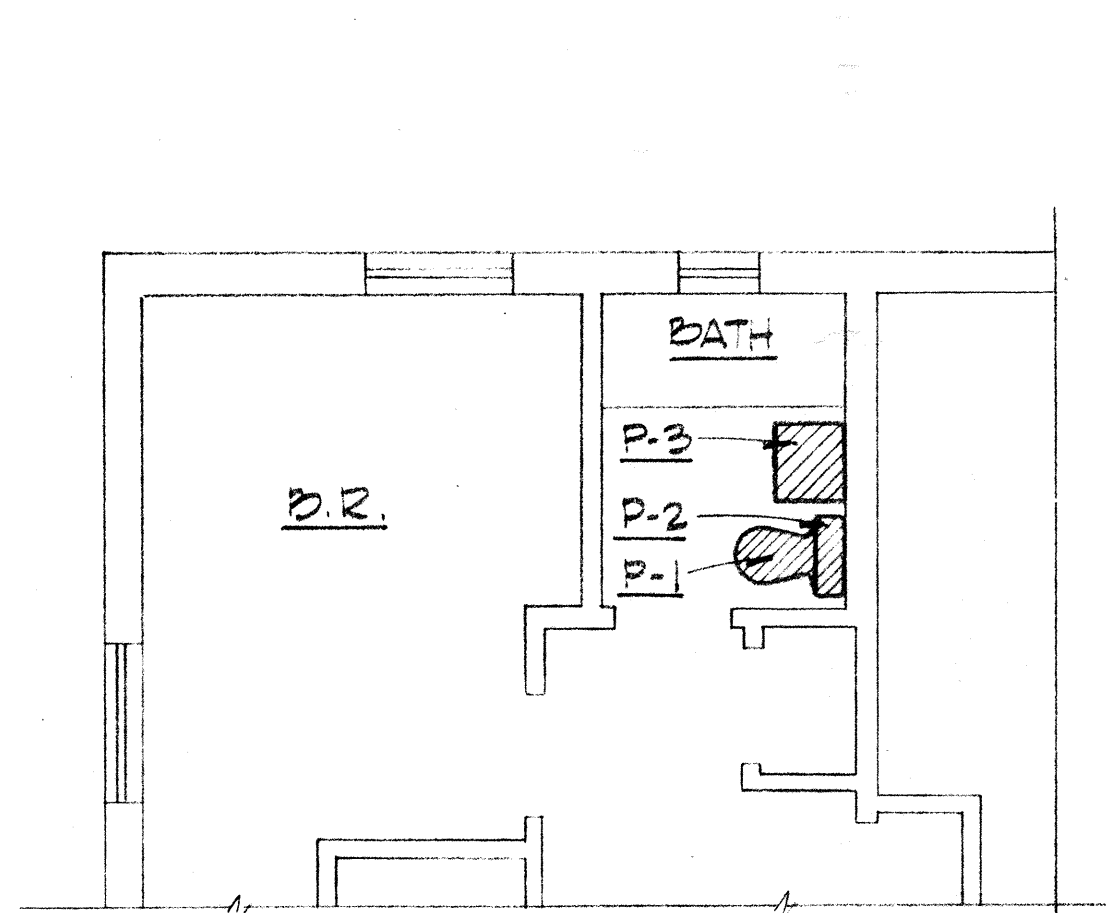
FIRST FLOOR PLAN 1/4" = 1'-0"

UNIT TYPE V  
20 AS SHOWN  
20 OPPOSITE HAND



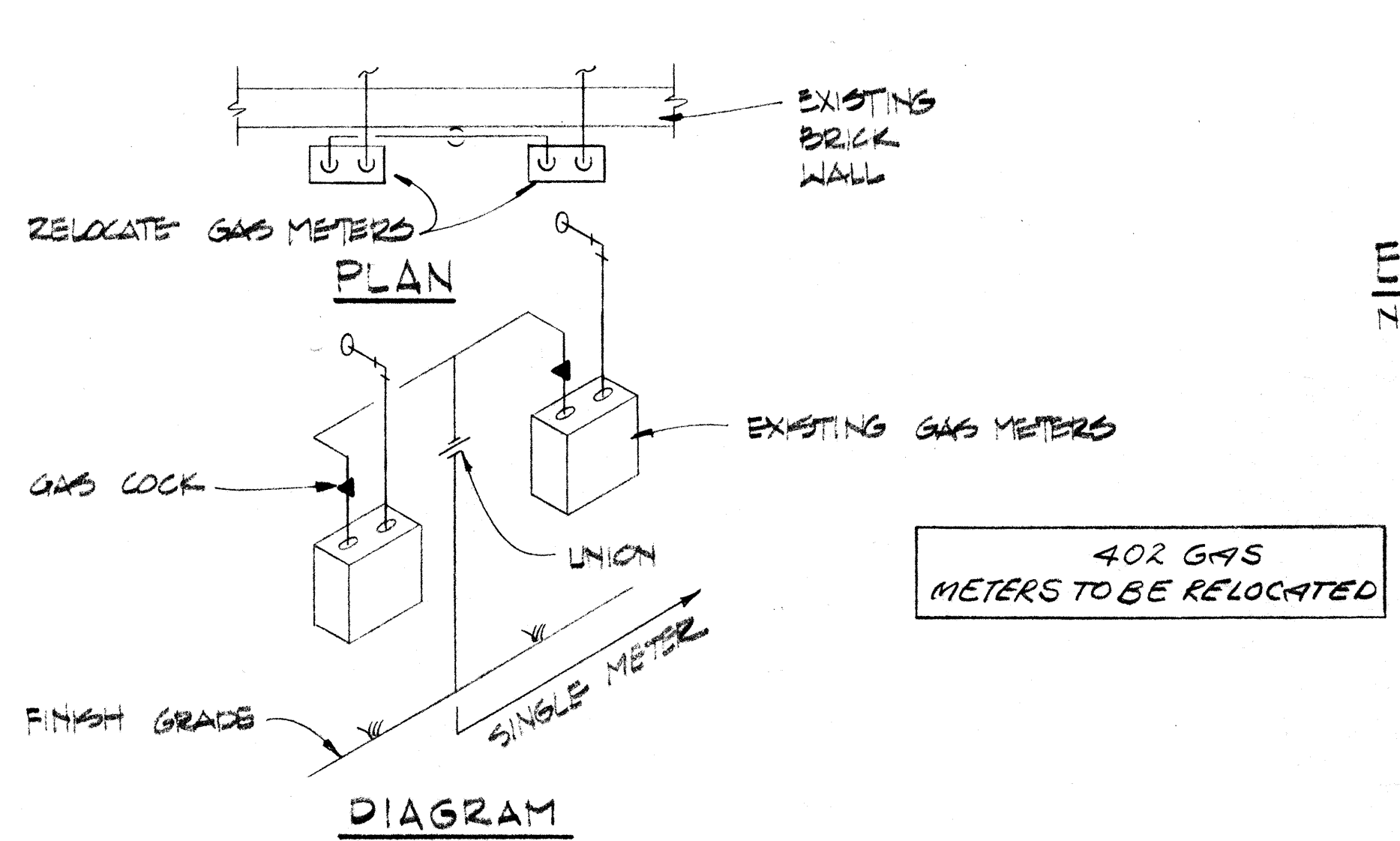
SECOND FLOOR PLAN 1/4" = 1'-0"

UNIT TYPE VI  
18 AS SHOWN  
18 OPPOSITE HAND

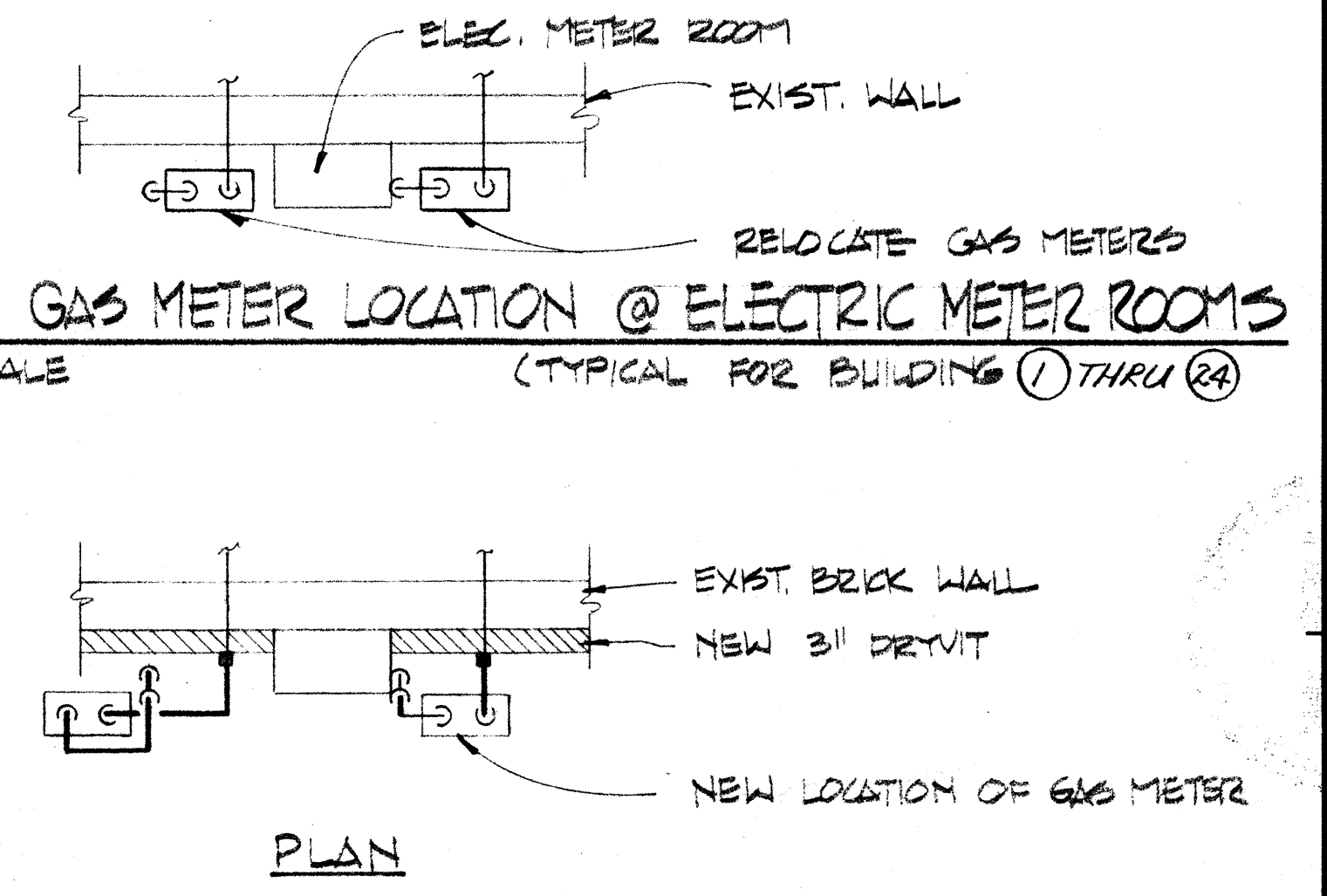


FIRST FLOOR PLAN 1/4" = 1'-0"

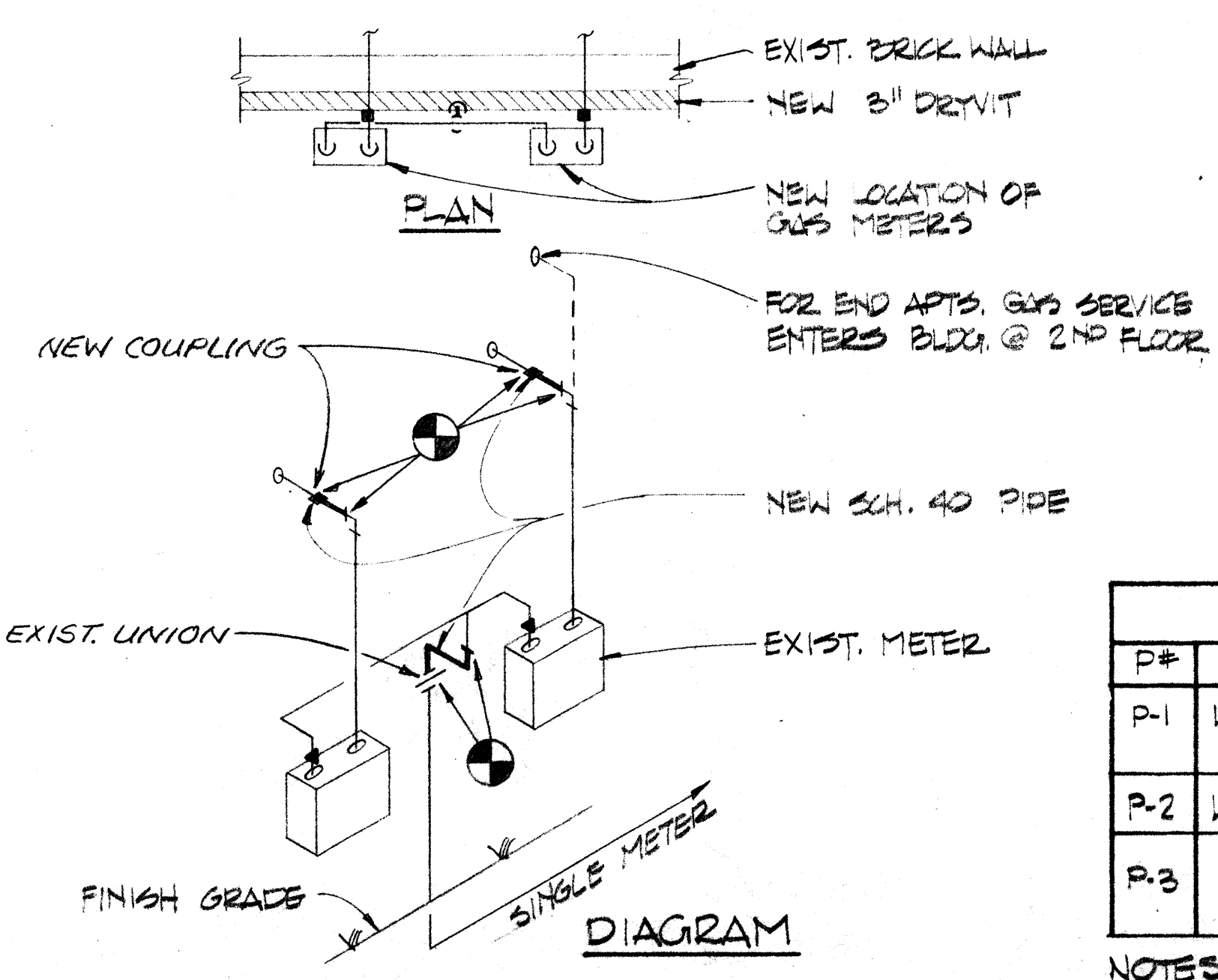
UNIT TYPE VII  
10 AS SHOWN  
11 OPPOSITE HAND



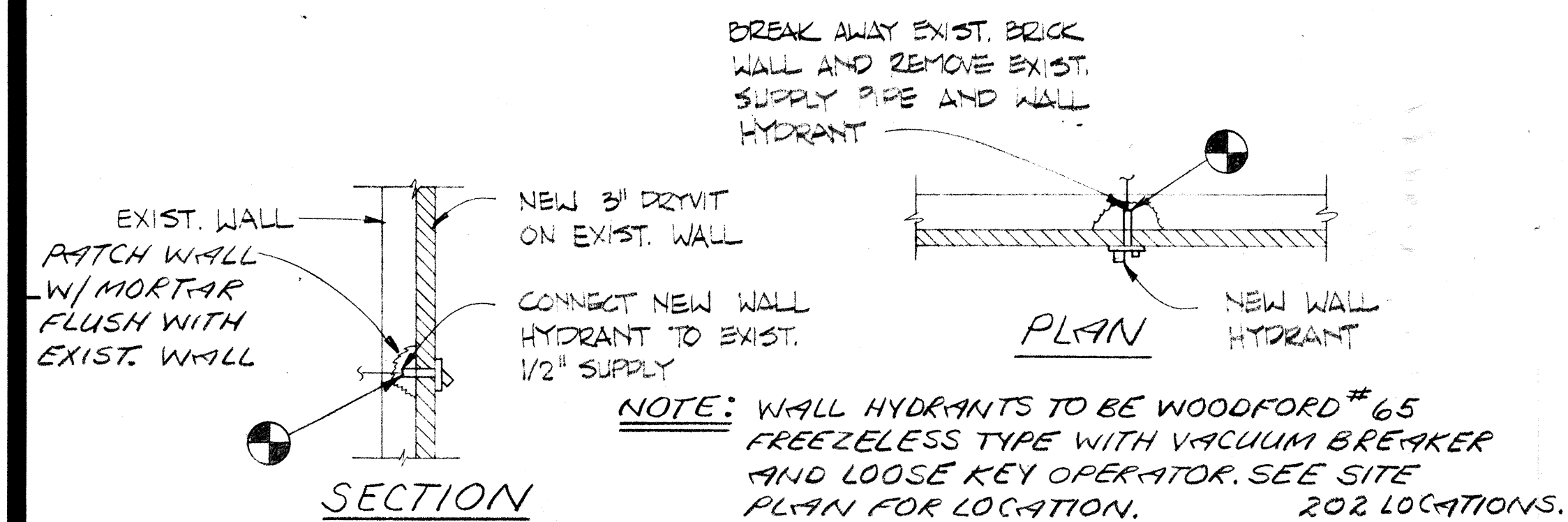
EXISTING GAS METER CONNECTION  
NO SCALE (TYPICAL)



NEW GAS METER CONNECTION  
NO SCALE (TYPICAL FOR BLDGS 1 THRU 24)



NEW GAS METER CONNECTION  
NO SCALE (TYPICAL)



NEW WALL HYDRANT CONNECTION  
NO SCALE (TYPICAL)

BUILDING SCHEDULE FOR BUILDING LOCATIONS SEE MARSHALL COURTS SITE PLAN

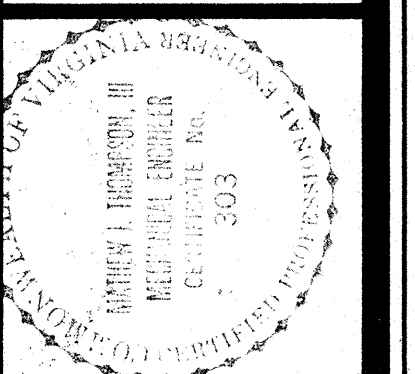
|           |    |            |    |            |     |     |    |          |   |    |     |    |    |     |    |   |
|-----------|----|------------|----|------------|-----|-----|----|----------|---|----|-----|----|----|-----|----|---|
| I         | II | II         | II | II         | II  | II  | II | I        | I | II | III | IV | IV | III | II | I |
| ① THRU ⑧  |    |            |    |            |     |     |    | ⑨ THRU ⑳ |   |    |     |    |    |     |    |   |
| V         | V  | VI         | VI | VII        | VII | VII |    |          |   |    |     |    |    |     |    |   |
| ⑳ THRU ③⑤ |    | ③⑥ THRU ④② |    | ④③ THRU ④④ |     | ④⑤  |    |          |   |    |     |    |    |     |    |   |

TOTAL APARTMENTS = 353

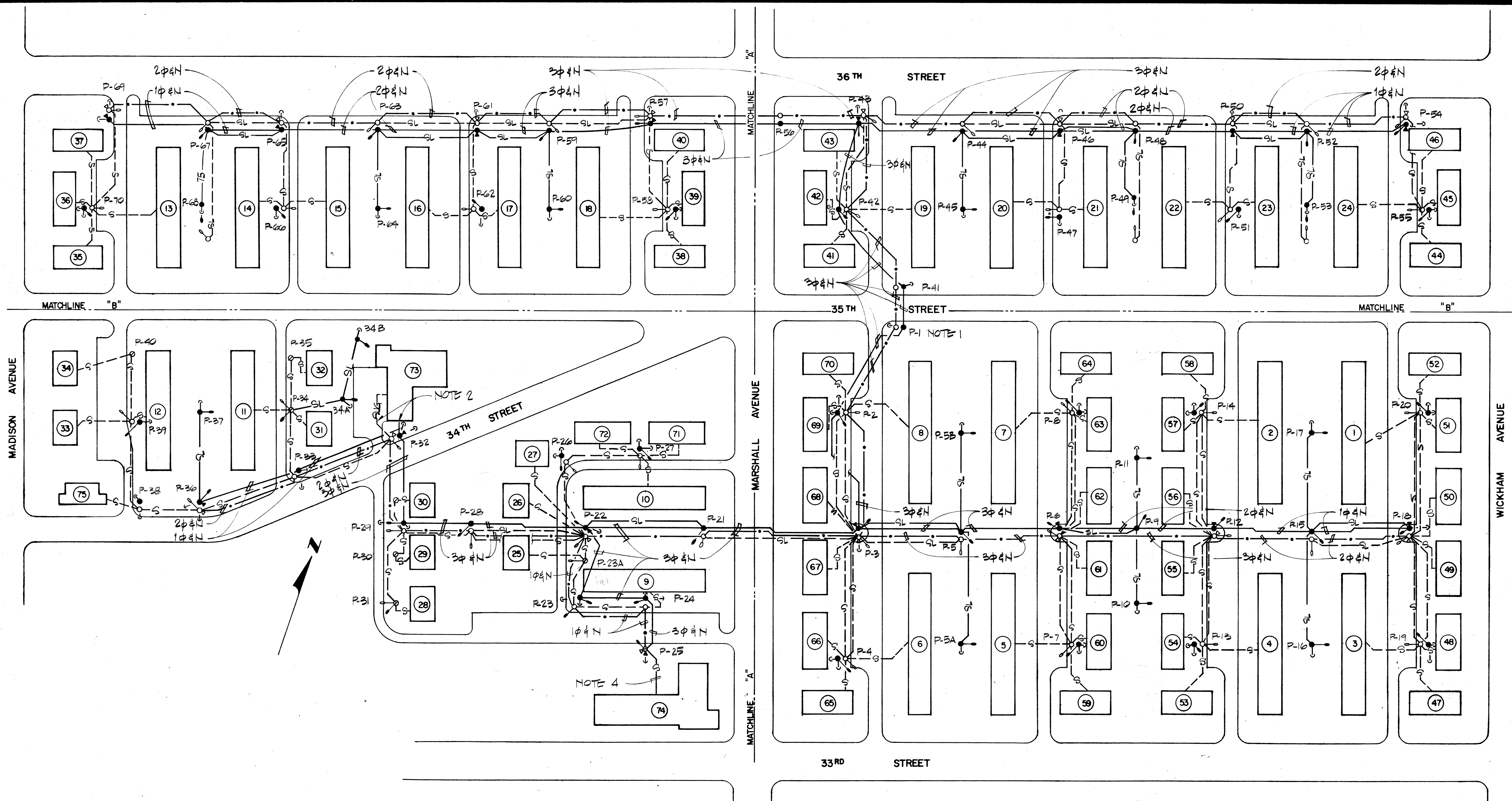
PLUMBING FIXTURE SCHEDULE

| P#  | FIXTURE           | MANUFACTURER #  | REMARKS   |
|-----|-------------------|-----------------|---|
| P-1 | WATER CLOSET BOWL | MANFIELD #126   | SUPPLY = BRASS CRAFT #2-1512 DL<br>SEAT = 3EMIS #500 TT WHITE                               |
| P-2 | WATER CLOSET TANK | GEBERIT #35000  |   |
| P-3 | LAVATORY          | MANFIELD #1917C | FJUCETS = KOHLER #7403T<br>SUPPLY = BRASS CRAFT #2-1512 A<br>P-TRAP = BRASS CRAFT #PVC 5001 |

- NOTES:
1. PROVIDE NEW WAX SEAL FOR NEW WATER CLOSETS.
  2. NEW WATER CLOSETS & LAVATORIES SHALL BE PLACED IN SAME LOCATION AS EXISTING.
  3. ALL NEW PIPES SHALL MATCH EXISTING PIPES IN DIAMETER.
  4. FOR LOCATION OF NEW WATER HEATER IN BLDG. ③ SEE DRAWING M-2.







**MARSHALL COURTS - ELECTRICAL DISTRIBUTION PLAN**  
SCALE: 1" = 60'

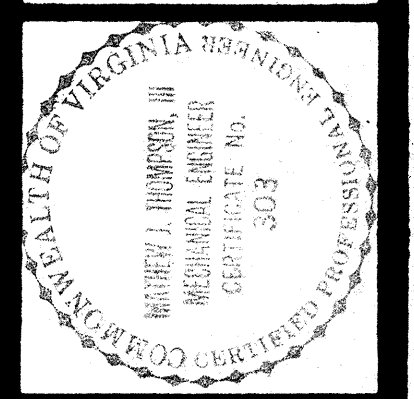
**NOTES**

- 1 POLE P-1 SHALL BE POINT OF ATTACHMENT OF NEW 13.2/22.9 KV, 3 PHASE, 4 WIRE BY VERCO. PROVIDE DOUBLE CROSSARM & SUSPENSION INSULATION FOR CONNECTION TO BY VERCO.
- 2 REMOVE EXISTING UNDERGROUND SECONDARY CONDUCTORS TO METER. REMOVE CONDUIT TO BELOW GRADE AT METER AND AT POLE. PROVIDE NEW UNDERGROUND SECONDARY - 4 # 4/0, 3" C. FROM NEW TRANSFORMER TO NEW METER.
- 3 AREA LIGHTING FIXTURES - AIMING DIRECTION SHALL BE AS DIRECTED BY OWNER OR ENGINEER. CONNECT TO RELOCATED BUILDING SERVICE DROP CABLES EXCEPT WHERE NEW AREA LIGHTING CIRCUIT IS SHOWN.
- 4 REMOVE EXISTING AND PROVIDE NEW #3/0 ALUM. QUADRAPLEX SERVICE DROP.

**GENERAL BUILDING DESCRIPTION:**

- TWO-STORY LIVING UNITS 166' LONG - (1) THRU (8)
- TWO-STORY LIVING UNITS 142' LONG - (9) THRU (24)
- TWO-STORY LIVING UNITS 40' LONG - (25) THRU (34)
- A-FRAME & HIPPED-ROOF COTTAGES - (35) THRU (72)
- ADMINISTRATION BUILDING - (73)
- COMMUNITY BUILDING - (74)
- BUILDING TYPE "F" - (75)  
(MAYOR'S HOUSE)

MARSHALL COURTS - ELECTRICAL DISTRIBUTION  
STRUCTURAL RENOVATIONS/MARSHALL COURTS & ORCUTT HOMES  
PHASE II  
**NEWPORT NEWS REDEVELOPMENT & HOUSING AUTHORITY**  
NEWPORT NEWS, VIRGINIA



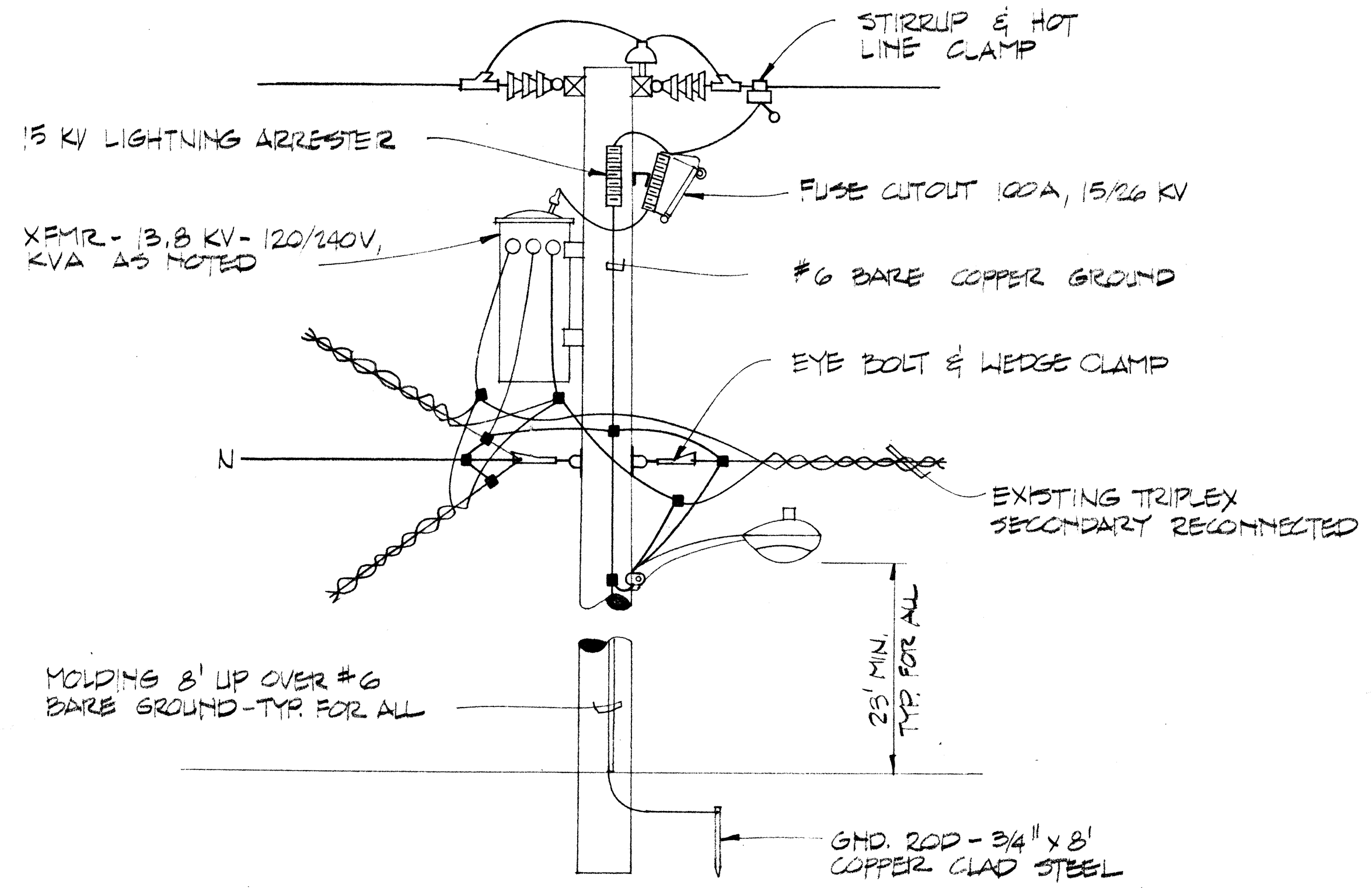
**THE DEYOUNG-JOHNSON GROUP, INC.**  
ENGINEERS - ARCHITECTS - SURVEYORS  
P.O. BOX 197 WILLIAMSBURG, VIRGINIA 23187 (804) 233-0673

**DJG**  
DATE APRIL 27, 1984  
DESIGNED CJB  
DRAWN DBJW  
CHECKED J2W



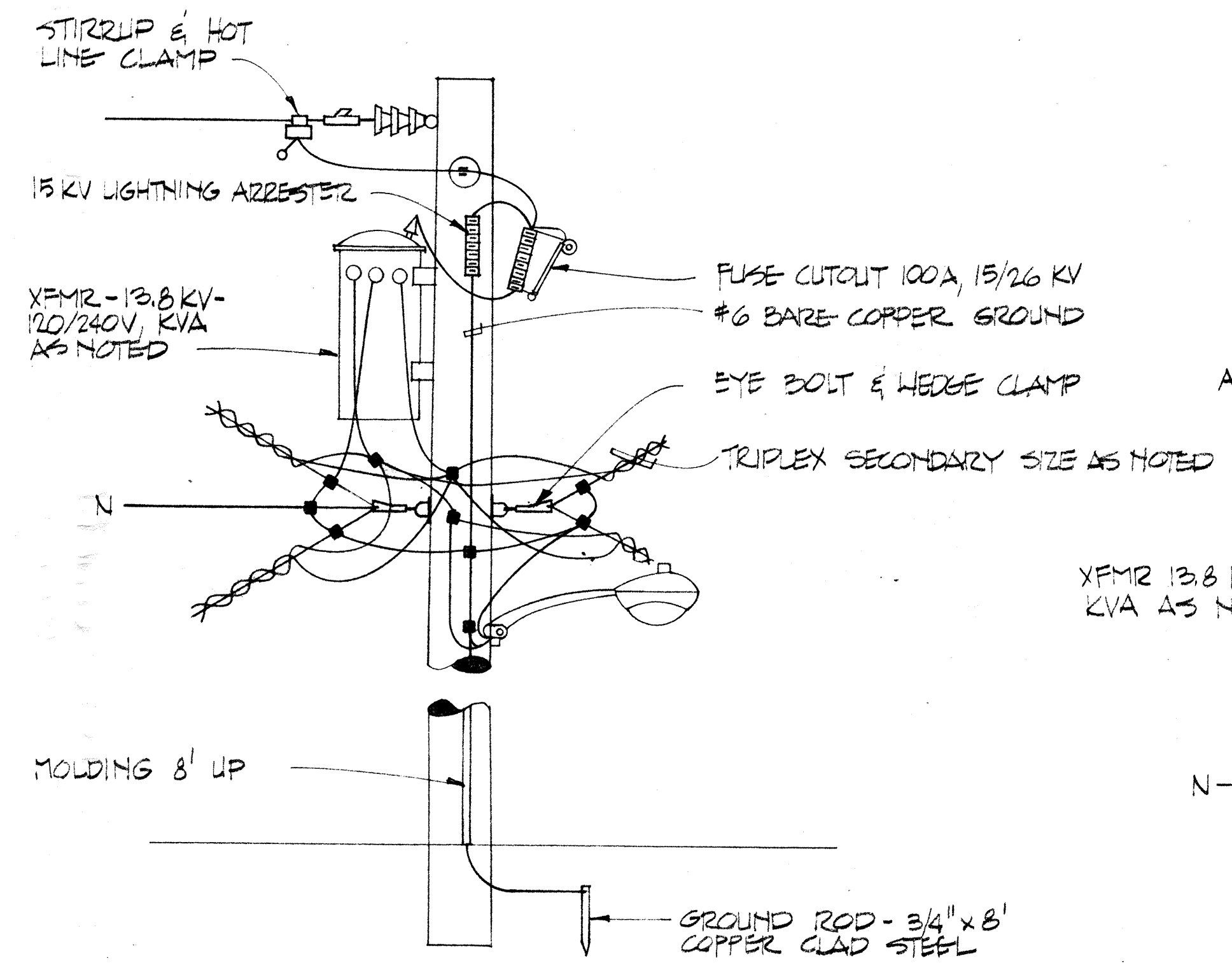
POLE SCHEDULE - MARSHALL COURTS

| POLE NO. | LENGTH CLASS | POLE DETAIL NO. | NO. SINGLE X-ARMS | NO. DOUBLE X-ARMS | NO. PRIMARY GUYS | NO. SECOND. GUYS | XFMTR. KVA / PH | LIGHT |
|----------|--------------|-----------------|-------------------|-------------------|------------------|------------------|-----------------|-------|
| 1        | 45/3         |                 |                   | 3                 |                  |                  |                 |       |
| 2        | 45/3         |                 |                   | 1                 |                  | 2                |                 |       |
| 3        | 45/2         | 3               | 1                 | 2                 |                  |                  | 100 / A         |       |
| 4        | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 5        | 45/3         |                 | 1                 |                   |                  |                  |                 |       |
| 6        | 45/2         |                 |                   |                   |                  |                  | 100 / A         |       |
| 7        | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 8        | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 9        | 45/3         |                 |                   |                   |                  |                  |                 |       |
| 10       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 11       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 12       | 45/2         |                 |                   |                   |                  |                  | 100 / B         |       |
| 13       | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 14       | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 15       | 45/3         |                 |                   |                   |                  |                  |                 |       |
| 16       | 35/4         |                 |                   |                   |                  | 1                |                 |       |
| 17       | 35/4         |                 |                   |                   |                  | 1                |                 |       |
| 18       | 45/2         | 2               |                   |                   |                  |                  | 100 / C         |       |
| 19       | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 20       | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 21       | 45/3         | 1               |                   |                   |                  |                  |                 |       |
| 22       | 45/2         | 3               |                   | 2                 | 1                | 2                | 100 / B         |       |
| 23       | 45/3         | 3               |                   | 2                 | 2                | 2                |                 |       |
| 23A      | EXIST.       | 3               |                   | 2                 | 2                |                  |                 |       |
| 24       | 45/3         | 3               |                   | 2                 | 2                |                  |                 |       |
| 25       | EXIST.       |                 |                   |                   |                  |                  | 3-25/ABC        |       |
| 26       | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 27       | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 28       | 45/3         | 1               |                   |                   |                  |                  |                 |       |
| 29       | 45/3         | 3               |                   | 2                 | 2                |                  |                 |       |
| 30       | EXIST.       |                 |                   |                   |                  |                  |                 |       |
| 31       | EXIST.       |                 |                   |                   |                  |                  |                 |       |
| 32       | 45/2         | 3               |                   | 2                 | 2                |                  | 3-25/ABC        |       |
| 33       | 45/3         |                 |                   |                   |                  | 2                |                 |       |
| 34       | EXIST.       |                 |                   |                   |                  |                  |                 |       |
| 35       | EXIST.       |                 |                   |                   |                  |                  |                 |       |
| 36       | 45/2         | 2               |                   |                   |                  |                  | 100 / C         |       |
| 37       | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 38       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 39       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 40       | EXIST.       |                 |                   |                   |                  |                  |                 |       |
| 41       | 45/3         |                 |                   | 2                 |                  |                  |                 |       |
| 42       | 45/3         |                 |                   | 1                 |                  |                  |                 |       |
| 43       | 45/2         | 3               |                   | 2                 |                  |                  | 75 / A          |       |
| 44       | 45/3         | 1               |                   |                   |                  |                  |                 |       |
| 45       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 46       | 45/2         |                 |                   |                   |                  |                  | 75 / A          |       |
| 47       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 48       | 45/3         |                 |                   |                   |                  |                  |                 |       |
| 49       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 50       | 45/2         |                 |                   |                   |                  |                  | 75 / B          |       |
| 51       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 52       | 45/3         |                 |                   |                   |                  |                  |                 |       |
| 53       | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 54       | 45/2         | 2               |                   |                   |                  |                  | 75 / C          |       |
| 55       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 56       | 45/3         |                 |                   |                   |                  |                  |                 |       |
| 57       | 45/2         |                 |                   |                   |                  |                  | 75 / B          |       |
| 58       | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 59       | 45/3         |                 |                   |                   |                  |                  |                 |       |
| 60       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 61       | 45/2         |                 |                   |                   |                  |                  | 75 / C          |       |
| 62       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 63       | 45/3         |                 |                   |                   |                  |                  |                 |       |
| 64       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 65       | 45/2         |                 |                   |                   |                  |                  | 75 / A          |       |
| 66       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 67       | 45/3         |                 |                   |                   |                  |                  |                 |       |
| 68       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 69       | 45/2         | 2               |                   |                   |                  |                  | 75 / B          |       |
| 70       | 35/4         |                 |                   |                   |                  | 2                |                 |       |
| 5A       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 5B       | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 34A      | 35/4         |                 |                   |                   |                  |                  |                 |       |
| 34B      | 35/4         |                 |                   |                   |                  |                  |                 |       |

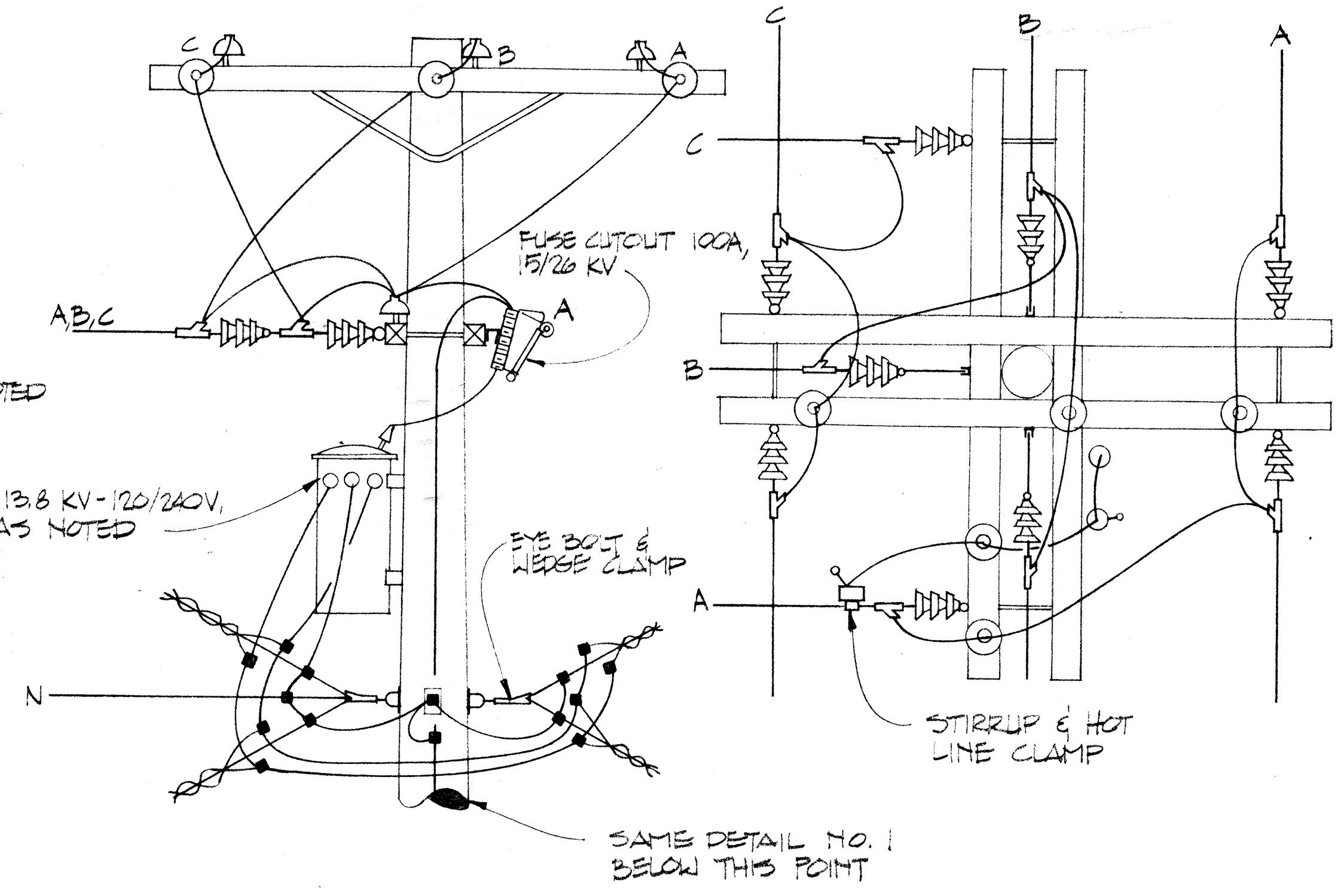


POLE DETAIL NO. 1  
NO SCALE

NOTE: POLE DETAILS DO NOT SHOW SPECIFIC DETAILS FOR ALL SITUATIONS ENCOUNTERED. DETAILS ARE TO GIVE A GENERAL INDICATION OF THE TYPE OF CONSTRUCTION REQUIRED.



POLE DETAIL NO. 2  
NO SCALE



POLE DETAIL NO. 3  
NO SCALE

LEGEND - ELECTRICAL DISTRIBUTION

- EXISTING 3450/5975 VOLT DISTRIBUTION - REMOVE
- S--- EXISTING ALUM. TRIPLEX - DISCONNECT FROM EXIST. TRANSFORMER & CONNECT TO NEW TRANSFORMER
- SL--- EXISTING 2-1 COND AREA LIGHTING CIRCUIT - REMOVE
- NEW 13.2/22.9 KV DISTRIBUTION - #2 ACOR
- SL--- NEW AREA LIGHTING CIRCUIT - #6 AL DUPLEX
- EXISTING WOOD POLE - REMOVE
- ⊙ EXISTING WOOD POLE - TO REMAIN
- NEW WOOD POLE - SEE POLE SCHEDULE FOR NOMENCLATURE & EQUIPMENT
- ▽ EXISTING 3450 - 120/240 VOLT TRANSFORMER - REMOVE
- ▶ NEW 13.2 KV - 120/240 VOLT TRANSFORMER
- EXISTING AREA LIGHT - REMOVE
- NEW AREA LIGHTING FIXTURE - 150W HIGH PRESSURE SODIUM - SEE NOTE 3, SHEET E-1.
- NEW GUY & ANCHOR

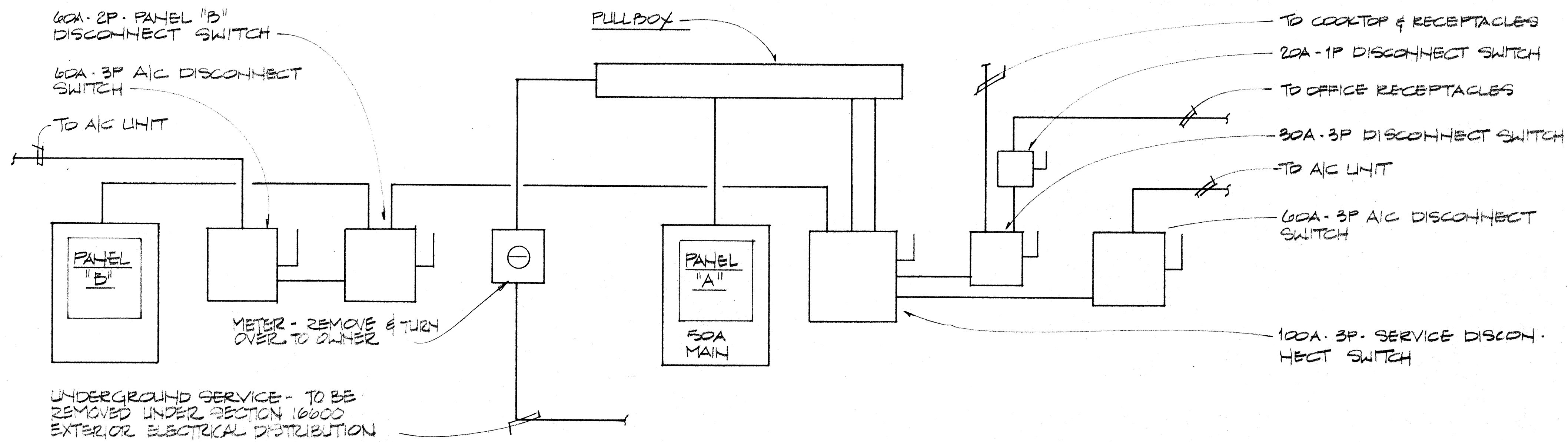
MARSHALL COURTS - ELECTRICAL LEGEND, SCHEDULE & DETAILS  
STRUCTURAL RENOVATIONS/MARSHALL COURTS & ORCUTT HOMES PHASE II  
NEWPORT NEWS REDEVELOPMENT & HOUSING AUTHORITY  
NEWPORT NEWS VIRGINIA



THE DEYOUNG-JOHNSON GROUP, INC.  
ENGINEERS - ARCHITECTS - SURVEYORS  
P.O. BOX 197 WILLIAMSBURG, VIRGINIA 23187 (804) 253-0673

DATE: APRIL 27, 1984  
DESIGNED: CEB  
DRAWN: DBW  
CHECKED: JRW



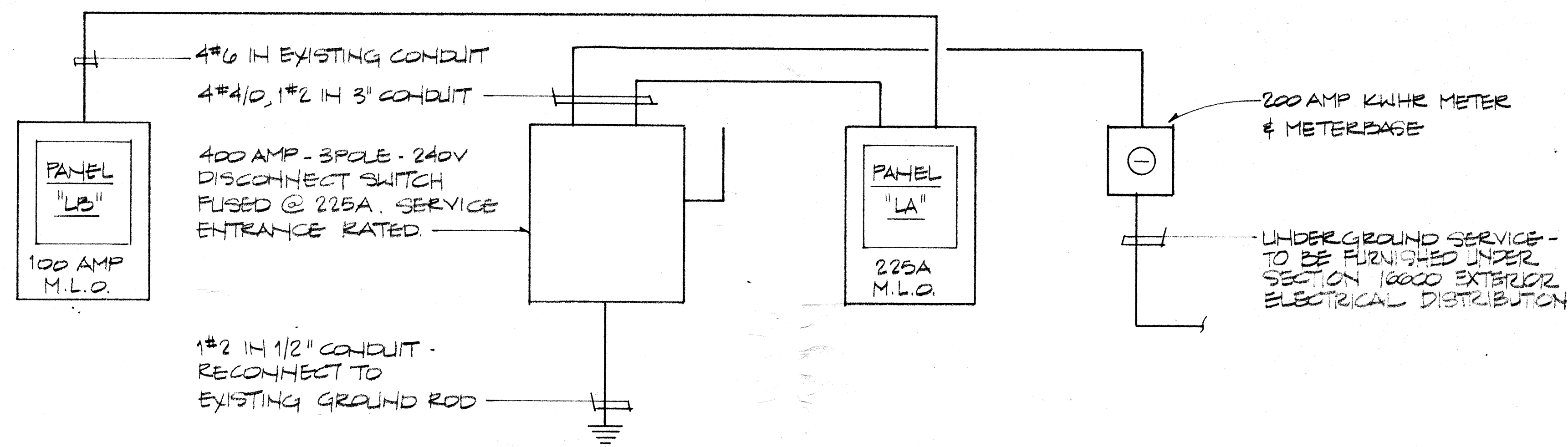


**EXISTING POWER RISER DIAGRAM - ADMIN. BLDG.**

NOT TO SCALE

**NOTE:**

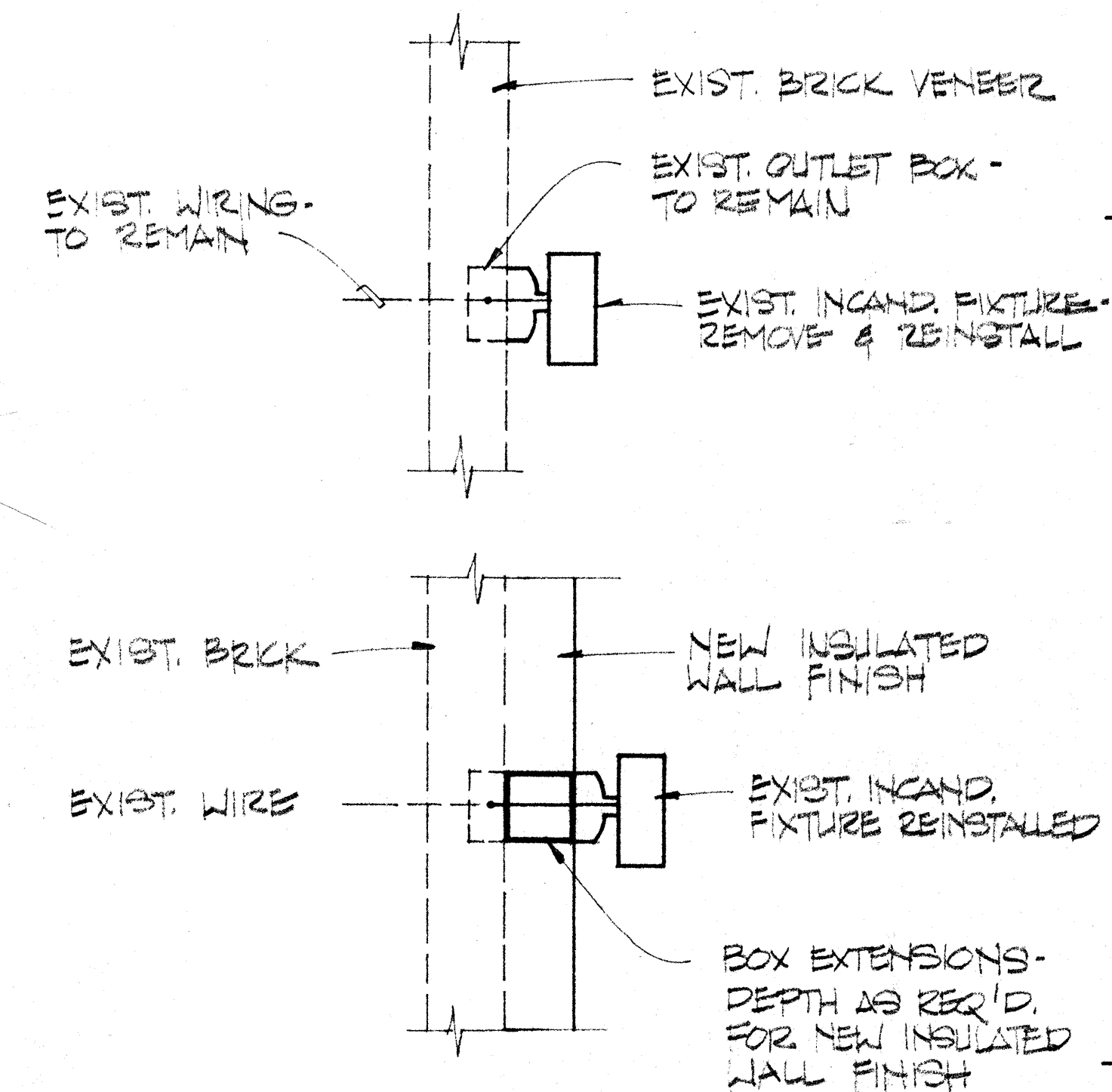
ALL EQUIPMENT SHOWN IS TO BE REMOVED. REMOVE EXPOSED CONDUIT AND ABANDON CONCEALED CONDUIT.



**NEW POWER RISER DIAGRAM - ADMIN. BLDG.**

NOT TO SCALE

| LIGHTING FIXTURE SCHEDULE |                           |      |               |          |
|---------------------------|---------------------------|------|---------------|----------|
| SYM                       | MANUFACTURER'S CATALOG NO | VOLT | LAMPS         | MOUNTING |
| △                         | SIMKAR TYR-244-240-E1     | 120  | 3-F40CW/RS/WM | RECESSED |
| △                         | SIMKAR TYR-224-240-E1     |      | 2-F40CW/RS/WM |          |
| △                         | WIDELITE PAX-T.R-2C-120   |      | W/FIXTURE     | CEILING  |
| △                         | WIDELITE PAX-T.R-1C-120   |      | W/FIXTURE     |          |
|                           |                           |      |               |          |
|                           |                           |      |               |          |

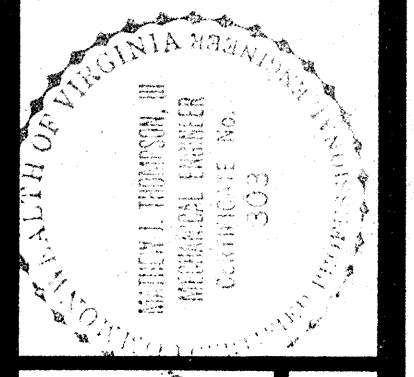


**FRONT & BACK DOOR LIGHT DETAIL**

NO SCALE

NOTE: TWO REQUIRED FOR EACH APARTMENT IN BUILDING 1 THRU 72 - MARSHALL COURTS. SEE BUILDING SITE PLANS FOR NO. OF APARTMENTS.

ELECTRICAL RISER DIAGRAMS & LTS. SCHED. - MARSHALL CTS.  
 STRUCTURAL RENOVATIONS/MARSHALL COURTS & ORCUTT HOMES  
 PHASE II  
**NEWPORT NEWS REDEVELOPMENT & HOUSING AUTHORITY**  
 NEWPORT NEWS VIRGINIA



THE DEYOUNG-JOHNSON GROUP, INC.  
 ENGINEERS - ARCHITECTS - SURVEYORS  
 P.O. BOX 197 WILLIAMSBURG, VIRGINIA 23187 (804) 253-0673  
 DATE APRIL 23, 1984 DESIGNED CRB DRAWN JDT CHECKED JEW



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

A  
B  
C  
D  
E  
F  
G  
H  
I  
J  
K



VIA DESIGN

319 E Plume Street  
Norfolk, VA 23510  
757 627 1489

viadesignarchitects.com

CONSULTANT:

NEWPORT NEWS REDEVELOPMENT and HOUSING AUTHORITY

MARSHALL CT. APT. PHASE VII

741 34th STREET  
NEWPORT NEWS, VA 23607

| REVISIONS # | DATE | DESCRIPTION |
|-------------|------|-------------|
|             |      |             |
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VIA PROJ #: 17031-4

DATE: 2023.07.10

CHECKED BY: Checker

SHEET STATUS:

KEY PLAN:

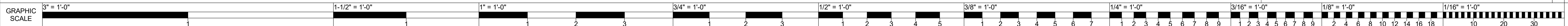
SHEET TITLE:  
1992 COMPREHENSIVE  
RENOVATION - INTERIORS  
REF. SET 3

BUILDING:

SHEET NUMBER:

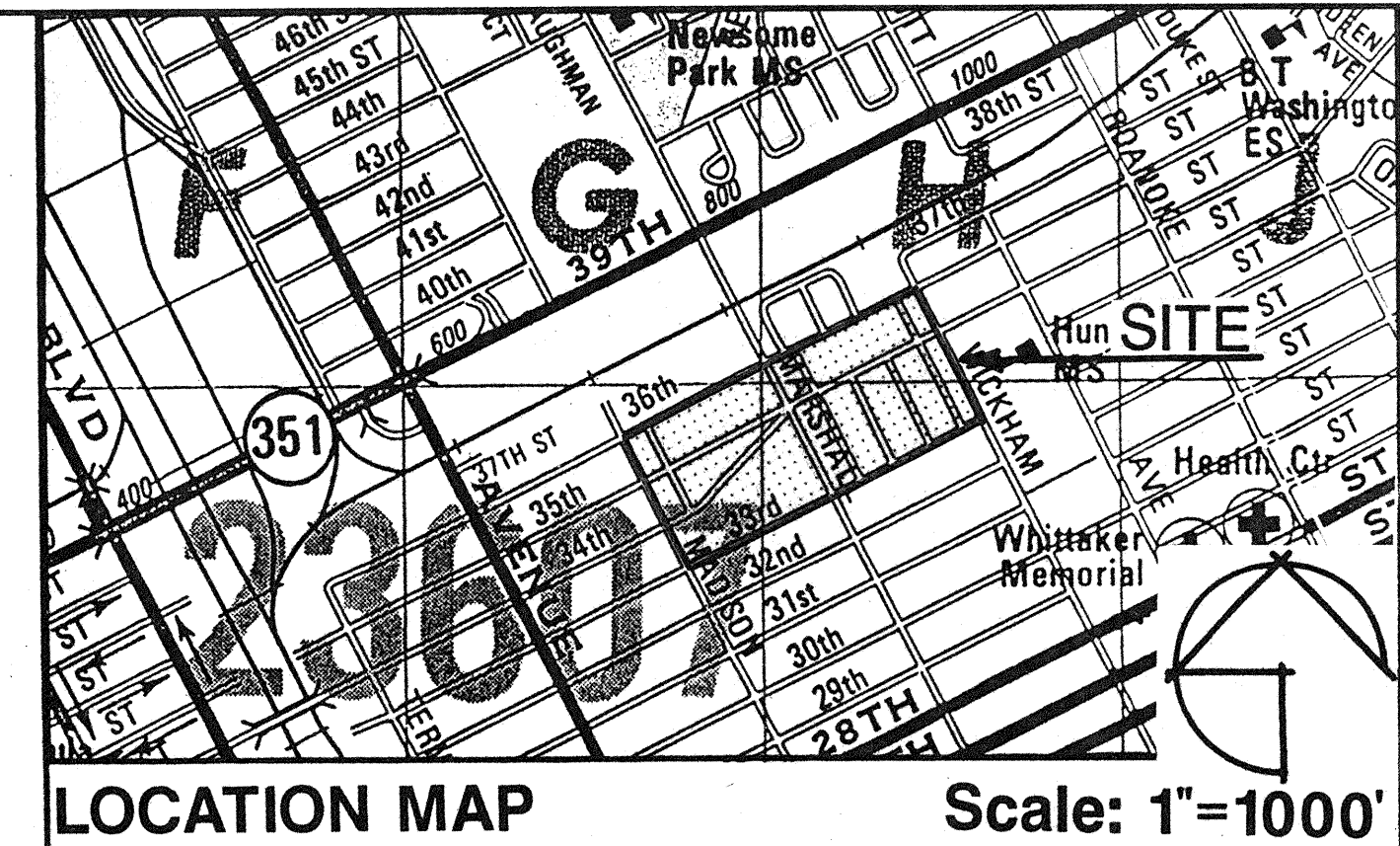
REF. SET 3

# 1992 COMPREHENSIVE RENOVATION - INTERIORS REF. SET 3



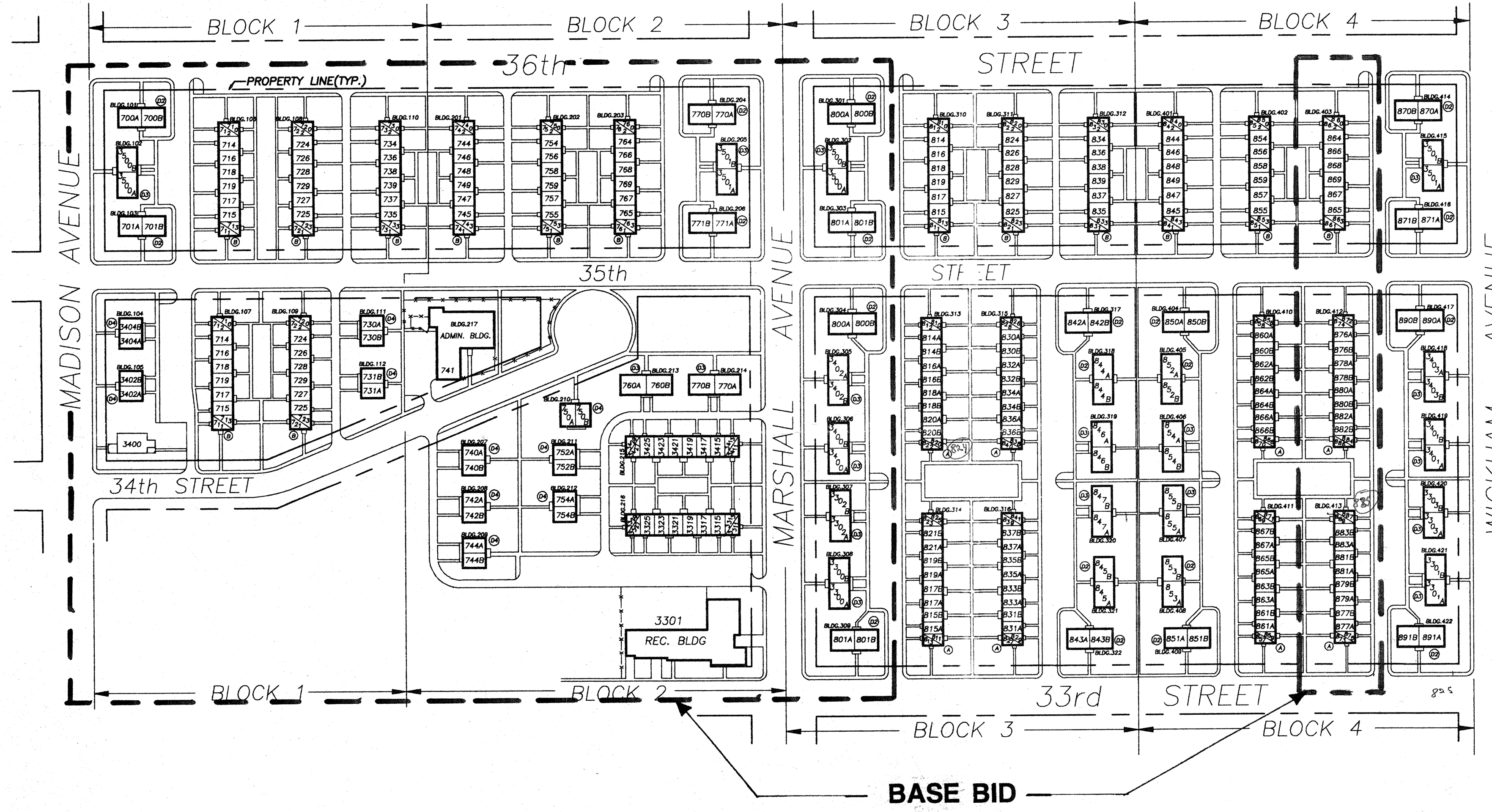


- GENERAL NOTES
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NEWPORT NEWS DEPARTMENT OF ENGINEERING AND PUBLIC UTILITIES, AND THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
  - THE CONTRACTOR SHALL CALL "MISS UTILITIES OF TIDEWATER" AT 1-800-552-7001 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION.
  - PRIOR TO ANY EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER ALL UTILITIES WHICH ARE SHOWN ON THE PLANS OR WHICH HAVE BEEN MARKED BY MISS UTILITIES AS BEING IN THE AREA OF EXCAVATION OR CONSTRUCTION. THE CONTRACTOR SHALL TAKE VERTICAL AND HORIZONTAL MEASUREMENTS ADEQUATE TO DETERMINE IF ANY CONFLICT WILL OCCUR. IF ANY POTENTIAL CONFLICT IS FOUND, THE CONTRACTOR SHALL NOTIFY THE SITE ENGINEER PRIOR TO BEGINNING ANY EXCAVATION OR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AT HIS EXPENSE ALL EXISTING UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND RE-INSTALLING AT HIS EXPENSE ANY UTILITY WHICH MUST BE RELOCATED BECAUSE OF A CONFLICT WHICH WAS NOT REPORTED TO THE SITE ENGINEER PRIOR TO THE BEGINNING OF ANY EXCAVATION OR CONSTRUCTION.
  - THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 24 HOURS IN ADVANCE OF ANY EXCAVATION IN PROXIMITY OF THEIR UTILITIES.
  - PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF NEWPORT NEWS, VIRGINIA.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING WITH MATCHING MATERIALS ANY DRIVEWAYS, WALKS, CURBS, ETC., THAT MUST BE CUT OR ARE DAMAGED DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL PROVIDE TEMPORARY DRAINAGE AND EROSION PROTECTION DURING CONSTRUCTION AS DIRECTED BY THE OWNER OR THE CITY OF NEWPORT NEWS, VIRGINIA.
  - THE CONTRACTOR WILL USE ONLY APPROVED MATERIAL IN THE BACKFILL OF UTILITY TRENCHES.
  - ALL UTILITY TRENCHES SHALL BE COMPACTED AND BACKFILLED TO WITHIN 0.2' OF FINAL SUBGRADE ELEVATION AND GRADED TO DRAIN. EXCESS MATERIAL SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE. ALL FINISHED SLOPES IN UTILITY BASEMENTS OR IN RIGHTS-OF-WAY NOT SUBJECT TO PAVING SHALL BE TOPSOILED AND SEEDDED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CITY OF NEWPORT NEWS.
  - A LAND DISTURBING PERMIT IS REQUIRED.
  - FOR SIGN CONDITIONS FOR SITE, CONTACT THE DEPARTMENT OF CODES COMPLIANCE AT 247-8871.
  - TREES TO BE PROTECTED IN ACCORDANCE WITH VIRGINIA EROSION CONTROL STANDARDS.
  - ALL UTILITIES SHALL BE PLACED UNDERGROUND IN ACCORDANCE WITH THE CITY OF NEWPORT NEWS UNDERGROUND UTILITY ORDINANCE.
  - DUCTILE IRON SANITARY SEWER SHALL BE USED EXCLUSIVELY WHEN COVER OVER THE SANITARY SEWER IS LESS THAN 36 INCHES OR GREATER THAN 10 FEET.
  - EXTERIOR LIGHTING MUST PROVIDE A MINIMUM ILLUMINATION LEVEL OF 0.25 LUMENS PER SQUARE FOOT OF PARKING LOT & DRIVING AREA.
  - ALL LIGHTING SHALL BE DIRECTED INWARD ON SITE.
  - ELEVATIONS AS SHOWN HEREON ARE BASED ON U.S. NATIONAL OCEAN SURVEY DATUM (FORMERLY U.S.C. & G.S. DATUM); MEAN SEA LEVEL = 0.00.
  - ALL DIMENSIONS ARE TO FACE OF CURB.
  - SEE ARCHITECTURAL BUILDING PLANS FOR DIMENSIONS OF BUILDING.
  - THE CONTRACTOR SHALL CALL THE CITY OF NEWPORT NEWS CONSTRUCTION INSPECTION DEPARTMENT AT 245-5700 TO INSPECT THE SITE BEFORE ANY CLEARING BEGINS.
  - WITHIN GREEN AREAS, ALL EXISTING TREES OF AT LEAST 5" CALIPER (MEASURED 6" ABOVE GRADE) SHALL BE RETAINED.
  - ON-SITE EXTERIOR CONCRETE IS TO BE A MINIMUM OF 3500 PSI WITH 54-7# AIR ENTRAINMENT.
  - STORM BALES WILL BE PLACED AROUND ALL STORM DRAINAGE INLETS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
  - THE SITE CONSTRUCTION ENTRANCE(S) WILL HAVE VIRGINIA DEPARTMENT OF TRANSPORTATION NO. 1 STONE (6" DEPTH X 50' LONG).
  - ALL DENuded AREAS OF THE SITE WILL BE TOPSOILED AND SEEDDED IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, SECTIONS 1.65 - 1.68.



**SCHEDULE OF CONTENTS**

| TYPE   | NUMBER | CONTENTS                                  | DWELLING UNITS |        |        |        | TOTAL D.U.'S    |
|--|--------|---|----------------|--------|--------|--------|-----------------|
|  |        |   | 1 BDR.         | 2 BDR. | 3 BDR. | 4 BDR. |                 |
| A  | 8      | 4 D.U. 1BR.<br>8 D.U. 2BR.                | 32             | 64     | —      | —      | 96              |
| B  | 16     | 4 D.U. 1BR.<br>4 D.U. 2BR.<br>2 D.U. 3BR. | 64             | 64     | 32     | —      | 160             |
| D2   | 20     | 2 D.U. 2BR.                               | —              | 40     | —      | —      | 40              |
| D3   | 18     | 2 D.U. 3BR.                               | —              | —      | 36     | —      | 36              |
| D4   | 10     | 2 D.U. 4BR.                               | —              | —      | —      | 20     | 20              |
| F  | 1      | 1 D.U. 2BR.                               | —              | —      | —      | 1      | 1               |
|  | 73     | TOTALS                                    | 96             | 169    | 68     | 20     | 353             |
|  |        | PERCENT                                   | 27.2           | 47.9   | 19.3   | 5.6    | 100             |
| C SERVICE-RECREATION & ADMINISTRATION BLDG.  |        |   |                |        |        |        |                 |
| AVERAGE NUMBER ROOMS PER DWELLING UNIT       |        |   |                |        |        |        | 4.4             |
| AREA OF SITE WITHIN PROPERTY LINES           |        |   |                |        |        |        | 880,703 SQ. FT. |
| AREA COVERED BY DWELLING BUILDINGS           |        |   |                |        |        |        | 172,777 SQ. FT. |
| PERCENTAGE OF SITE AREA COVERED BY BUILDINGS |        |   |                |        |        |        | 19.6%           |

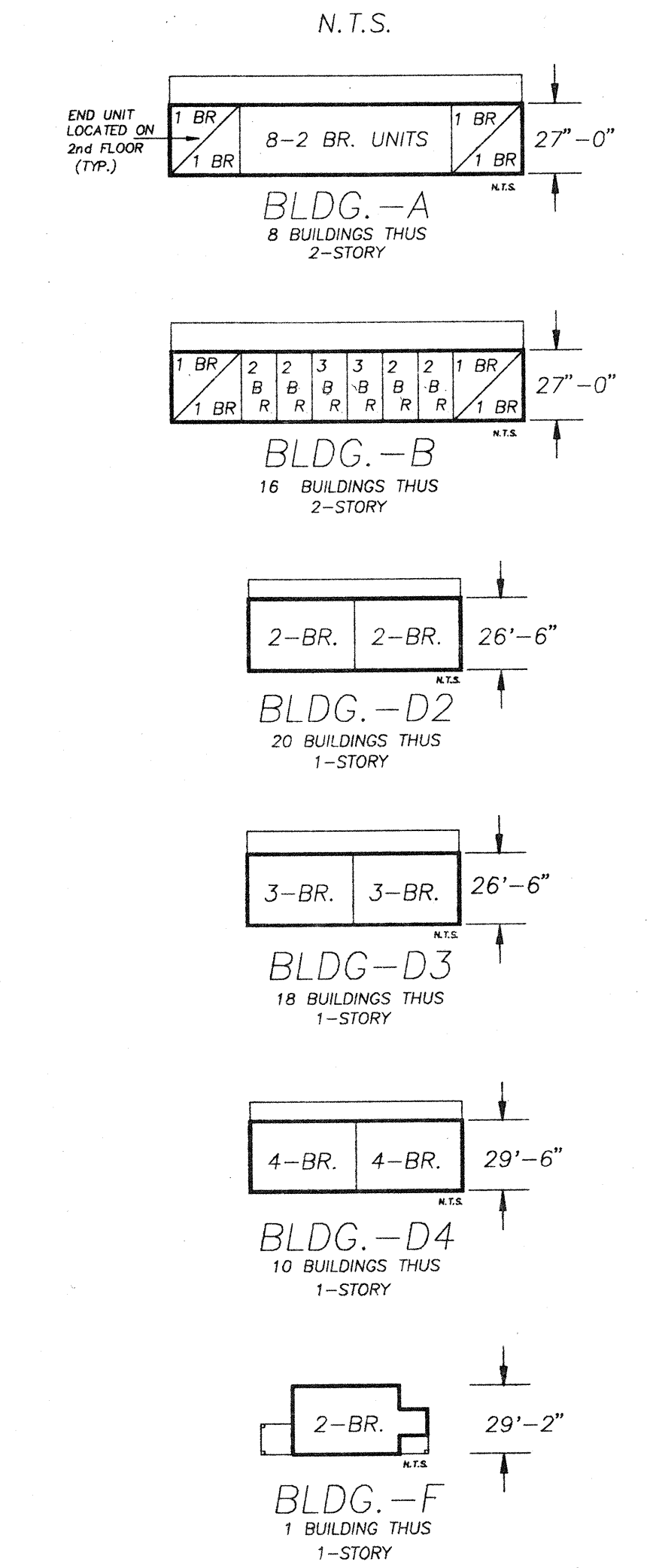


NOTE: BASE BID INCLUDES ALL WORK WITHIN AREAS BOUNDED BY HEAVY DASHED LINE

SITE KEY PLAN  
EXISTING CONDITIONS  
SCALE 1"=100'

NOTES:

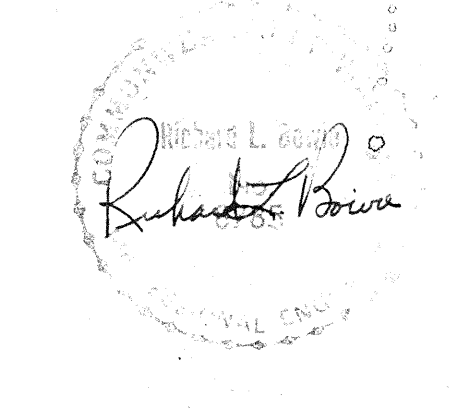
- DO NOT USE THESE PLANS FOR SCALING DIMENSIONS.
  - TALBOT AND ASSOCIATES HAS NOT PERFORMED A BOUNDARY SURVEY FOR THIS PROJECT. PROPERTY LINES, R/W LINES, AND EXISTING FEATURES SHOWN HEREON ARE COMPILED AND ESTIMATED FROM AVAILABLE NNRHA DRAWINGS.
  - PROVIDE CONCRETE PADS & CHAIN LINK FENCE ENCLOSURES FOR NEW A.C. CONDENSER EQUIP.
- |                      |               |
|----------------------|---------------|
| BLDG. TYPE D2        | BLDG. TYPE D3 |
| 770A 770B (36th ST.) | 3300A 3300B   |
| 770A 770B (35th ST.) | 3302A 3302B   |
| 771A 771B            | 3400A 3400B   |
| 800A 800B            | 3402A 3402B   |
| 801A 801B            | 3501A 3501B   |
- SEE DETAIL Z/C-7 & MECHANICAL DRAWINGS FOR EXACT SIZE & LOCATION.



NOTE: THE TOTAL NUMBER OF DWELLING UNITS TO BE RENOVATED AS PART OF THE BASE BID IS 189.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

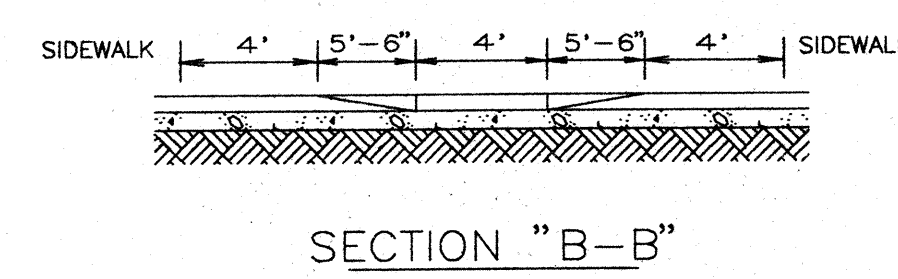
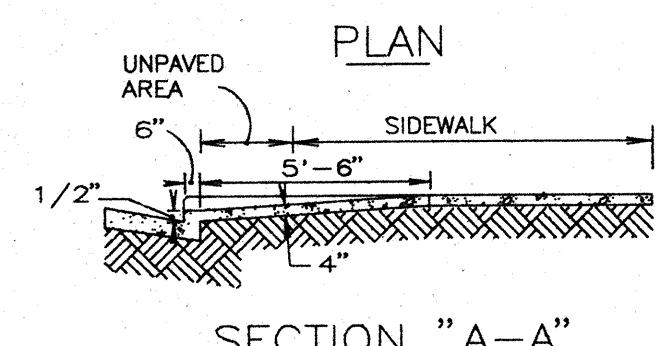
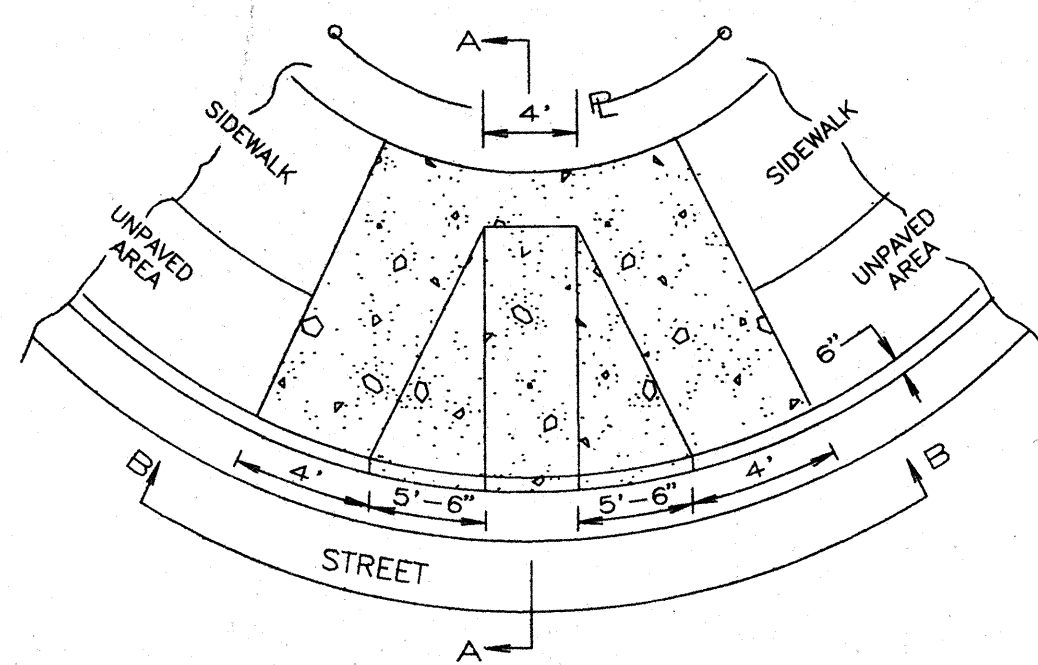


|             |                  |
|-------------|------------------|
| Designed:   | J.E.M.           |
| Drawn:      | A.P.F.Jr.        |
| Checked:    | W.B.B.           |
| Scale:      | N.T.S.           |
| Date:       | JANUARY 31, 1992 |
| File No:    | 901003/C-1.DWG   |
| Project No: | 901003A          |

SITE PLAN KEY

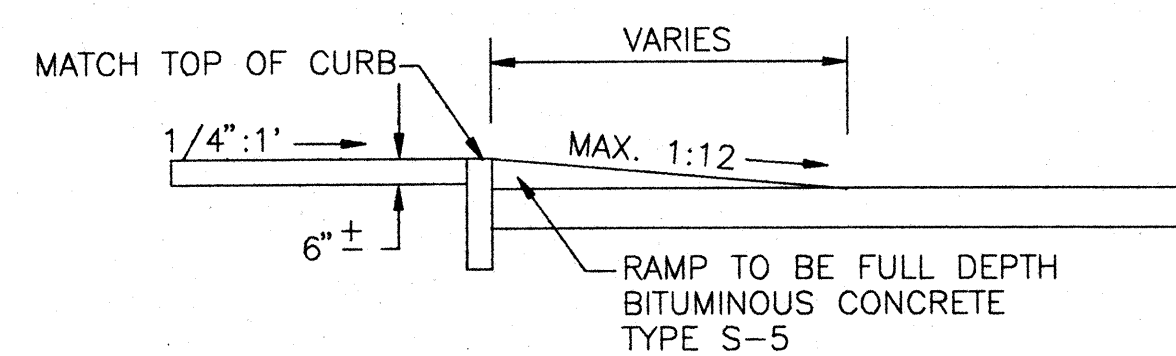


NOTE:  
DETAILS 1 THRU 3 - NOT USED

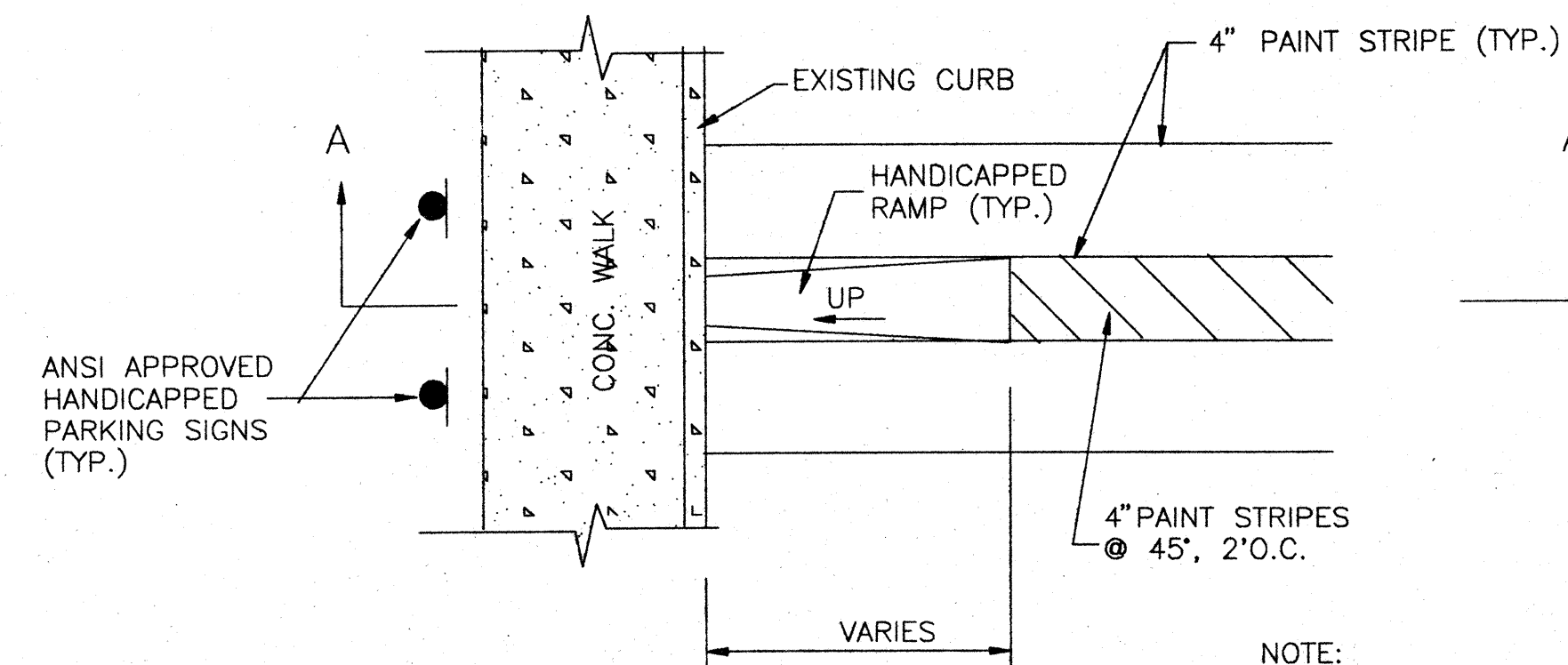


NOTE:  
ALL CONCRETE SHALL  
BE 3500 p.s.i. AIR  
ENTRAINED. (TYP.)

NOTE:  
CONTRACTOR SHALL FIELD  
VERIFY HEIGHTS OF CURBS  
PRIOR TO CONSTRUCTING  
CONCRETE RAMP



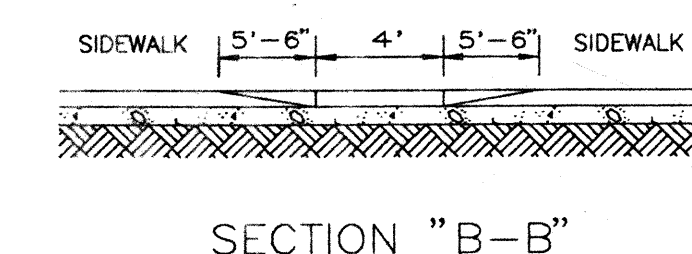
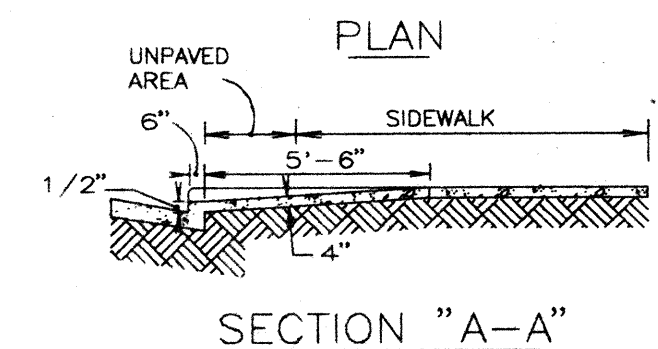
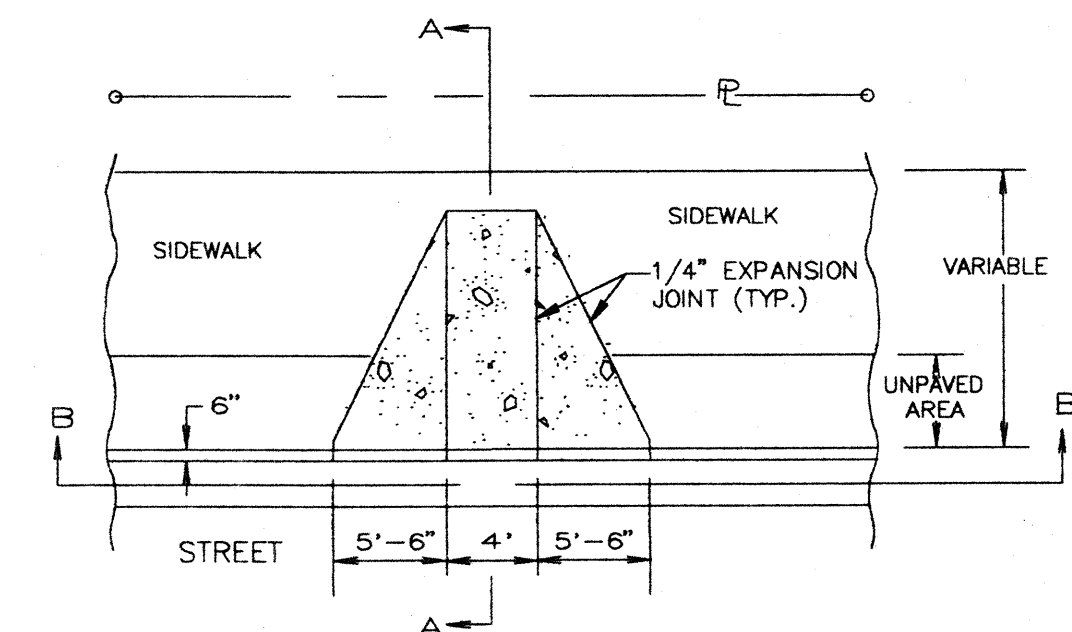
SECTION "A-A"



ANSI APPROVED  
HANDICAPPED  
PARKING SIGNS  
(TYP.)

NOTE:  
ALL CONCRETE SHALL  
BE 3500 p.s.i. AIR  
ENTRAINED. (TYP.)

5 DETAIL @ PROPOSED HANDICAP PARKING SPACES  
SCALE: N.T.S.



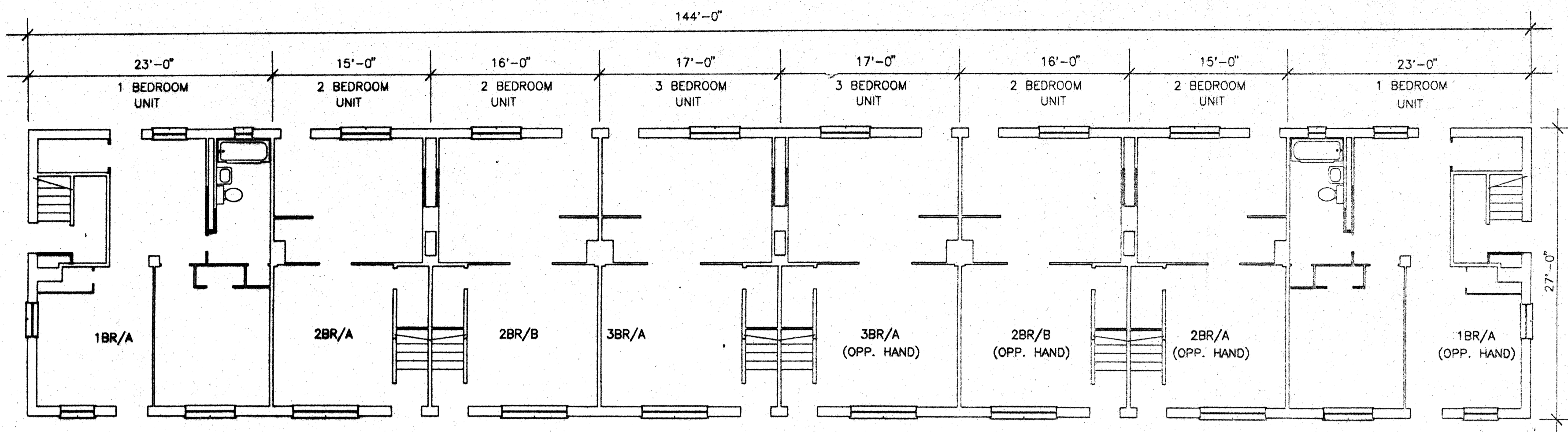
NOTE:  
ALL CONCRETE SHALL  
BE 3500 p.s.i. AIR  
ENTRAINED. (TYP.)

6 PLAN @ PROPOSED TANGENT RAMPS FOR SIDEWALK  
SCALE: N.T.S.

4 PLAN @ PROPOSED RADIAL HANDICAP RAMP  
SCALE: N.T.S.

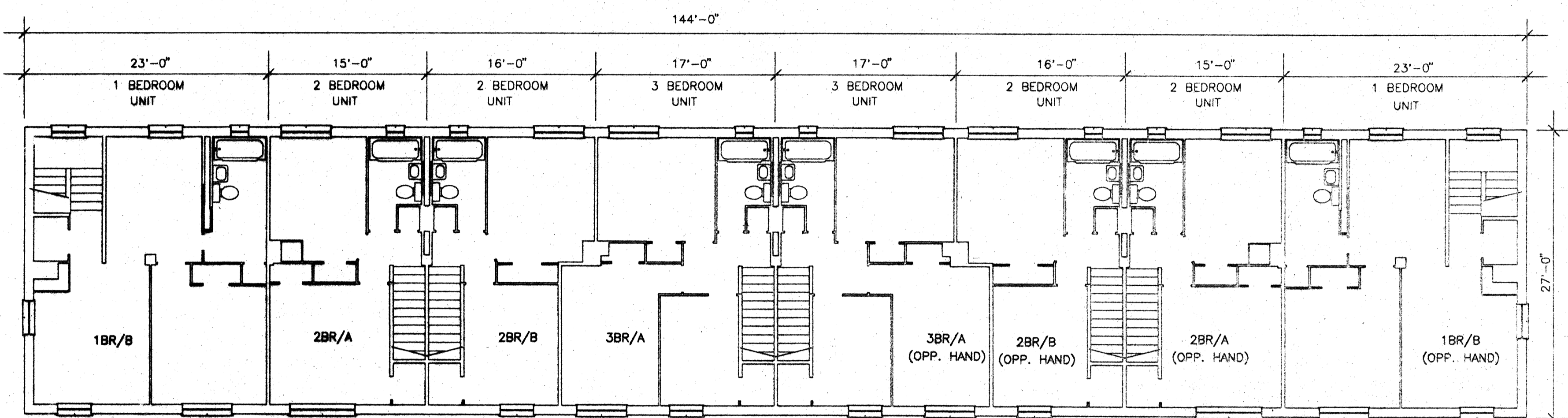
C6





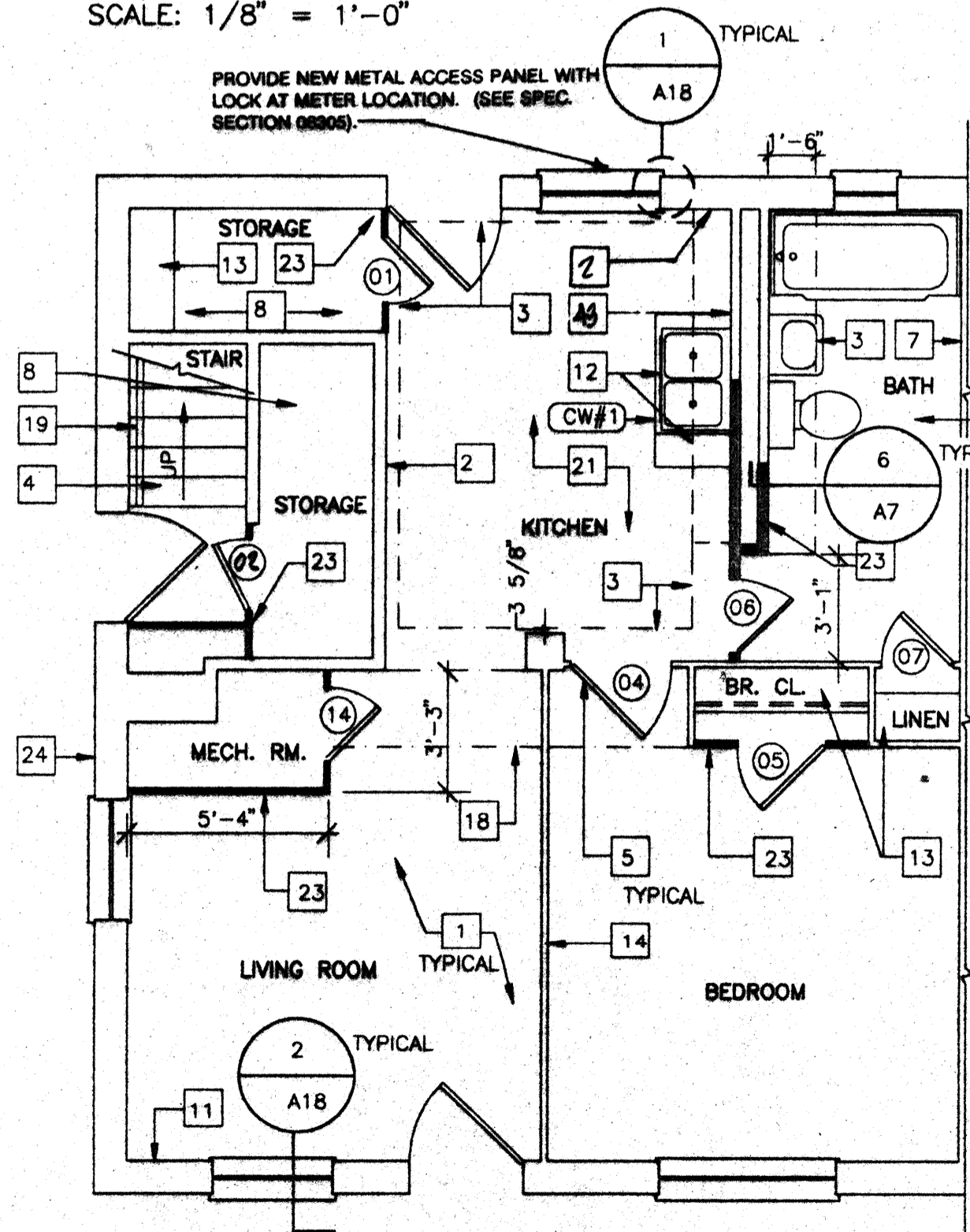
FIRST FLOOR PLAN - BUILDING "B"

SCALE: 1/8" = 1'-0"



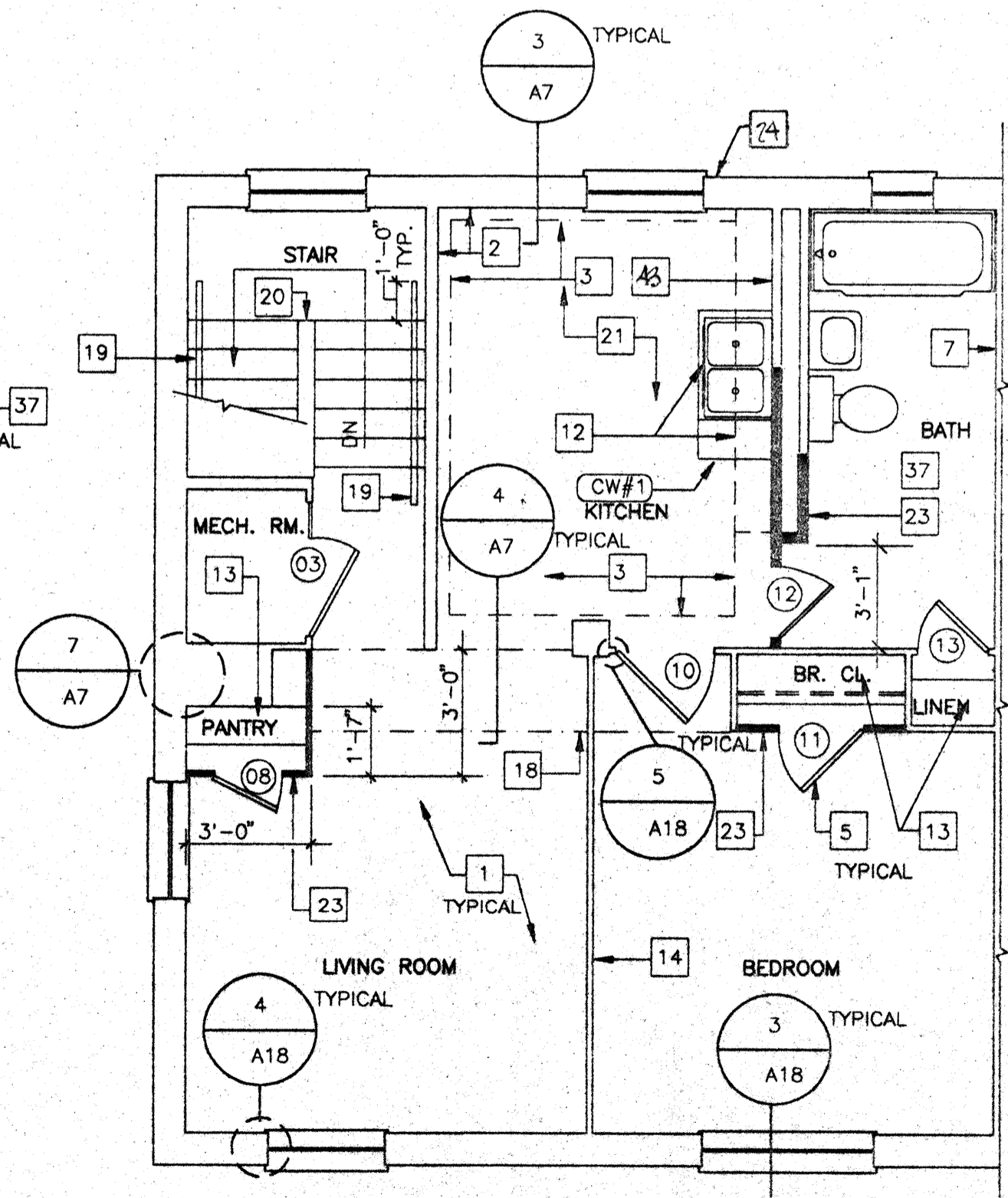
SECOND FLOOR PLAN - BUILDING "B"

SCALE: 1/8" = 1'-0"



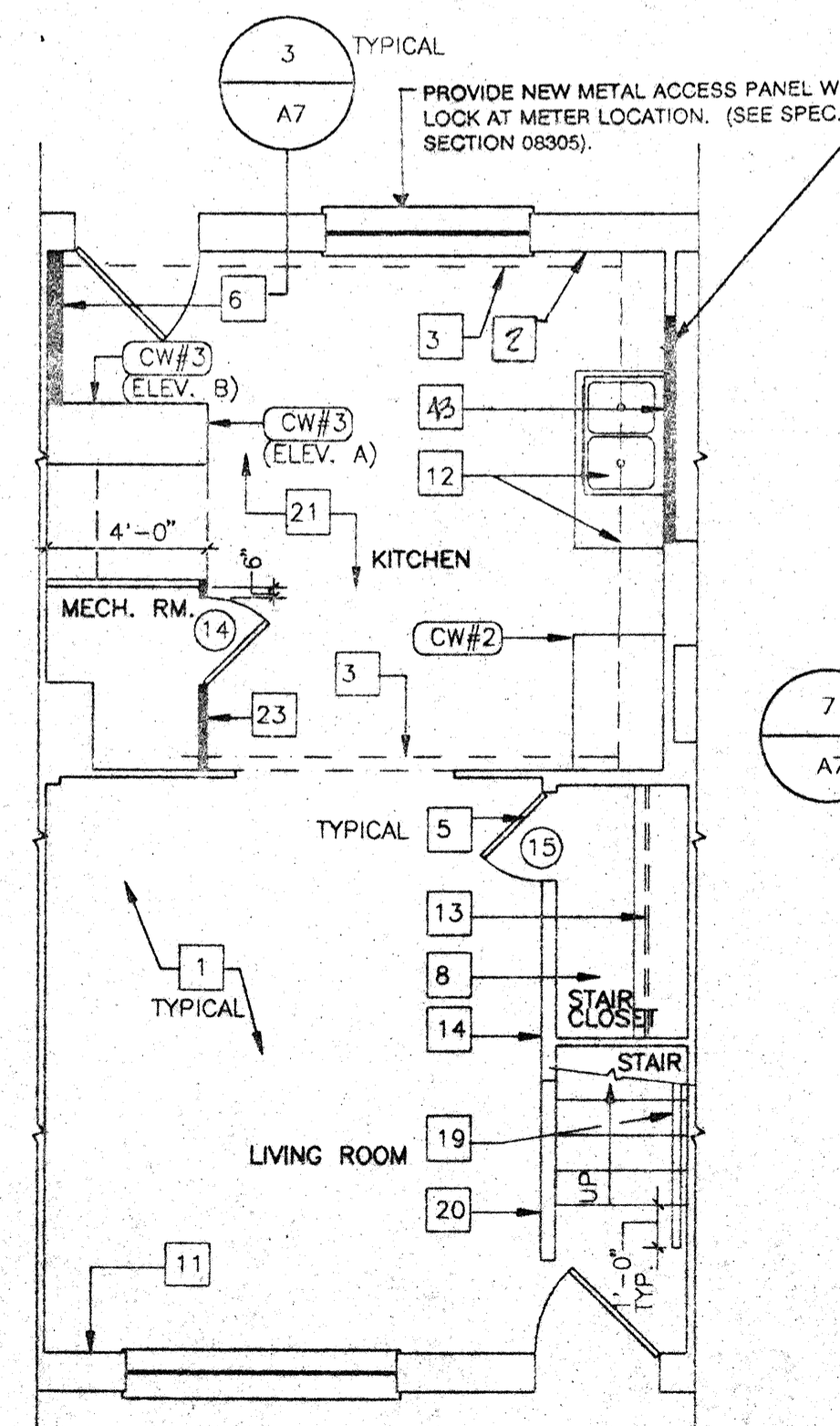
1ST FL. - UNIT 1BR/A

SCALE: 1/4" = 1'-0"



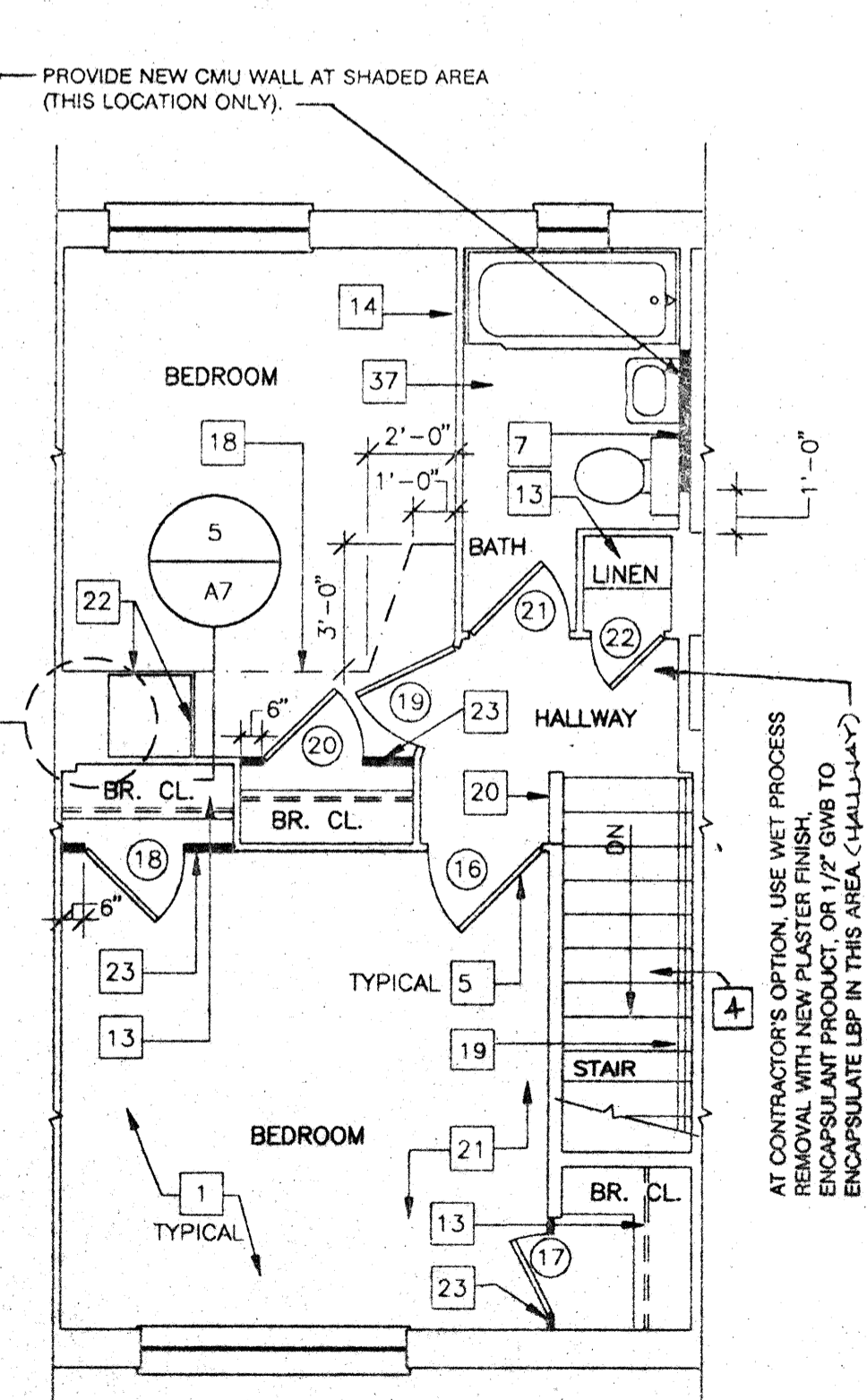
2ND FL. - UNIT 1BR/B

SCALE: 1/4" = 1'-0"



1ST FL. - UNIT 2BR/A

SCALE: 1/4" = 1'-0"



2ND FL. - UNIT 2BR/A

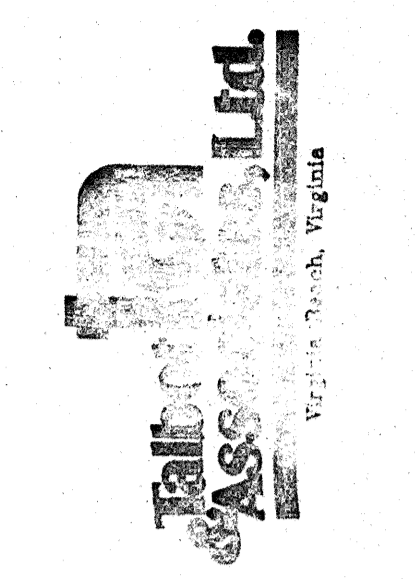
SCALE: 1/4" = 1'-0"

NEW WORK NOTES

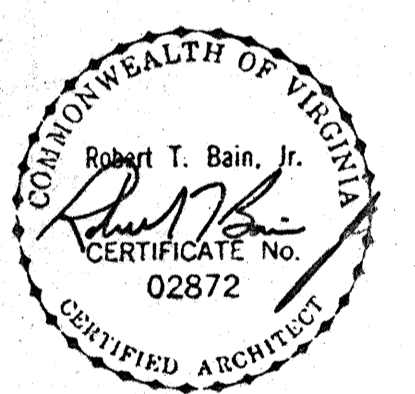
1. PROVIDE NEW 1/2" GYPSUM WALLBOARD, SCREW & LAMINATE TO EXISTING PLASTER/CMU PARTITIONS, EXIST. FURRING, COLUMNS & BEAMS (TYPICAL ALL SPACES THROUGHOUT UNIT)
2. PROVIDE NEW 1-1/2" METAL FURRING CHANNELS & 1/2" GYPSUM WALLBOARD. (ENTIRE WALL)
3. PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFIT W/ REMOVABLE 1/2" PLYWOOD FRONT PANEL.
4. PROVIDE NEW RUBBER STAIR TREADS.
5. PROVIDE NEW HOLLOW CORE WOOD DOORS. SEE DOOR SCHEDULE, SHEET A17. (TYPICAL ALL INTERIOR WOOD DOORS, PROVIDE HM FRAMES AS INDICATED ON DOOR SCHEDULE. DOOR TO BE CENTERED IN NEW PARTITION UNLESS OTHERWISE DIMENSIONED).
6. PROVIDE NEW 3-5/8" METAL STUD & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT, WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. STAGGER MTL. STUDS WHERE REQUIRED TO PROVIDE FLUSH TRANSITION INTO EXIST. WALL OR NEW MTL. FURRING. TYP. ALL LOCATIONS INDICATED UNLESS OTHERWISE NOTED.
7. PROVIDE NEW 1 X 4 WOOD CHAIR RAIL. (MTG. HEIGHT-36" TO C OF RAIL) SEE DETAIL 5/A10.
8. PROVIDE 1/2" PLYWOOD AT UNDERSIDE OF STAIR OR LANDING (SECURE TO BOTTOM OF STRINGER OR SUPPORT CHANNELS).
9. PROVIDE NEW 1/4" PLYWOOD ACCESS PANEL & TRIM. PROVIDE NEW FRAMED OPENING @ BLDG. D2 HANDICAPPED CONVERSION ONLY.
10. PROVIDE NEW EXTERIOR METAL DOOR W/SCREEN IN NEW HOLLOW METAL FRAME. PROVIDE NEW BLOCKING AND FINISH WALL. SEE SHEET A17 FOR SCHEDULE & DETAILS. (TYPICAL ALL DOORS @ DAYCARE UNIT, D2 HANDICAPPED CONVERSION & D3 HANDICAP CONVERSION)
11. PROVIDE NEW 7/8" METAL FURRING CHANNELS & 1/2" GWB. (ENTIRE WALL)
12. PROVIDE NEW NATURAL FINISH PLYWOOD AND SOLID WOOD CABINETS, NEW COUNTERTOPS AND FULL HEIGHT BACKSPASH.
13. PROVIDE NEW WOOD SHELVING AND RODS. (2 SHELVES EA. @ STORAGE, 4 SHELVES EA. @ LINEN & PANTRY, 1 ROD & 2 SHELVES EA. @ BEDROOM & COAT CLOSETS, 2 RODS & 2 SHELVES EA. @ STAIR CLOSETS, 1 ROD & 1 SHELF EA. @ BATH. FOR DETAILS, SEE SHEET A19).
14. PROVIDE NEW 4" WOOD BASE. (TYPICAL ALL PARTITIONS) - SEE 8/A10
15. PROVIDE NEW 6" METAL STUD PARTITION WITH 1/2" GYPSUM WALLBOARD.
16. PROVIDE NEW HOLLOW METAL DOOR FRAMES.
17. PROVIDE NEW 1/2" GYPSUM WALLBOARD CEILING, SLOPE TO MATCH STAIR - SEE SECTION 1/A13.
18. PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFITS.
19. PROVIDE NEW 1-1/2" WOOD HANDRAIL SUPPORTED BY NEW METAL BRACKETS & SECURED TO EXISTING PARTITION. (CLEAR STAIN FINISH, SEE DETAILS 6 & 7/A19).
20. PROVIDE NEW WOOD CAP. (CLEAR STAIN FINISH) SEE DETAIL 6/A10.
21. PROVIDE NEW 12" X 12" VINYL COMPOSITION FLOOR TILE THROUGHOUT UNIT - ALL SPACES. (UNLESS OTHERWISE NOTED.)
22. PROVIDE NEW 1/2" GYPSUM WALLBOARD FASTENED TO EXISTING METAL FRAMED DUCT ENCLOSURE.
23. PROVIDE NEW 2-1/2" METAL STUDS & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT, WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. TYPICAL ALL LOCATIONS INDICATED.
24. PATCH HOLES RESULTING FROM MECHANICAL DEMOLITION PER SPEC. SECTION 07242A (SEE MECHANICAL DRAWINGS).
25. PROVIDE NEW 1 X 6 WD TRIM AT AREA BETWEEN WINDOWS. (SHAPE TO MATCH EXISTING.)
26. PATCH EXIST. OPENING RESULTING FROM MECHANICAL DEMOLITION IN SECOND FLOOR SLAB WITH CONCRETE. (SEE MECHANICAL DRAWINGS)
27. PROVIDE 2 1/2" METAL STUD CEILING FRAMING WITH 1/2" GWB THIS SIDE OF BEAM ONLY IN HALLWAY. BOTTOM OF DROP CLG. TO BE 3/4" HIGHER THAN BOTTOM OF EXIST. BEAM. COORDINATE LOCATION OF FRAMING WITH MECHANICAL DUCT. (SEE SHEET M-6.)
28. PROVIDE NEW HOLLOW CORE FLUSH WOOD BI-FOLD DOOR, TYPE E AS SHOWN ON SHEET A17. PROVIDE HARDWARE PER SPECIFICATION SECTION 08700. INSTALL DOOR VIA FLOOR & CEILING CONNECTIONS ONLY.
29. 36. NOT SHOWN.
37. PROVIDE NEW BATH ACCESSORIES, TO INCLUDE TOILET TISSUE DISPENSER, TOWEL BAR, TUMBLER/TOOTHBRUSH HOLDER, SOAP DISH AND SHOWER CURTAIN ROD, PER SPECIFICATION SECTION 10800. SEE BATH PARTIAL PLANS, SHEET A10.
38. 42. NOT SHOWN.
43. PROVIDE NEW 2"x2" WOOD FURRING WITH 1/2" GWB. (ENTIRE WALL).

GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION & SHALL COORDINATE THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
2. ALL PARTITIONS SHOWN THUS (---) INDICATE NEW PARTITIONS
3. FOR CONSTRUCTION NOTES APPLICABLE TO THIS UNIT, REFER TO OPPOSITE HAND UNIT THIS PLAN, UNLESS OTHERWISE NOTED (I.E. EXISTING PARTITION DEMOLITION). ALL DETAIL/SECTION SYMBOLS APPLY TO BOTH UNITS.
4. WORK NOTES INDICATED ARE MASTER NOTE LISTS. SOME NOTES MAY NOT BE APPLICABLE TO THE CORRESPONDING SHEETS ON WHICH THEY APPEAR.
5. FOR DWELLING UNIT DOOR SCHEDULE & DETAILS, REFER TO SHEETS A17 & A18.
6. FOR DWELLING UNIT CASEWORK ELEVATIONS & DETAILS, REFER TO SHEET A19.
7. EXISTING ACCESS PANELS SHOWN AT APPROXIMATE LOCATION & SIZE. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION & DIMENSIONS.
8. ALL PARTITIONS SHOWN THUS (///) INDICATE PARTITIONS TO BE REMOVED
9. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
10. PATCH & CLEAN ALL CEILING SURFACES PRIOR TO PAINTING (QUANTITY - APPROXIMATELY SIX (6) 1' x 2' DEEP PENETRATIONS PER UNIT).
11. CONTRACTOR SHALL PROVIDE 1/2" GWB AT ALL EXPOSED SURFACES OF BEAMS & COLUMNS. TYP. THROUGHOUT ALL UNITS.
12. PAINT NEW & EXIST. INTERIOR SURFACES WITHIN THE ENTIRE UNIT. SURFACES TO BE PAINTED INCLUDE BUT ARE NOT LIMITED TO WALLS, CEILINGS, ACCESS PANELS, TRIM, METAL PANEL ENCLOSURES, FURNACE HOUSING, DUCT WORK, BEAMS, COLUMNS, DOORS & FRAMES, WOOD TRIM, HANDRAILS, RODS, SHELVES, & SUPPORTS (TYP. THROUGHOUT ALL UNITS).
13. FOR BATH PARTIAL PLANS & DETAILS, SEE SHEET A10.
14. FOR BID ALTERNATE WORK, SEE SHEETS A29 THRU A31.
15. IN ADDITION TO THE WORK INDICATED ON THIS PLAN, THE CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE CORRESPONDING DEMOLITION PLAN LOCATED ON THE SHEET REFERENCED THUS (GN#19/A1).
16. ALL PARTITIONS SHOWN THUS (---) INDICATE NEW 2X4 WOOD PARTITIONS.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS  
NEWPORT NEWS, VA

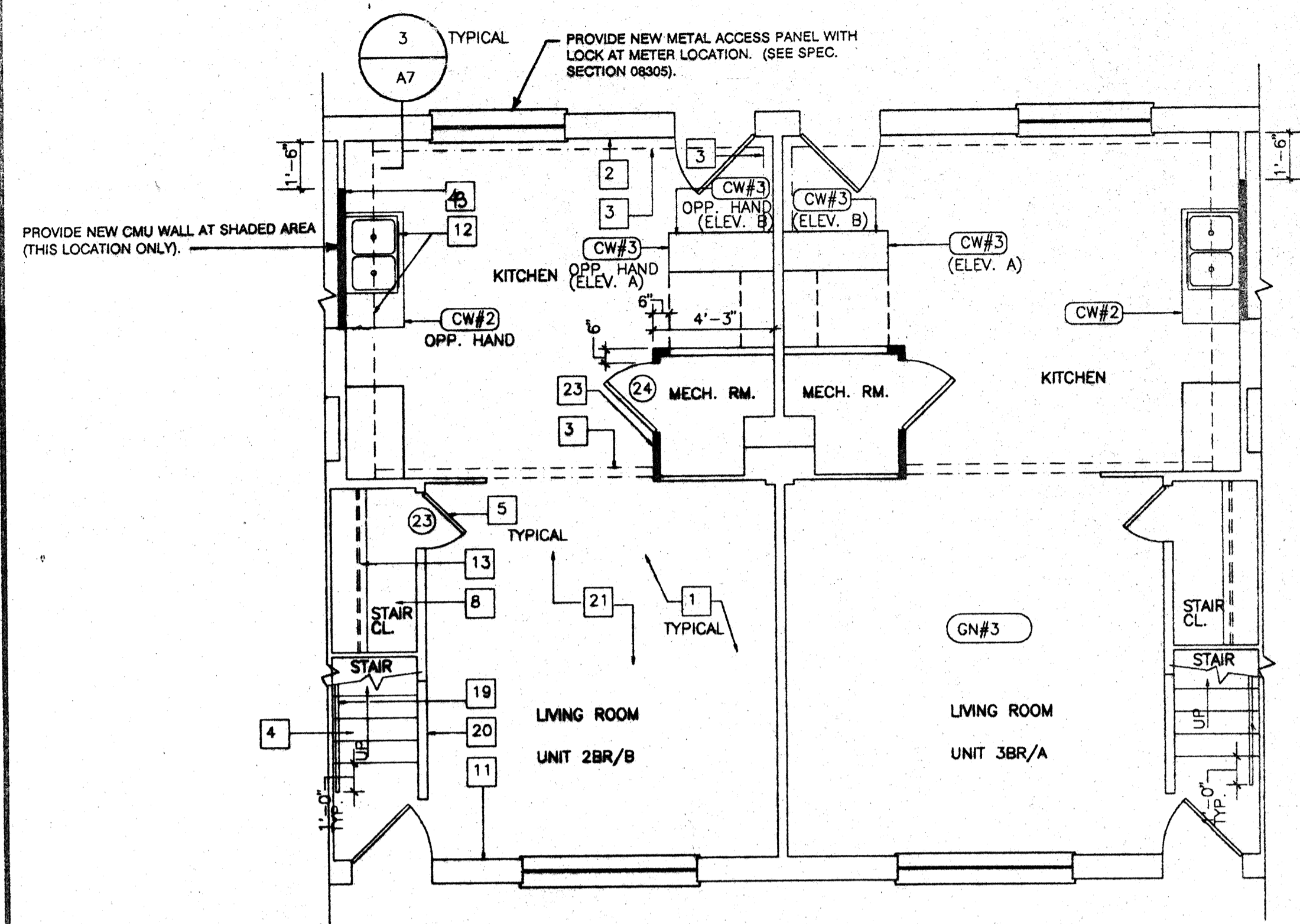


Designed: cct  
Drawn: TFN / RSJ  
Checked: CMH  
Scale: AS NOTED  
Date: JANUARY 31, 1992  
File No: 901003A-SN  
Project No: 901003A

BUILDING TYPE B - FLOOR PLANS (NEW WORK)

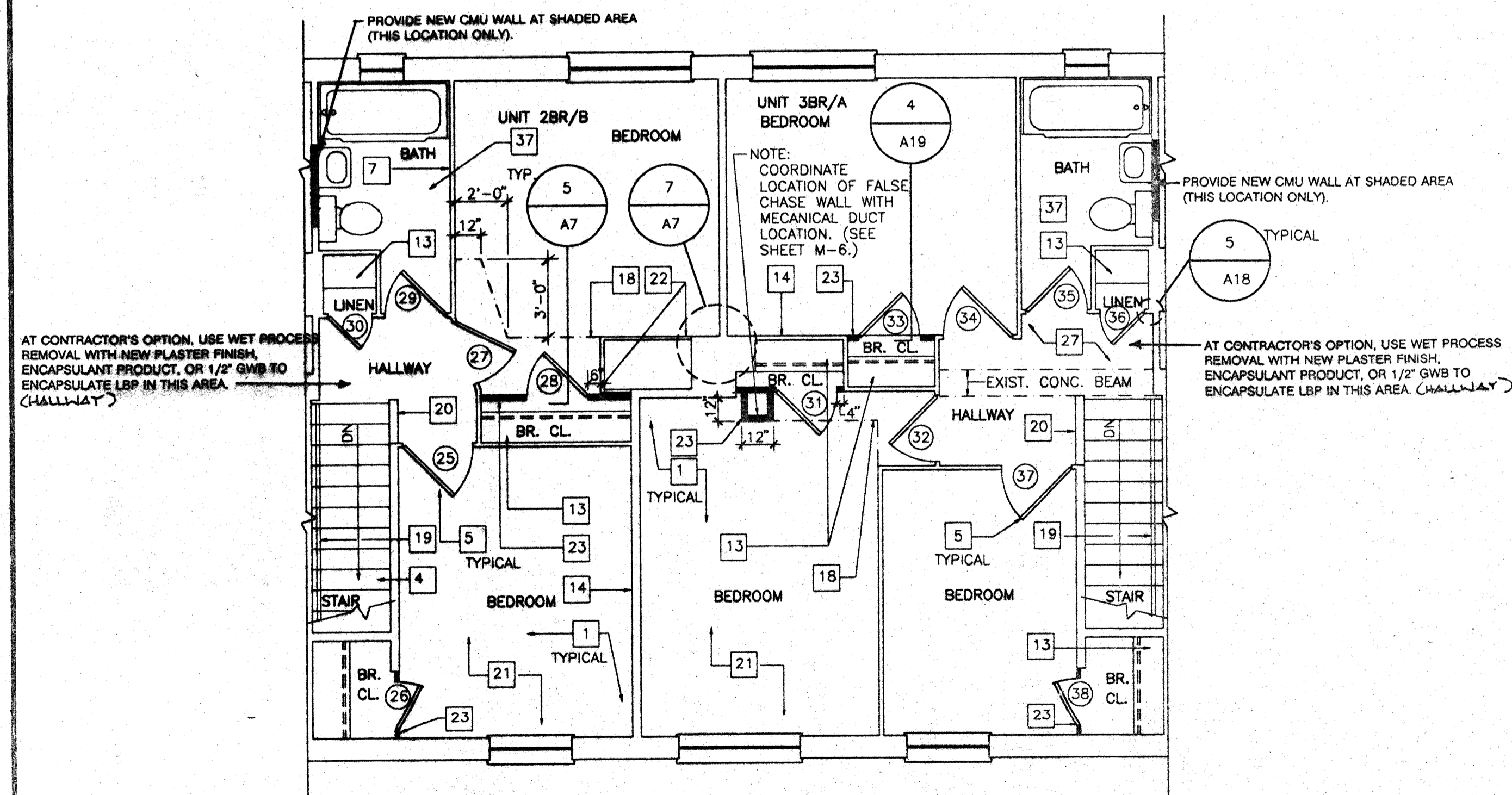
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of Sheets





1ST FL. - UNIT 2BR/B & 3BR/A

SCALE: 1/4" = 1'-0"



2ND FL. - UNIT 2BR/B & 3BR/A

SCALE: 1/4" = 1'-0"

NEW WORK NOTES

1. PROVIDE NEW 1/2" GYPSUM WALLBOARD. SCREW & LAMINATE TO EXISTING PLASTER/CMU PARTITIONS, EXIST. FURRING, COLUMNS & BEAMS (TYPICAL ALL SPACES THROUGHOUT UNIT).
2. PROVIDE NEW 1-1/2" METAL FURRING CHANNELS & 1/2" GYPSUM WALLBOARD. (ENTIRE WALL)
3. PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFIT W/ REMOVABLE 1/2" PLYWOOD FRONT PANEL.
4. PROVIDE NEW RUBBER STAIR TREADS.
5. PROVIDE NEW HOLLOW CORE WOOD DOORS. SEE DOOR SCHEDULE. SHEET A17. (TYPICAL ALL INTERIOR WOOD DOORS, PROVIDE HM FRAMES AS INDICATED ON DOOR SCHEDULE. DOOR TO BE CENTERED IN NEW PARTITION UNLESS OTHERWISE DIMENSIONED).
6. PROVIDE NEW 3-5/8" METAL STUD & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT. WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. STAGGER MTL STUDS WHERE REQUIRED TO PROVIDE FLUSH TRANSITION INTO EXIST. WALL OR NEW MTL. FURRING. TYP. ALL LOCATIONS INDICATED UNLESS OTHERWISE NOTED.
7. PROVIDE NEW 1 X 4 WOOD CHAIR RAIL. (MTC. HEIGHT-36" TO C OF RAIL) SEE DETAIL 5/A10.
8. PROVIDE 1/2" PLYWOOD AT UNDERSIDE OF STAIR OR LANDING (SECURE TO BOTTOM OF STRINGER OR SUPPORT CHANNELS).
9. PROVIDE NEW 1/4" PLYWOOD ACCESS PANEL & TRIM. PROVIDE NEW FRAMED OPENING @ BLDG. D2 HANDICAPPED CONVERSION ONLY.
10. PROVIDE NEW EXTERIOR METAL DOOR W/SCREEN IN NEW HOLLOW METAL FRAME. PROVIDE NEW BLOCKING AND FINISH WALL. SEE SHEET A17 FOR SCHEDULE & DETAILS. (TYPICAL ALL DOORS @ DAYCARE UNIT, D2 HANDICAP CONVERSION & D3 HANDICAP CONVERSION)
11. PROVIDE NEW 7/8" METAL FURRING CHANNELS & 1/2" GWB. (ENTIRE WALL)
12. PROVIDE NEW NATURAL FINISH PLYWOOD AND SOLID WOOD CABINETS, NEW COUNTERTOPS AND FULL HEIGHT BACKSPASH.
13. PROVIDE NEW WOOD SHELVING AND RODS. (2 SHELVES EA. @ STORAGE, 4 SHELVES EA. @ LINEN & PANTRY, 1 ROD & 2 SHELVES EA. @ BEDROOM & COAT CLOSETS, 2 RODS & 2 SHELVES EA. @ STAIR CLOSETS, 1 ROD & 1 SHELF EA. @ BATH. FOR DETAILS, SEE SHEET A19).
14. PROVIDE NEW 4" WOOD BASE. (TYPICAL ALL PARTITIONS) SEE 8/A10
15. PROVIDE NEW 6" METAL STUD PARTITION WITH 1/2" GYPSUM WALLBOARD.
16. PROVIDE NEW HOLLOW METAL DOOR FRAMES.
17. PROVIDE NEW 1/2" GYPSUM WALLBOARD CEILING, SLOPE TO MATCH STAIR-SEE SECTION 1/A13.
18. PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFITS.
19. PROVIDE NEW 1-1/2" WOOD HANDRAIL SUPPORTED BY NEW METAL BRACKETS & SECURED TO EXISTING PARTITION. (CLEAR STAIN FINISH, SEE DETAILS 6 & 7/A19).
20. PROVIDE NEW WOOD CAP. (CLEAR STAIN FINISH) SEE DETAIL 6/A10.
21. PROVIDE NEW 12" X 12" VINYL COMPOSITION FLOOR TILE THROUGHOUT UNIT - ALL SPACES. (UNLESS OTHERWISE NOTED.)
22. PROVIDE NEW 1/2" GYPSUM WALLBOARD FASTENED TO EXISTING METAL FRAMED DUCT ENCLOSURE.
23. PROVIDE NEW 2-1/2" METAL STUDS & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT, WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. TYPICAL ALL LOCATIONS INDICATED.
24. PATCH HOLES RESULTING FROM MECHANICAL DEMOLITION PER SPEC. SECTION 07242A (SEE MECHANICAL DRAWINGS).
25. PROVIDE NEW 1 X 6 WD TRIM AT AREA BETWEEN WINDOWS. (SHAPE TO MATCH EXISTING.)
26. PATCH EXIST. OPENING RESULTING FROM MECHANICAL DEMOLITION IN SECOND FLOOR SLAB WITH CONCRETE. (SEE MECHANICAL DRAWINGS)
27. PROVIDE 2-1/2" METAL STUD CEILING FRAMING WITH 1/2" GWB THIS SIDE OF BEAM ONLY IN HALLWAY. BOTTOM OF DROP CLG. TO BE 3/4" HIGHER THAN BOTTOM OF EXIST. BEAM. COORDINATE LOCATION OF FRAMING WITH MECHANICAL DUCT. (SEE SHEET M-6.)
28. PROVIDE NEW HOLLOW CORE FLUSH WOOD BI-FOLD DOOR, TYPE E AS SHOWN ON SHEET A17. PROVIDE HARDWARE PER SPECIFICATION SECTION 08700. INSTALL DOOR VIA FLOOR & CEILING CONNECTIONS ONLY.
29. - 36. NOT SHOWN.
30. PROVIDE NEW BATH ACCESSORIES, TO INCLUDE TOILET TISSUE DISPENSER, TOWEL BAR, TUMBLER/TOOTHBRUSH HOLDER, SOAP DISH AND SHOWER CURTAIN ROD, PER SPECIFICATION SECTION 10800. SEE BATH PARTIAL PLANS, SHEET A10.
31. - 42. NOT SHOWN.
32. PROVIDE NEW 2"x2" WOOD FURRING WITH 1/2" GWB. (ENTIRE WALL).

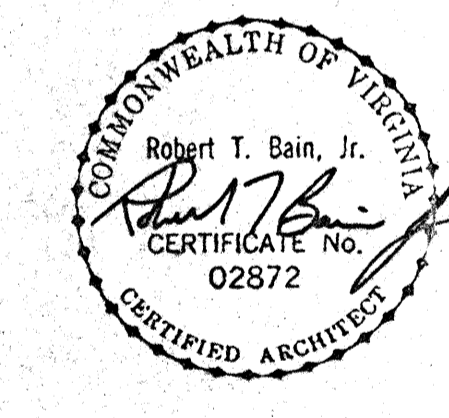
GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION & SHALL COORDINATE THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
2. ALL PARTITIONS SHOWN THUS (---) INDICATE NEW PARTITIONS
3. FOR CONSTRUCTION NOTES APPLICABLE TO THIS UNIT, REFER TO OPPOSITE HAND UNLESS NOTED OTHERWISE (I.E. EXISTING PARTITION DEMOLITION). ALL DETAIL/SECTION SYMBOLS APPLY TO BOTH UNITS.
4. WORK NOTES INDICATED ARE MASTER NOTE LISTS. SOME NOTES MAY NOT BE APPLICABLE TO THE CORRESPONDING SHEETS ON WHICH THEY APPEAR.
5. FOR DWELLING UNIT DOOR SCHEDULE & DETAILS, REFER TO SHEETS A17 & A18.
6. FOR DWELLING UNIT CASEWORK ELEVATIONS & DETAILS, REFER TO SHEET A19.
7. EXISTING ACCESS PANELS SHOWN AT APPROXIMATE LOCATION & SIZE. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION & DIMENSIONS.
8. ALL PARTITIONS SHOWN THUS (////) INDICATE PARTITIONS TO BE REMOVED.
9. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
10. PATCH & CLEAN ALL CEILING SURFACES PRIOR TO PAINTING (QUANTITY- APPROXIMATELY SIX (6) 1' x 2' DEEP PENETRATIONS PER UNIT).
11. CONTRACTOR SHALL PROVIDE 1/2" GWB AT ALL EXPOSED SURFACES OF BEAMS & COLUMNS. TYP. THROUGHOUT ALL UNITS.
12. PAINT NEW & EXIST. INTERIOR SURFACES WITHIN THE ENTIRE UNIT. SURFACES TO BE PAINTED INCLUDE BUT ARE NOT LIMITED TO WALLS, CEILINGS, ACCESS PANELS, TRIM, METAL PANEL ENCLOSURES, FURNACE HOUSING, DUCT WORK, BEAMS, COLUMNS, DOORS & FRAMES, WOOD TRIM, HANDRAILS, RODS, SHELVES, & SUPPORTS (TYP. THROUGHOUT ALL UNITS).
13. FOR BATH PARTIAL PLANS & DETAILS, SEE SHEET A10.
14. FOR BID ALTERNATE WORK, SEE SHEETS A29 THRU A31.
15. IN ADDITION TO THE WORK INDICATED ON THIS PLAN, THE CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE CORRESPONDING DEMOLITION PLAN LOCATED ON THE SHEET REFERENCED THUS (CN#19 A11).
16. ALL PARTITIONS SHOWN THUS (---) INDICATE NEW 2X4 WOOD PARTITIONS.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

NEWPORT NEWS, VA



Designed: cet

Drawn: TFN / RSJ

Checked: CMH

Scale: AS NOTED

Date: JANUARY 31, 1992

File No: 901003A-6N

Project No: 901003A

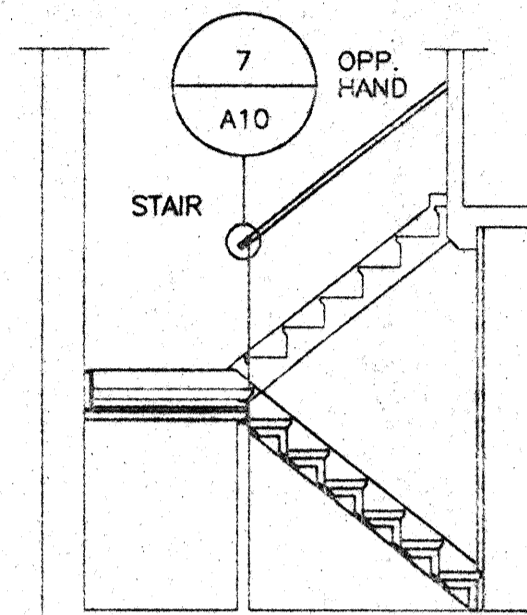
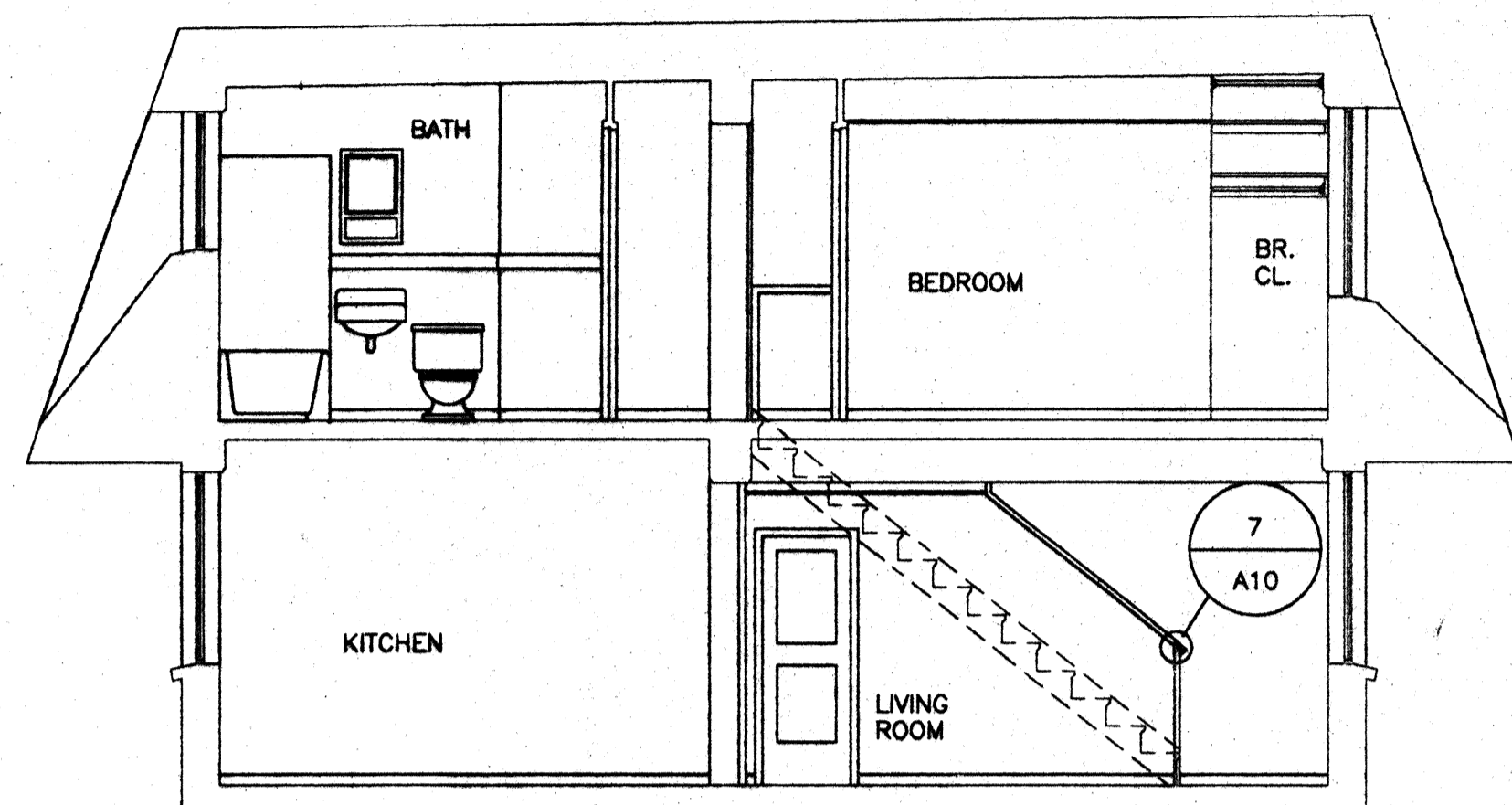
BUILDING TYPE B - FLOOR PLANS (NEW WORK)

Sheet No:

A6

of Sheets





1 TYPICAL 2-STORY UNIT SECTION - BLDGS. A&B  
SCALE: 1/4" = 1'-0"

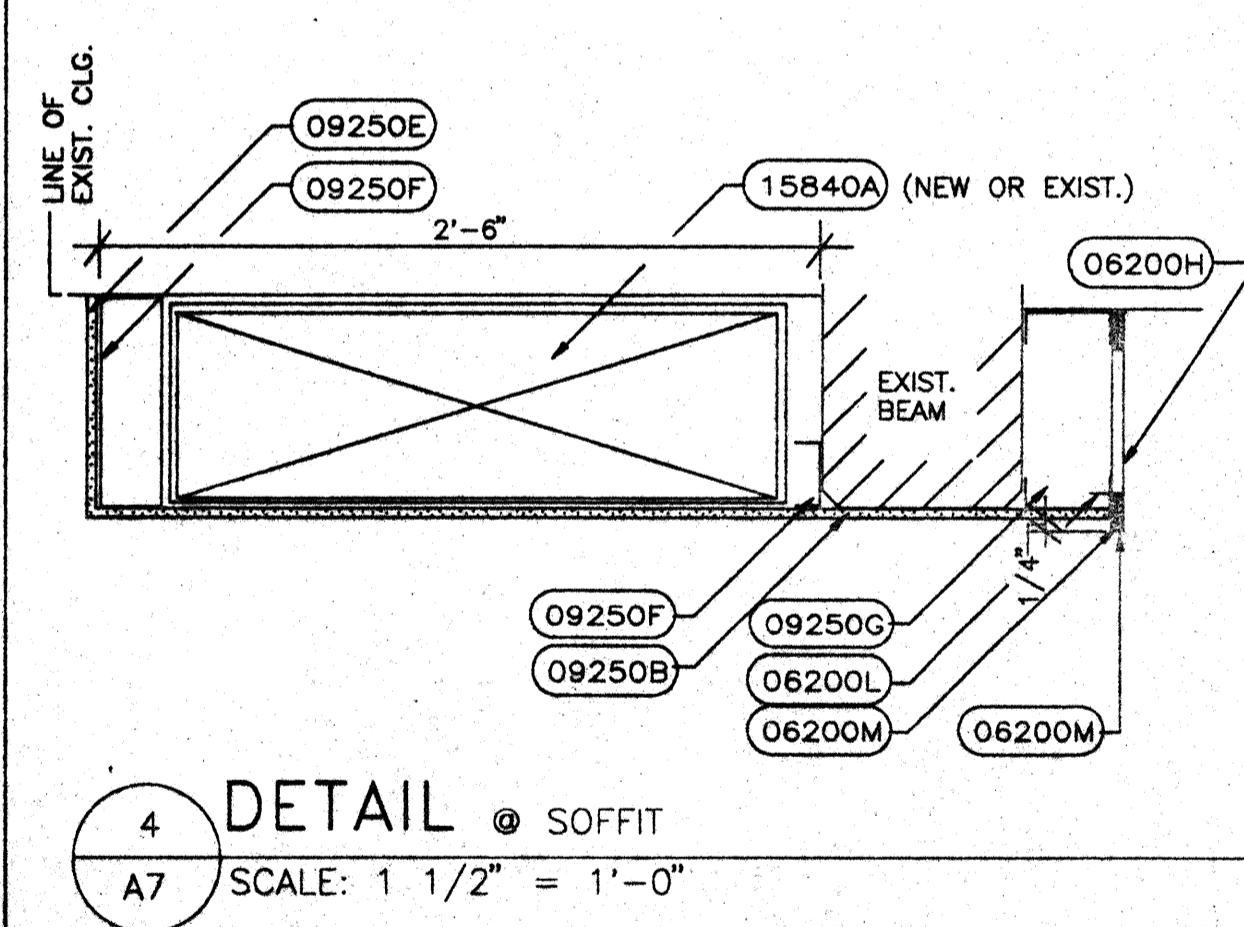
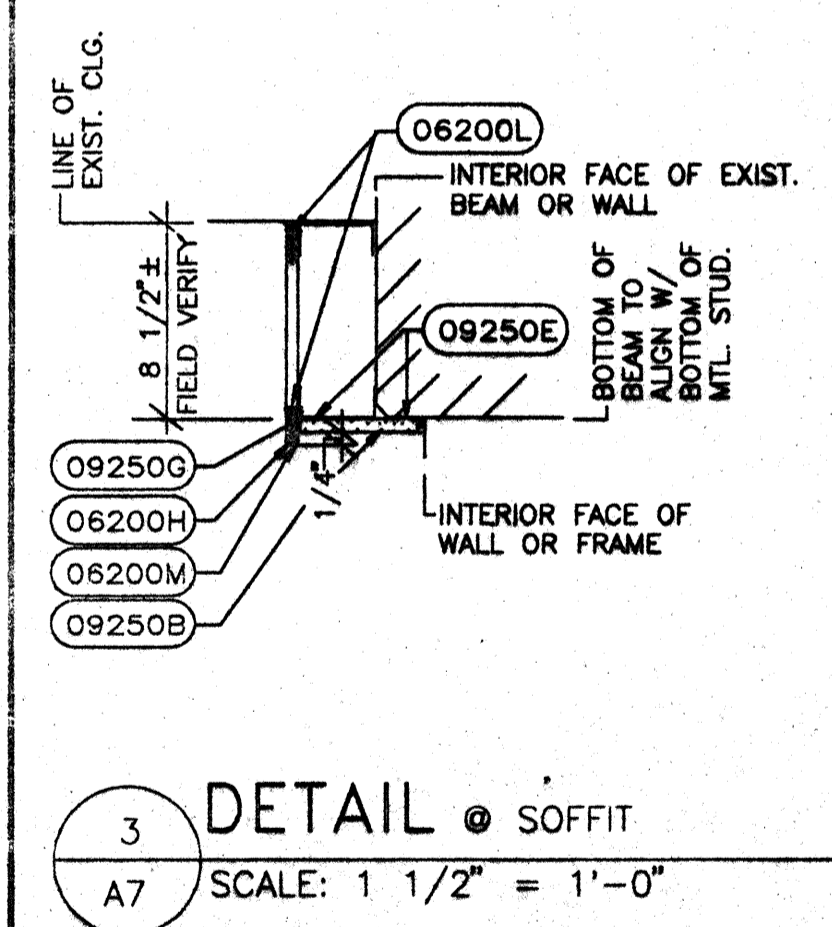
2 STAIR SECTION - UNIT 1BR. - BLDGS. A&B  
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION & SHALL COORDINATE THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
2. ALL PARTITIONS SHOWN THUS (---) INDICATE NEW PARTITIONS
3. FOR CONSTRUCTION NOTES APPLICABLE TO THIS UNIT, REFER TO OPPOSITE HAND UNIT THIS PLAN, UNLESS OTHERWISE NOTED (I.E. EXISTING PARTITION DEMOLITION). ALL DETAIL/SECTION SYMBOLS APPLY TO BOTH UNITS.
4. WORK NOTES INDICATED ARE MASTER NOTE LISTS. SOME NOTES MAY NOT BE APPLICABLE TO THE CORRESPONDING SHEETS ON WHICH THEY APPEAR.
5. FOR DWELLING UNIT DOOR SCHEDULE & DETAILS, REFER TO SHEETS A17 & A18.
6. FOR DWELLING UNIT CASEWORK ELEVATIONS & DETAILS, REFER TO SHEET A19.
7. EXISTING ACCESS PANELS SHOWN AT APPROXIMATE LOCATION & SIZE. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION & DIMENSIONS.
8. ALL PARTITIONS SHOWN THUS (////) INDICATE PARTITIONS TO BE REMOVED.
9. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
10. PATCH & CLEAN ALL CEILING SURFACES PRIOR TO PAINTING (QUANTITY - APPROXIMATELY SIX (6) 1' x 2' DEEP PENETRATIONS PER UNIT).
11. CONTRACTOR SHALL PROVIDE 1/2" GWB AT ALL EXPOSED SURFACES OF BEAMS & COLUMNS. TYP. THROUGHOUT ALL UNITS.
12. PAINT NEW & EXIST. INTERIOR SURFACES WITHIN THE ENTIRE UNIT. SURFACES TO BE PAINTED INCLUDE BUT ARE NOT LIMITED TO WALLS, CEILINGS, ACCESS PANELS, TRIM, METAL PANEL ENCLOSURES, FURNACE HOUSING, DUCT WORK, BEAMS, COLUMNS, DOORS & FRAMES, WOOD TRIM, HANDRAILS, RODS, SHELVES, & SUPPORTS (TYP. THROUGHOUT ALL UNITS).
13. FOR BATH PARTIAL PLANS & DETAILS, SEE SHEET A10.
14. FOR BID ALTERNATE WORK, SEE SHEETS A29 THRU A31.
15. IN ADDITION TO THE WORK INDICATED ON THIS PLAN, THE CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE CORRESPONDING DEMOLITION PLAN LOCATED ON THE SHEET REFERENCED THUS (CNFTS A1).
16. ALL PARTITIONS SHOWN THUS (---) INDICATE NEW 2X4 WOOD PARTITIONS.
17. SEE SHEET A13 FOR TYPICAL GWB/SEAL INSTALLATION DETAILS.

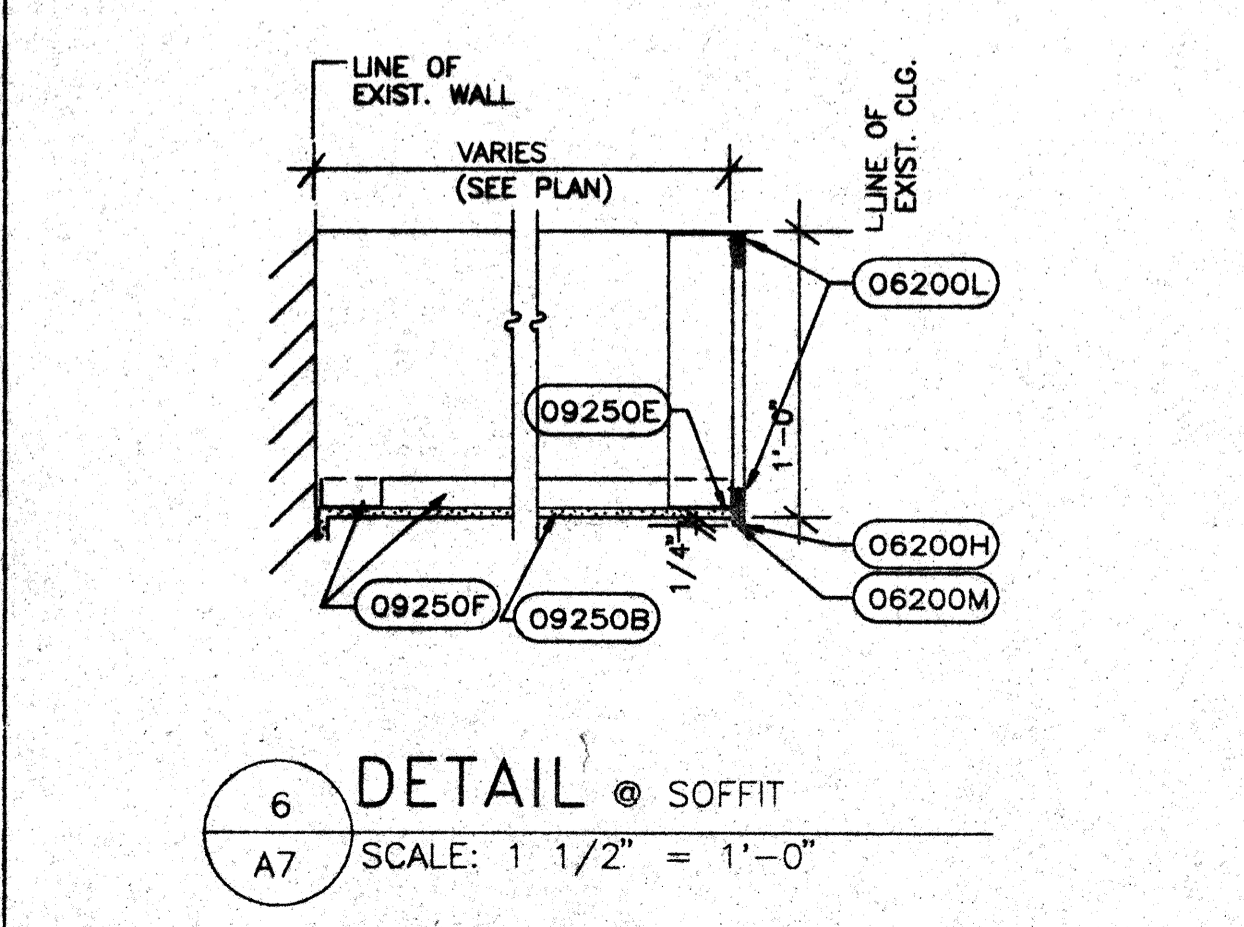
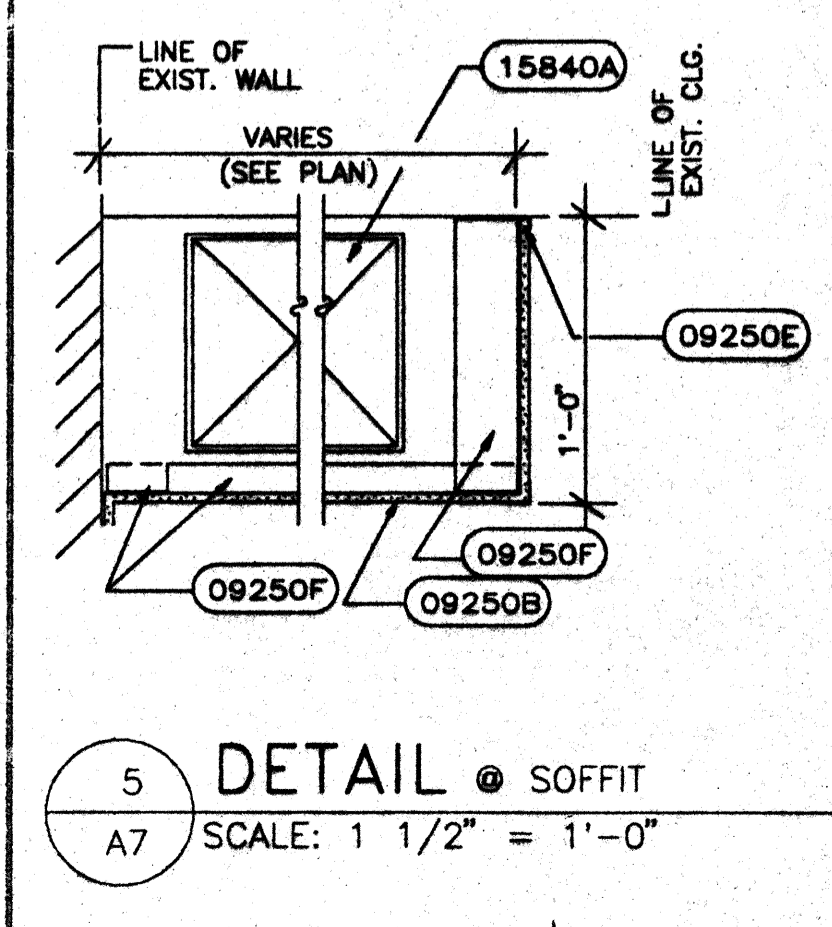
MATERIAL KEY LEGEND

- 2: SITINGWORK
  - 02200A COMPACTED FILL
  - B POROUS FILL (4")
  - C EARTH BACKFILL
  - 02520A CONCRETE WALK-SEE SITE PLAN SHEET
  - B EXPANSION JOINT MATERIAL
- 3: CONCRETE
  - 03310A CONCRETE FOOTING OR SLAB
  - B REINFORCING BARS (#3) VERTICAL AT CORNERS
  - C REINFORCING BARS (#3) HORIZONTAL
  - D REINFORCING BARS (#4) 6" O.C. EACH WAY
  - E EXPANSION JOINT
  - F STEEL DOWEL SET IN GROUT
  - G CONCRETE STOOP W/THICKENED SLAB AT COLUMN
- 4: MASONRY
  - 04200A CMU (4")
  - B EXPANSION BOLT
  - C THRU BOLT-1/4" THREADED ROD
- 5: METALS
  - 05120A STEEL ANGLE
  - B STEEL PLATE
  - C STEEL PIPE COLUMN (3" DIA.)
  - D STEEL PLATE (3" X 4 1/2" X 3/4")
  - E ANCHOR BOLTS (3/8" DIA.)
  - F BASE PLATE (6" X 7" X 3/8") W/ 2 (1/2") J-BARS
  - G ROD, THREADED (1/2" DIA.)
  - H STEEL BEAM (W 10 X 22)
  - I STEEL PLATE (4" X 6" X 3/4")
  - J STEEL PLATE (5" X 8" X 3/4")
  - K STEEL BOLT, NUT & WASHER (5/8" DIA.)
  - L STEEL TEE
  - M EROSION RESISTANT ANCHORING CEMENT
  - N GROUT (PORTLAND CEMENT)
- 6: WOOD AND PLASTICS
  - 06100A WOOD BEAM (2"X8") DOUBLE W/THRU BOLTS @ 1'-0" O.C.
  - B WOOD BEAM (2"X12") DOUBLE
  - C WOOD JOIST (2"X8")
  - D WOOD LEDGER (2"X8")
  - E WOOD PARTITION (2"X4")
  - F 1"X6" COLLAR BOARD
  - G BUILT-UP 2"X4" WOOD POST
  - H JOIST HANGER FOR 4" THICK JOIST
  - I JOIST HGR.-2" THICK JOIST
  - J WOOD CANT
  - K WOOD BLOCKING
  - L EXTERIOR PLYWOOD SHEATHING
  - 06200A WOOD KNEE WALL CAP
  - B WOOD STAIR HANDRAIL
  - C HANDRAIL MOUNTING BRACKET
  - D CLOSET ROD AND SUPPORTS
  - E NOT USED
  - F PLYWOOD SHELVES (3/4") M.D.O.
  - G PLYWOOD VERTICAL SUPPORT (3/4") M.D.O.
  - H PLYWOOD SOFFIT FACE (1/2") M.D.O.
  - I WOOD LEDGER (1"X8")
  - J WOOD CHAIR RAIL (1"X4")
  - K PLYWOOD ATTIC ACCESS DOOR (3/4") M.D.O.
  - L PAN HEAD SCREW W/WASHER (3/16"X3/4")
  - M WOOD VENEER STRIP
  - N PLYWOOD (3/4")
  - O NOT USED
  - P WOOD TRIM (1 X CUT TO FIT)
  - 06402A PLASTIC LAMINATE ON 3/4" PARTICLE BOARD
  - B BASK CABINET
  - C WALL CABINET
  - D VENEER PLYWOOD
  - E SOLID WOOD BLOCKING
  - F SOLID WOOD FACE FRAME
- 7: THERMAL AND MOISTURE PROTECTION
  - 07242A EXTERIOR FINISH SYSTEM/STUCCO
  - B EXTERIOR FINISH SYSTEM/SMOOTH COAT
  - C EXTERIOR FINISH SYSTEM/BRICK
  - 07460A ALUMINUM FASCIA
  - B VINYL SOFFIT W/ "J" TRIM @ PERIMETER
  - C ALUMINUM BREAK METAL TRIM
  - 07530A SINGLE PLY MEMBRANE
  - B MEMBRANE FLASHING
  - C METAL GUTTER & DOWNSPOUT
  - D E.P.D.M. RUBBER PIPE FLASHING W/ALUM. RING
  - E BASE (ATTACH W/ SST FASTENERS)
  - F ADJUSTABLE SST CLAMP
  - G GALVANIZED SHEET MTL COVER W/ MTL. CLEAT
  - H SCUPPER
  - 07900A SEALANT
  - B EXPANSION JOINT
- 8: DOORS AND WINDOWS
  - 08110A STEEL DOOR FRAME
  - B WALL ANCHORS (3 PER JAMB)
  - C STEEL DOOR - SEE DOOR SCHEDULE
  - 08211A WOOD DOOR - SEE DOOR SCHEDULE
  - 08390A SCREEN DOOR & FRAME
  - 08520A ALUMINUM WINDOW (EQ. TO SERIES 400-U.S. ALUM. CO.)
  - 08710A ALUMINUM THRESHOLD
  - B ALUMINUM HINGE
  - C NOT USED
  - D CABINET MAGNETIC CATCH
  - E LOCK ASSEMBLY & STRIKE
  - F PULL
  - G EXPANSION ANCHOR
- 9: FINISHES
  - 09250A GYPSUM WALLBOARD (1/2") MOISTURE RESISTANT
  - B GYPSUM WALLBOARD (1/2") STANDARD
  - C METAL HAT-FURRING (7/8") @ 16" O.C. MAX.
  - D METAL FURRING (1 1/2") @ 16" O.C. MAX.
  - E EDGE TRIM "J" MOLD
  - F METAL STUD (2 1/2") @ 24" O.C. MAX.
  - G METAL STUD (3 5/8") @ 24" O.C. MAX.
  - H GYPSUM WALLBOARD (1/2") TYPE "X" FIRE CODE
  - 09512A ACOUSTICAL CEILING SYSTEM-SEE FINISH SCHEDULE
  - 09650A VINYL COMPOSITION TILE (3/32"X12"X12")
  - B NOT USED
  - C RESILIENT EDGE STRIP
- 10: SPECIALTIES
  - 10160A TOILET PARTITIONS
  - 10200A LOUVER, METAL
  - B CLIP ANGLE, METAL
  - 10800A SOAP DISH
  - B TOILET TISSUE HOLDER
  - C TUMBLER & TOOTHBRUSH HOLDER
  - D TOWEL BAR
  - E GRAB BAR
  - F SHOWER CURTAIN ROD
  - G TILT MIRROR W/ SST FRAME (18" X 30")
  - H MIRROR W/ SST FRAME (18" X 30")
  - I PAPER TOWEL DISPENSER
  - J TOILET TISSUE DISPENSER
  - K SANITARY NAPKIN DISPOSAL
  - L WALL ASH URN
- 15: MECHANICAL
  - 15800A VENT PIPE (SEE MECH. DWGS)
  - 15840A SHEET METAL DUCT (SEE MECH. DWGS)



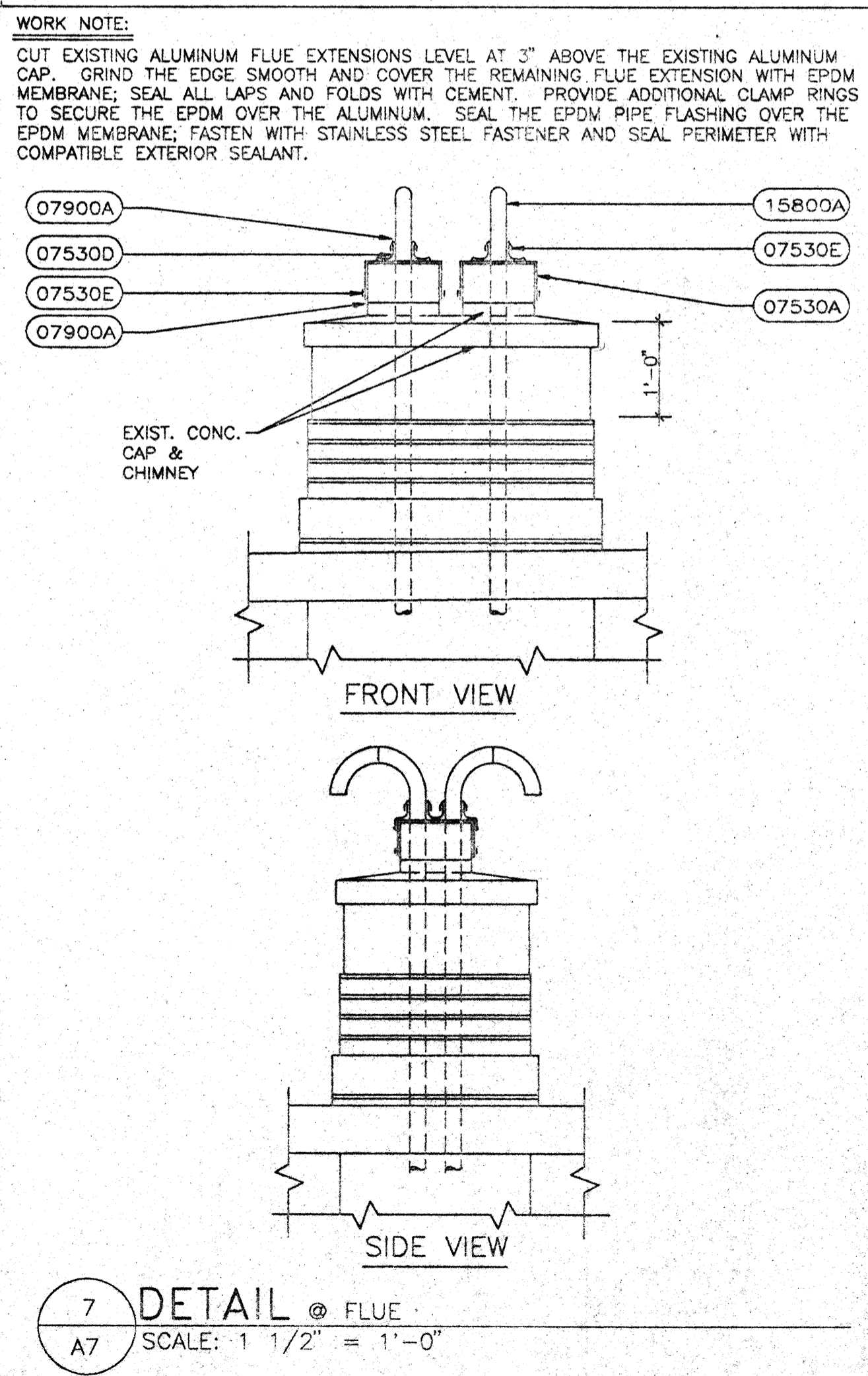
3 DETAIL @ SOFFIT  
SCALE: 1 1/2" = 1'-0"

4 DETAIL @ SOFFIT  
SCALE: 1 1/2" = 1'-0"

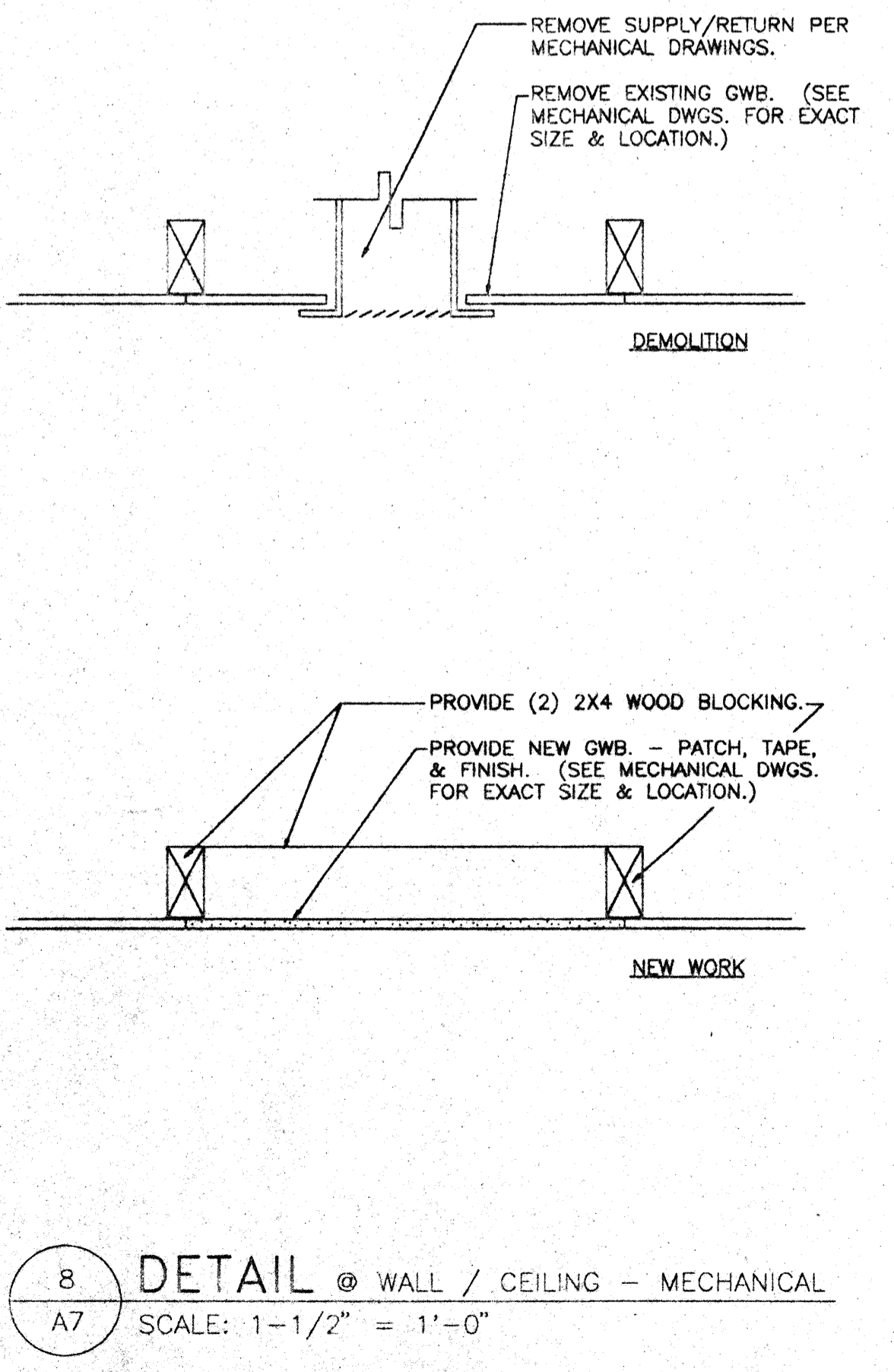


5 DETAIL @ SOFFIT  
SCALE: 1 1/2" = 1'-0"

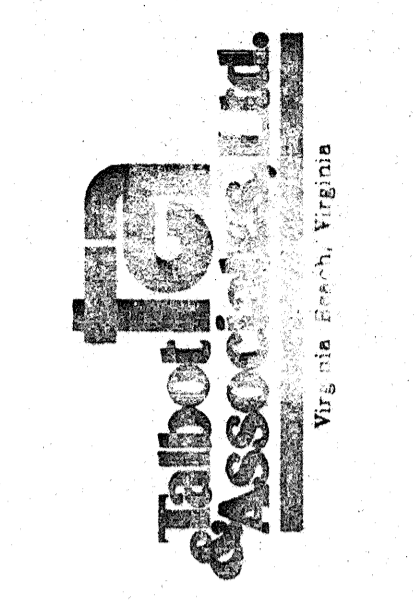
6 DETAIL @ SOFFIT  
SCALE: 1 1/2" = 1'-0"



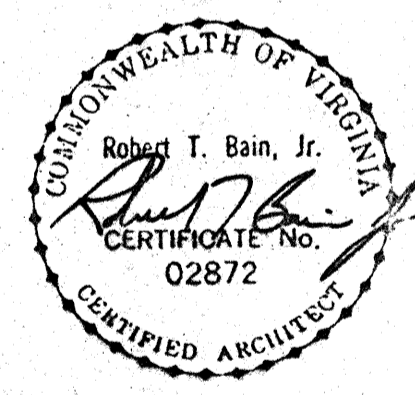
7 DETAIL @ FLUE  
SCALE: 1 1/2" = 1'-0"



8 DETAIL @ WALL / CEILING - MECHANICAL  
SCALE: 1-1/2" = 1'-0"



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS  
NEWPORT NEWS, VA

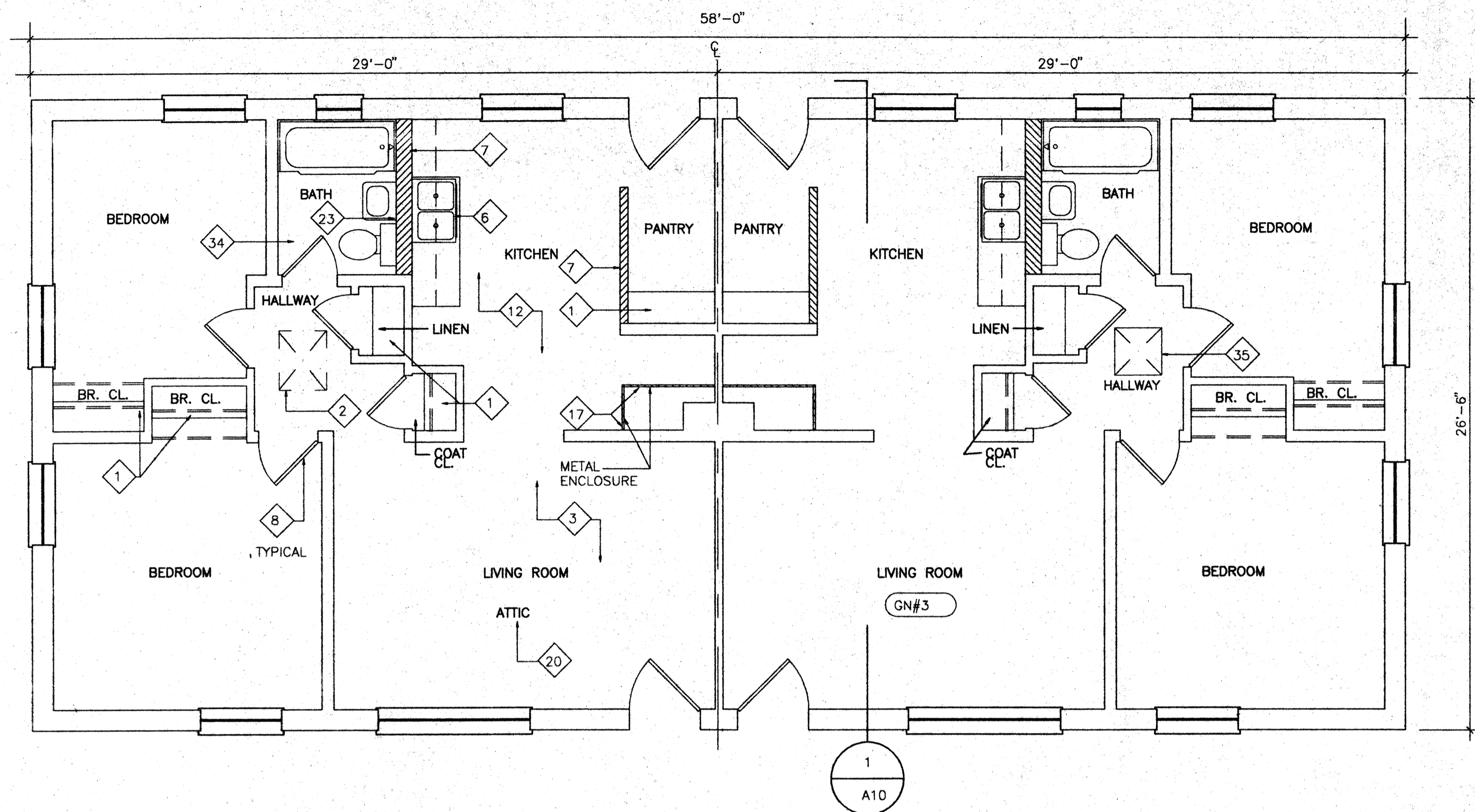


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Drawn: TFN / RSJ  
Checked: CMH  
Scale: AS NOTED  
Date: JANUARY 31, 1992  
File No: 901003A-7850  
Project No: 901003A

BUILDING TYPES A & B - BUILDING SECTIONS & DETAILS

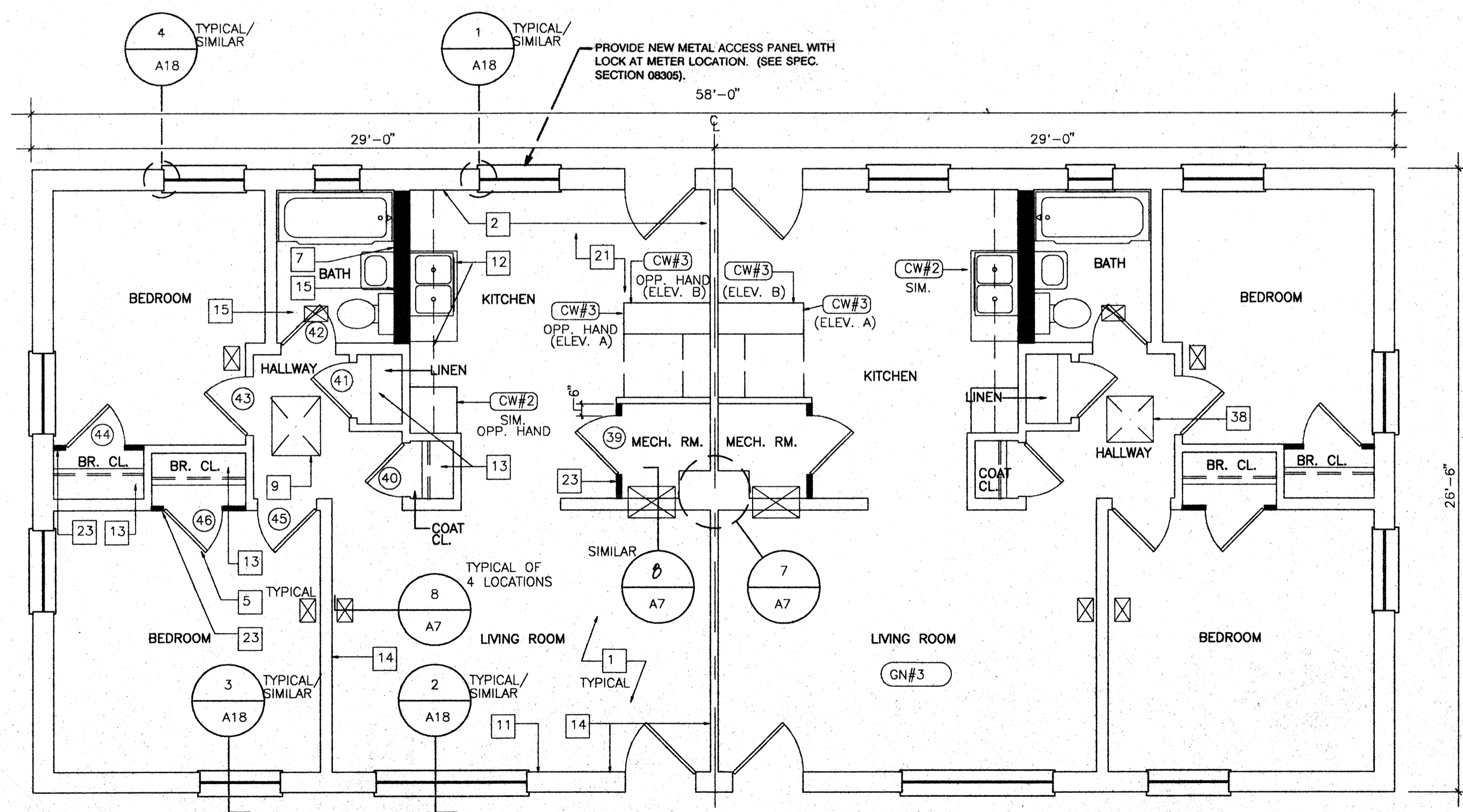
Sheet No: A7 of 4 Sheets





FLOOR PLAN - BUILDING D2 (DEMOLITION)

SCALE: 1/4" = 1'-0"



FLOOR PLAN - BUILDING D2 (NEW WORK)

SCALE: 1/4" = 1'-0"

◇ DEMOLITION NOTES

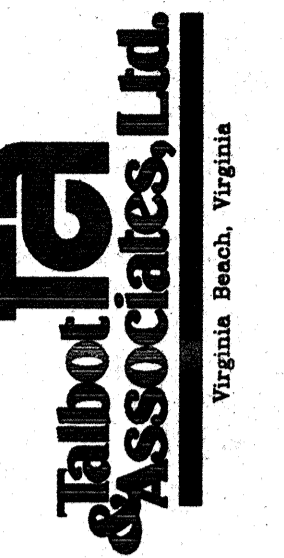
1. REMOVE EXISTING WOOD SHELVING WITH SUPPORTS & RODS, PER SPECIFICATION SECTION 02090. (2 SHELVES EA. @ STORAGE, 4 SHELVES EA. @ LINEN & PANTRY, 1 ROD & 2 SHELVES EA. @ COAT CLOSETS, 2 RODS & 2 SHELVES EA. @ BEDROOM CLOSETS, 2 RODS & 1 SHELF EA. @ STAIR CLOSETS.)
2. REMOVE EXISTING WOOD ACCESS PANEL & TRIM PER SPECIFICATION SECTION 02090. FRAME & PATCH EXISTING OPENING WITH 1/2" GWB @ BLDG. D2, HANDICAPPED CONVERSION ONLY.
3. REMOVE ALL EXISTING WOOD TRIM THROUGHOUT ALL BLDG. SPACES, PER SPECIFICATION SECTION 02090.
4. REMOVE PAINT FROM ALL SURFACES OF METAL STAIR PER SPECIFICATION SECTION 02090.
5. REMOVE EXIST. INTERIOR WOOD DOORS COMPLETE WITH HARDWARE PER SPECIFICATION SECTION 02090 (TYPICAL-ALL INTERIOR WOOD DOORS). METAL FRAME SHALL REMAIN, UNLESS OTHERWISE NOTED. REMOVE PAINT FROM FRAME PER SPECIFICATION SECTION 02090.
6. REMOVE EXIST. KITCHEN CABINETS PER SPECIFICATION SECTION 02090, AND COUNTERTOPS PER SPEC. SECTION 02070 (SST SINK TO BE REUSED).
7. REMOVE EXIST. PAINTED GWB PER SPECIFICATION SECTION 02090. REMOVE REMAINING STUD WALL COMPLETE.
8. REMOVE EXIST. WOOD DOOR, FRAMES, TRIM AND HARDWARE PER SPECIFICATION SECTION 02090 (TYP. ALL INTERIOR DOORS).
9. REMOVE EXIST. LEAD-BASED PAINT PER SPECIFICATION SECTION 02090 THEN REMOVE REMAINING PLASTER PARTITION.
10. REMOVE EXISTING WOOD CABINETS/CASEWORK & COMPONENTS COMPLETE, PER SPEC. SECTION NOTED. PATCH & REPAIR ALL DAMAGED SURFACES.
11. REMOVE EXIST. WOOD HANDRAIL & SUPPORTS PER SPECIFICATION SECTION 02090. PATCH AND REPAIR ALL DAMAGED SURFACES.
12. REMOVE EXISTING FLOOR TILE AND WALL BASES COMPLETE AS DESIGNATED PER SPECIFICATION SECTION 02080. (INCLUDES MULTIPLE LAYERS. EXISTING MASTIC MATERIAL SHALL REMAIN.)
13. REMOVE PAINTED METAL ENCLOSURE PANEL PER SPECIFICATION SECTION 02090. FRAMING TO REMAIN.
14. REMOVE EXISTING PLUMBING FIXTURES COMPLETE. PATCH & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
15. REMOVE EXIST. EXTERIOR DOOR, EXTERIOR SCREEN DOOR, FRAME & TRIM COMPLETE. REMOVE PORTION OF EXTERIOR WALL TO ACCOMMODATE NEW DOOR AS SCHEDULED. SEE SHEET A17 FOR SCHEDULE & DETAILS. (TYPICAL ALL EXTERIOR DOORS @ DAYCARE UNIT, D2 HANDICAP CONVERSION, AND D3 HANDICAP CONVERSION)
16. REMOVE EXIST. LEAD-BASED PAINT PER SPECIFICATION SECTION 02090 THEN REMOVE REMAINING BLOCK WALL.
17. REMOVE EXIST. PAINTED METAL ENCLOSURE AND COMPONENTS PER SPECIFICATION SECTION 02090. SEE MECHANICAL SHEET FOR FURTHER DEMOLITION.
18. REMOVE EXIST. PTD. METAL HEADER PER SPECIFICATION SECTION 02090.
19. REMOVE CONTAMINATED SOIL TO A DEPTH OF 2" PER SPEC. SECTION 02080.
20. REMOVE CONTAMINATED BLOWN INSULATION PER SPEC. SECTION 02080.
21. REMOVE EXISTING TERRACOTTA FLUE AND CEMENTITIOUS FILL IN ADDITION TO OTHER WALL DEMOLITION. FILL RESULTING VOIDS W/ CONCRETE & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
22. REMOVE EXISTING INTERIOR WOOD DOORS COMPLETE WITH HARDWARE & HM FRAMES PER SPECIFICATION SECTION 02090.
23. EXISTING MIRROR/MEDICINE CABINET TO REMAIN. REMOVE & REINSTALL AS REQUIRED.
24. REMOVE EXIST. LEAD-BASED PAINT FROM METAL PANEL ENCLOSURE PER SPECIFICATION SECTION 02090. EXIST. FACTORY-FINISHED FURNACE HOUSING SHALL REMAIN.
25. - 33. NOT SHOWN.
26. REMOVE EXISTING BATH ACCESSORIES, TO INCLUDE TOILET TISSUE DISPENSER, TOWEL BAR TUMBLER/TOOTHBRUSH HOLDER, SOAP DISH AND SHOWER CURTAIN ROD AS REQUIRED PER SPECIFICATION SECTION 02070.
27. REMOVE EXISTING CEILING AND FRAMING TO PROVIDE ATTIC ACCESS TO MATCH OPENING SIZE AND LOCATION OF ADJACENT UNIT PER SPECIFICATION SECTION 02090.
28. - 37. NOT SHOWN.

□ NEW WORK NOTES

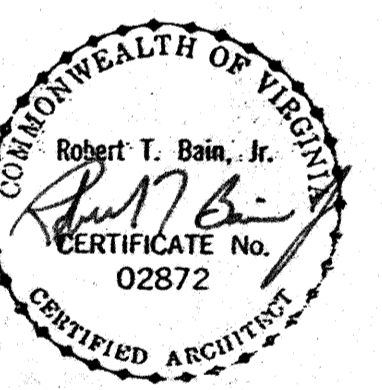
1. PROVIDE NEW 1/2" GYPSUM WALLBOARD. SCREW & LAMINATE TO EXISTING PLASTER/CMU PARTITIONS EXIST. FURRING, COLUMNS & BEAMS (TYPICAL ALL SPACES THROUGHOUT UNIT)
2. PROVIDE NEW 1-1/2" METAL FURRING CHANNELS & 1/2" GYPSUM WALLBOARD. (ENTIRE WALL)
3. PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFIT W/ REMOVABLE 1/2" PLYWOOD FRONT PANEL.
4. PROVIDE NEW RUBBER STAIR TREADS.
5. PROVIDE NEW HOLLOW CORE WOOD DOORS. SEE DOOR SCHEDULE, SHEET A17. (TYPICAL ALL INTERIOR WOOD DOORS, PROVIDE HM FRAMES AS INDICATED ON DOOR SCHEDULE, DOOR TO BE CENTERED IN NEW PARTITION UNLESS OTHERWISE DIMENSIONED.)
6. PROVIDE NEW 3-5/8" METAL STUD & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT, WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. STAGGER MTL. STUDS WHERE REQUIRED TO PROVIDE FLUSH TRANSITION INTO EXIST. WALL OR NEW MTL. FURRING. TYP. ALL LOCATIONS INDICATED UNLESS OTHERWISE NOTED.
7. PROVIDE NEW 1" X 4" WOOD CHAIR RAIL. (MTG. HEIGHT-36" TO C OF RAIL) SEE DETAIL 5/A10.
8. PROVIDE 1/2" PLYWOOD AT UNDERSIDE OF STAIR OR LANDING (SECURE TO BOTTOM OF STRINGER OR SUPPORT CHANNELS).
9. PROVIDE NEW 1/4" PLYWOOD ACCESS PANEL & TRIM. PROVIDE NEW FRAMED OPENING @ BLDG. D2 HANDICAPPED CONVERSION ONLY.
10. PROVIDE NEW EXTERIOR METAL DOOR W/SCREEN IN NEW HOLLOW METAL FRAME. PROVIDE NEW BLOCKING AND FINISH WALL. SEE SHEET A17 FOR SCHEDULE & DETAILS. (TYPICAL ALL DOORS @ DAYCARE UNIT, D2 HANDICAP CONVERSION & D3 HANDICAP CONVERSION)
11. PROVIDE NEW 7/8" METAL FURRING CHANNELS & 1/2" GWB. (ENTIRE WALL)
12. PROVIDE NEW NATURAL FINISH PLYWOOD AND SOLID WOOD CABINETS, NEW COUNTERTOPS AND FULL HEIGHT BACKSPLASH.
13. PROVIDE NEW WOOD SHELVING AND RODS. (2 SHELVES EA. @ STORAGE, 4 SHELVES EA. @ LINEN & PANTRY, 1 ROD & 2 SHELVES EA. @ BEDROOM & COAT CLOSETS, 2 RODS & 2 SHELVES EA. @ STAIR CLOSETS, 1 ROD & 1 SHELF EA. @ BATH. FOR DETAILS, SEE SHEET A19).
14. PROVIDE NEW 4" WOOD BASE. (TYPICAL ALL PARTITIONS) SEE 8/A10.
15. PROVIDE NEW 6" METAL STUD PARTITION WITH 1/2" GYPSUM WALLBOARD.
16. PROVIDE NEW HOLLOW METAL DOOR FRAMES.
17. PROVIDE NEW 1/2" GYPSUM WALLBOARD CEILING, SLOPE TO MATCH STAIR-SEE SECTION 1/A13.
18. PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFITS.
19. PROVIDE NEW 1-1/2" WOOD HANDRAIL SUPPORTED BY NEW METAL BRACKETS & SECURED TO EXISTING PARTITION. (CLEAR STAIN FINISH, SEE DETAILS 6 & 7/A19).
20. PROVIDE NEW WOOD CAP. (CLEAR STAIN FINISH) SEE DETAIL 6/A10.
21. PROVIDE NEW 12" X 12" VINYL COMPOSITION FLOOR TILE THROUGHOUT UNIT - ALL SPACES. (UNLESS OTHERWISE NOTED.)
22. PROVIDE NEW 1/2" GYPSUM WALLBOARD FASTENED TO EXISTING METAL FRAMED DUCT ENCLOSURE.
23. PROVIDE NEW 2-1/2" METAL STUDS & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT, WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. TYPICAL ALL LOCATIONS INDICATED.
24. PATCH HOLES RESULTING FROM MECHANICAL DEMOLITION PER SPEC. SECTION 07242A (SEE MECHANICAL DRAWINGS).
25. PROVIDE NEW 1" X 6" WD TRIM AT AREA BETWEEN WINDOWS. (SHAPE TO MATCH EXISTING.)
26. PATCH EXIST. OPENING RESULTING FROM MECHANICAL DEMOLITION IN SECOND FLOOR SLAB WITH CONCRETE. (SEE MECHANICAL DRAWINGS)
27. PROVIDE 2-1/2" METAL STUD CEILING FRAMING WITH 1/2" GWB THIS SIDE OF BEAM ONLY IN HALLWAY. BOTTOM OF DROP CLG. TO BE 3/4" HIGHER THAN BOTTOM OF EXIST. BEAM. COORDINATE LOCATION OF FRAMING WITH MECHANICAL DUCT. (SEE SHEET M-6.)
28. PROVIDE NEW HOLLOW CORE FLUSH WOOD BI-FOLD DOOR, TYPE E AS SHOWN ON SHEET A17. PROVIDE HARDWARE PER SPECIFICATION SECTION 08700. INSTALL DOOR VIA FLOOR & CEILING CONNECTIONS ONLY.
29. - 36. NOT SHOWN.
37. PROVIDE NEW BATH ACCESSORIES, TO INCLUDE TOILET TISSUE DISPENSER, TOWEL BAR, TUMBLER/TOOTHBRUSH HOLDER, SOAP DISH AND SHOWER CURTAIN ROD, PER SPECIFICATION SECTION 10800. SEE BATH PARTIAL PLANS, SHEET A10.
38. PROVIDE NEW ATTIC ACCESS TO MATCH ACCESS IN ADJACENT UNIT. NEW WORK TO INCLUDE FRAMED OPENING, 1/4" PLYWOOD ACCESS PANEL AND TRIM.
39. - 42. NOT SHOWN.

GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION & SHALL COORDINATE THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
2. ALL PARTITIONS SHOWN THUS ( ) INDICATE NEW PARTITIONS.
3. FOR CONSTRUCTION NOTES APPLICABLE TO THIS UNIT, REFER TO OPPOSITE HAND UNIT THIS PLAN, UNLESS OTHERWISE NOTED (I.E. EXISTING PARTITION DEMOLITION). ALL DETAIL/SECTION SYMBOLS APPLY TO BOTH UNITS.
4. WORK NOTES INDICATED ARE MASTER NOTE LISTS. SOME NOTES MAY NOT BE APPLICABLE TO THE CORRESPONDING SHEETS ON WHICH THEY APPEAR.
5. FOR DWELLING UNIT DOOR SCHEDULE & DETAILS, REFER TO SHEETS A17 & A18.
6. FOR DWELLING UNIT CASEWORK ELEVATIONS & DETAILS, REFER TO SHEET A19.
7. EXISTING ACCESS PANELS SHOWN AT APPROXIMATE LOCATION & SIZE. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION & DIMENSIONS.
8. ALL PARTITIONS SHOWN THUS ( ) INDICATE PARTITIONS TO BE REMOVED.
9. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
10. PATCH & CLEAN ALL CEILING SURFACES PRIOR TO PAINTING (QUANTITY- APPROXIMATELY SIX (6) 1" X 2" DEEP PENETRATIONS PER UNIT).
11. CONTRACTOR SHALL PROVIDE 1/2" GWB AT ALL EXPOSED SURFACES OF BEAMS & COLUMNS. TYP. THROUGHOUT ALL UNITS.
12. PAINT NEW & EXIST. INTERIOR SURFACES WITHIN THE ENTIRE UNIT. SURFACES TO BE PAINTED INCLUDE BUT ARE NOT LIMITED TO WALLS, CEILINGS, ACCESS PANELS, TRIM, METAL PANEL ENCLOSURES, FURNACE HOUSING, DUCT WORK, BEAMS, COLUMNS, DOORS & FRAMES, WOOD TRIM, HANDRAILS, RODS, SHELVES, & SUPPORTS (TYP. THROUGHOUT ALL UNITS).
13. FOR BATH PARTIAL PLANS & DETAILS, SEE SHEET A10.
14. FOR BID ALTERNATE WORK, SEE SHEETS A29 THRU A31.
15. IN ADDITION TO THE WORK INDICATED ON THIS PLAN, THE CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE CORRESPONDING DEMOLITION PLAN LOCATED ON THE SHEET REFERENCED THUS ( GN#13 - A1 ).
16. ALL PARTITIONS SHOWN THUS ( ) INDICATE NEW 2X4 WOOD PARTITIONS.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS NEWPORT NEWS, VA

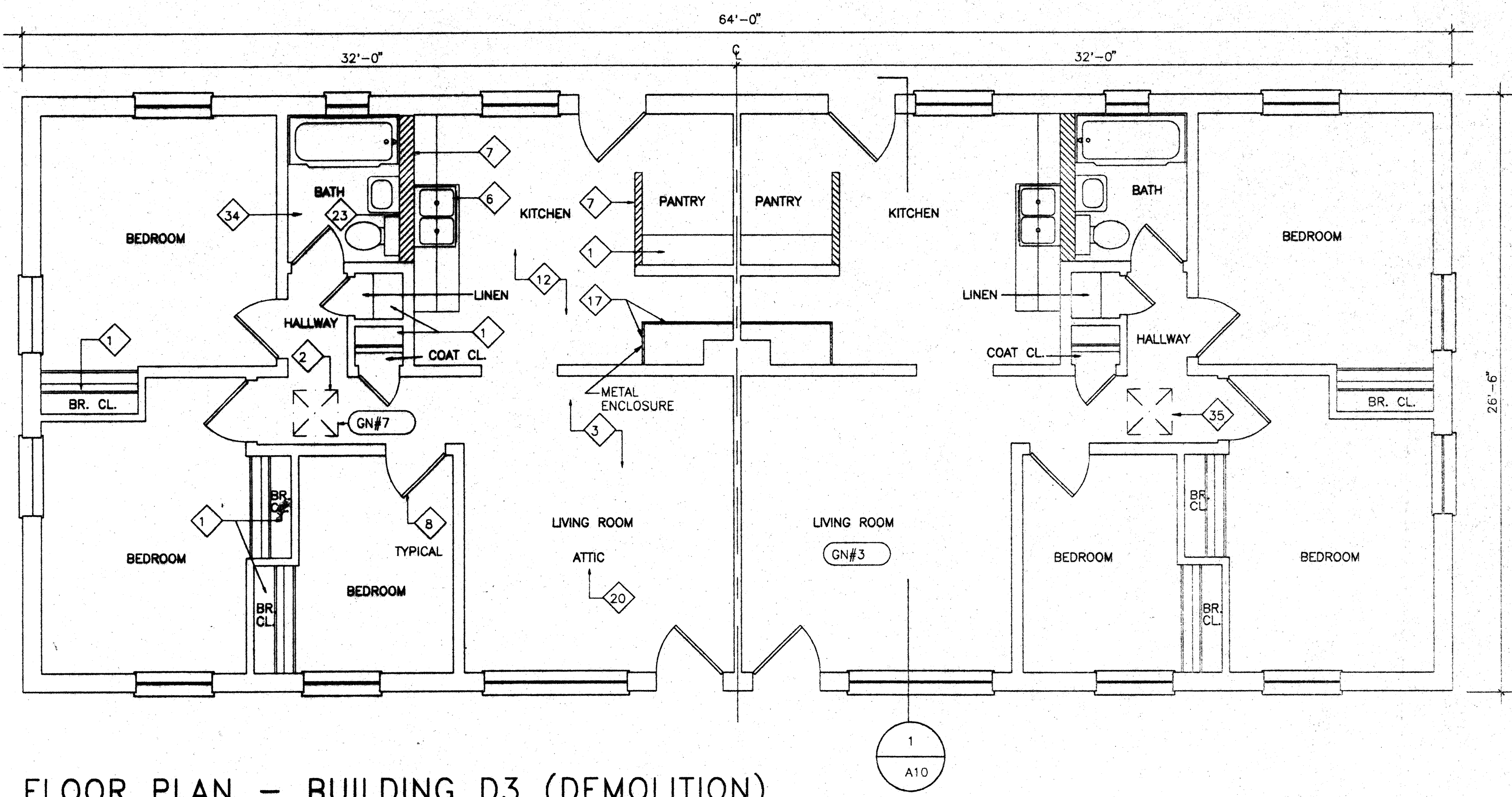


Designed: cet  
 Drawn: TFN / RSJ  
 Checked: CMH  
 Scale: AS NOTED  
 Date: JANUARY 31, 1992  
 File No: 901003A-BDN  
 Project No: 901003A

BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK)

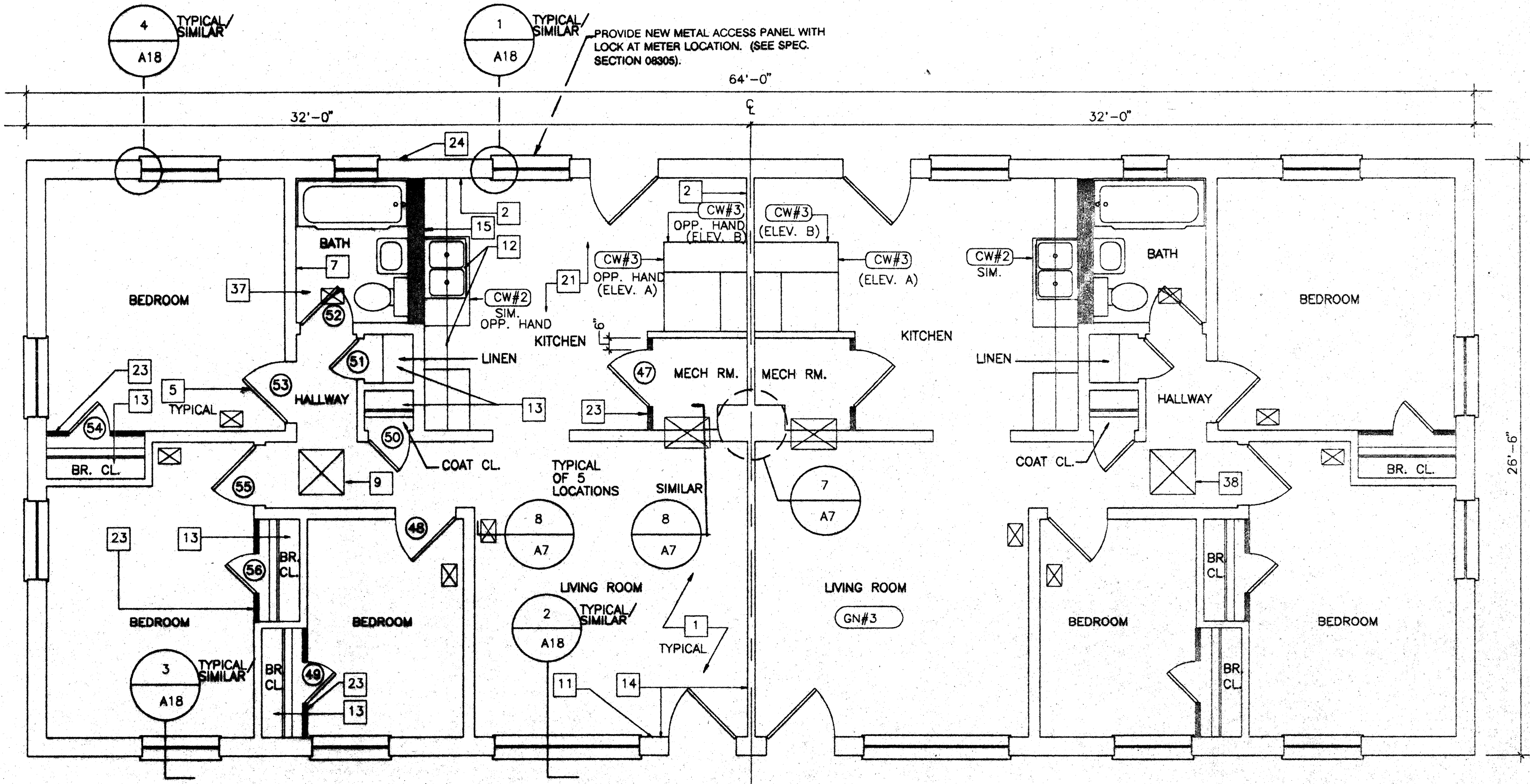
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FLOOR PLAN - BUILDING D3 (DEMOLITION)

SCALE: 1/4" = 1'-0"



FLOOR PLAN - BUILDING D3 (NEW WORK)

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

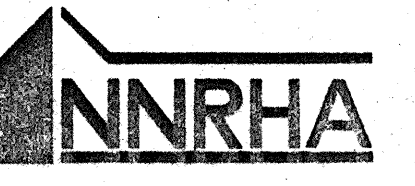
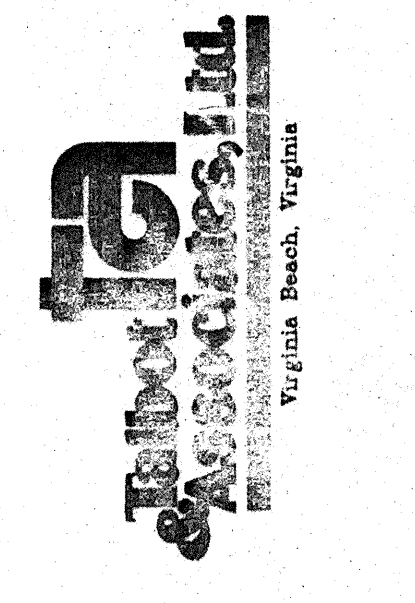
- REMOVE EXISTING WOOD SHELVING WITH SUPPORTS & RODS, PER SPECIFICATION SECTION 02090. (2 SHELVES EA. @ STORAGE, 4 SHELVES EA. @ LINEN & PANTRY, 1 ROD & 2 SHELVES EA. @ COAT CLOSETS, 2 RODS & 2 SHELVES EA. @ BEDROOM CLOSETS, 2 RODS & 1 SHELF EA. @ STAIR CLOSETS).
- REMOVE EXISTING WOOD ACCESS PANEL & TRIM PER SPECIFICATION SECTION 02090. FRAME & PATCH EXISTING OPENING WITH 1/2" GWB @ BLDG. D2, HANDICAPPED CONVERSION ONLY.
- REMOVE ALL EXISTING WOOD TRIM THROUGHOUT ALL BLDG. SPACES, PER SPECIFICATION SECTION 02090.
- REMOVE PAINT FROM ALL SURFACES OF METAL STAIR PER SPECIFICATION SECTION 02090.
- REMOVE EXIST. INTERIOR WOOD DOORS COMPLETE WITH HARDWARE PER SPECIFICATION SECTION 02090 (TYPICAL-ALL INTERIOR WOOD DOORS). METAL FRAME SHALL REMAIN, UNLESS OTHERWISE NOTED. REMOVE PAINT FROM FRAME PER SPECIFICATION SECTION 02090.
- REMOVE EXIST. KITCHEN CABINERY PER SPECIFICATION SECTION 02090, AND COUNTERTOPS PER SPEC. SECTION 02070 (SST SINK TO BE REUSED).
- REMOVE EXIST. PAINTED GWB PER SPECIFICATION SECTION 02090. REMOVE REMAINING STUD WALL COMPLETE.
- REMOVE EXIST. WOOD DOOR, FRAMES, TRIM AND HARDWARE PER SPECIFICATION SECTION 02090 (TYP. ALL INTERIOR DOORS).
- REMOVE EXIST. LEAD-BASED PAINT PER SPECIFICATION SECTION 02090 THEN REMOVE REMAINING PLASTER PARTITION.
- REMOVE EXISTING WOOD CABINERY/CASEWORK & COMPONENTS COMPLETE, PER SPEC. SECTION NOTED. PATCH & REPAIR ALL DAMAGED SURFACES.
- REMOVE EXIST. WOOD HANDRAIL & SUPPORTS PER SPECIFICATION SECTION 02090. PATCH AND REPAIR ALL DAMAGED SURFACES.
- REMOVE EXISTING FLOOR TILE AND WALL BASES COMPLETE AS DESIGNATED PER SPECIFICATION SECTION 02090. (INCLUDES MULTIPLE LAYERS. EXISTING MASTIC MATERIAL SHALL REMAIN.)
- REMOVE PAINTED METAL ENCLOSURE PANEL PER SPECIFICATION SECTION 02090. FRAMING TO REMAIN.
- REMOVE EXISTING PLUMBING FIXTURES COMPLETE. PATCH & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
- REMOVE EXIST. EXTERIOR DOOR, EXTERIOR SCREEN DOOR, FRAME & TRIM COMPLETE. REMOVE PORTION OF EXTERIOR WALL TO ACCOMMODATE NEW DOOR AS SCHEDULED. SEE SHEET A17 FOR SCHEDULE & DETAILS. (TYPICAL ALL EXTERIOR DOORS @ DAYCARE UNIT, D2 HANDICAP CONVERSION, AND D3 HANDICAP CONVERSION)
- REMOVE EXIST. LEAD-BASED PAINT PER SPECIFICATION SECTION 02090 THEN REMOVE REMAINING BLOCK WALL.
- REMOVE EXIST. PAINTED METAL ENCLOSURE AND COMPONENTS PER SPECIFICATION SECTION 02090. SEE MECHANICAL SHEET FOR FURTHER DEMOLITION.
- REMOVE EXIST. PTD. METAL HEADER PER SPECIFICATION SECTION 02090.
- REMOVE CONTAMINATED SOIL TO A DEPTH OF 2" PER SPEC. SECTION 02080.
- REMOVE CONTAMINATED BLOWN INSULATION PER SPEC. SECTION 02080.
- REMOVE EXISTING TERRACOTTA FLOOR AND CEMENTITIOUS FILL IN ADDITION TO OTHER WALL DEMOLITION. FILL RESULTING VOIDS W/ CONCRETE & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
- REMOVE EXISTING INTERIOR WOOD DOORS COMPLETE WITH HARDWARE & HM FRAMES PER SPECIFICATION SECTION 02090.
- EXISTING MIRROR/MEDICINE CABINET TO REMAIN. REMOVE & REINSTALL AS REQUIRED.
- REMOVE EXIST. LEAD-BASED PAINT FROM METAL PANEL ENCLOSURE PER SPECIFICATION SECTION 02090. EXIST. FACTORY-FINISHED FURNACE HOUSING SHALL REMAIN.
- 33. NOT SHOWN.
- REMOVE EXISTING BATH ACCESSORIES, TO INCLUDE TOILET TISSUE DISPENSER, TOWEL BAR, TUMBLER/TOOTHBRUSH HOLDER, SOAP DISH AND SHOWER CURTAIN ROD AS REQUIRED PER SPECIFICATION SECTION 02070.
- REMOVE EXISTING CEILING AND FRAMING TO PROVIDE ATTIC ACCESS TO MATCH OPENING SIZE AND LOCATION OF ADJACENT UNIT PER SPECIFICATION SECTION 02090.
- 37. NOT SHOWN.

NEW WORK NOTES

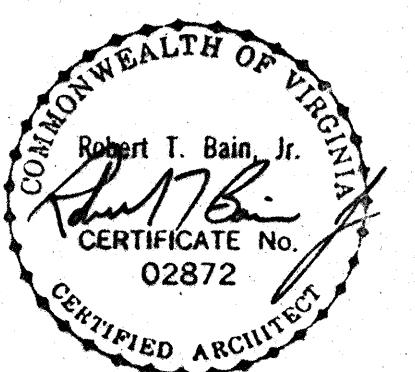
- PROVIDE NEW 1/2" GYPSUM WALLBOARD. SCREW & LAMINATE TO EXISTING PLASTER/CMU PARTITIONS, EXIST. FURRING, COLUMNS & BEAMS (TYPICAL ALL SPACES THROUGHOUT UNIT).
- PROVIDE NEW 1-1/2" METAL FURRING CHANNELS & 1/2" GYPSUM WALLBOARD. (ENTIRE WALL)
- PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFIT W/ REMOVABLE 1/2" PLYWOOD FRONT PANEL.
- PROVIDE NEW RUBBER STAIR TREADS.
- PROVIDE NEW HOLLOW CORE WOOD DOORS. SEE DOOR SCHEDULE, SHEET A17. (TYPICAL ALL INTERIOR WOOD DOORS, PROVIDE HM FRAMES AS INDICATED ON DOOR SCHEDULE. DOOR TO BE CENTERED IN NEW PARTITION UNLESS OTHERWISE DIMENSIONED).
- PROVIDE NEW 3-5/8" METAL STUD & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT. WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. STAGGER MTL. STUDS WHERE REQUIRED TO PROVIDE FLUSH TRANSITION INTO EXIST. WALL OR NEW MTL. FURRING. TYP. ALL LOCATIONS INDICATED UNLESS OTHERWISE NOTED.
- PROVIDE NEW 1 X 4 WOOD CHAIR RAIL. (MTG. HEIGHT-36" TO C OF RAIL) SEE DETAIL 5/A10.
- PROVIDE 1/2" PLYWOOD AT UNDERSIDE OF STAIR OR LANDING (SECURE TO BOTTOM OF STRINGER OR SUPPORT CHANNELS).
- PROVIDE NEW 1/4" PLYWOOD ACCESS PANEL & TRIM. PROVIDE NEW FRAMED OPENING @ BLDG. D2 HANDICAPPED CONVERSION ONLY.
- PROVIDE NEW EXTERIOR METAL DOOR W/SCREEN IN NEW HOLLOW METAL FRAME. PROVIDE NEW BLOCKING AND FINISH WALL. SEE SHEET A17 FOR SCHEDULE & DETAILS. (TYPICAL ALL DOORS @ DAYCARE UNIT, D2 HANDICAP CONVERSION & D3 HANDICAP CONVERSION)
- PROVIDE NEW 7/8" METAL FURRING CHANNELS & 1/2" GWB. (ENTIRE WALL)
- PROVIDE NEW NATURAL FINISH PLYWOOD AND SOLID WOOD CABINETS, NEW COUNTERTOPS AND FULL HEIGHT BACKSPLASH.
- PROVIDE NEW WOOD SHELVING AND RODS. (2 SHELVES EA. @ STORAGE, 4 SHELVES EA. @ LINEN & PANTRY, 1 ROD & 2 SHELVES EA. @ BEDROOM & COAT CLOSETS, 2 RODS & 2 SHELVES EA. @ STAIR CLOSETS, 1 ROD & 1 SHELF EA. @ BATH. FOR DETAILS, SEE SHEET A19).
- PROVIDE NEW 4" WOOD BASE. (TYPICAL ALL PARTITIONS) SEE 6/A10
- PROVIDE NEW 6" METAL STUD PARTITION WITH 1/2" GYPSUM WALLBOARD.
- PROVIDE NEW HOLLOW METAL DOOR FRAMES.
- PROVIDE NEW 1/2" GYPSUM WALLBOARD CEILING. SLOPE TO MATCH STAIR-SEE SECTION 1/A13.
- PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFITS.
- PROVIDE NEW 1-1/2" WOOD HANDRAIL SUPPORTED BY NEW METAL BRACKETS & SECURED TO EXISTING PARTITION. (CLEAR STAIN FINISH, SEE DETAILS 6 & 7/A19).
- PROVIDE NEW WOOD CAP. (CLEAR STAIN FINISH) SEE DETAIL 6/A10.
- PROVIDE NEW 12" X 12" VINYL COMPOSITION FLOOR TILE THROUGHOUT UNIT - ALL SPACES. (UNLESS OTHERWISE NOTED.)
- PROVIDE NEW 1/2" GYPSUM WALLBOARD FASTENED TO EXISTING METAL FRAMED DUCT ENCLOSURE.
- PROVIDE NEW 2-1/2" METAL STUDS & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT. WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. TYPICAL ALL LOCATIONS INDICATED.
- PATCH HOLES RESULTING FROM MECHANICAL DEMOLITION PER SPEC. SECTION 07242A (SEE MECHANICAL DRAWINGS).
- PROVIDE NEW 1 X 6 WD TRIM AT AREA BETWEEN WINDOWS. (SHAPE TO MATCH EXISTING).
- PATCH EXIST. OPENING RESULTING FROM MECHANICAL DEMOLITION IN SECOND FLOOR SLAB WITH CONCRETE. (SEE MECHANICAL DRAWINGS)
- PROVIDE 2 1/2" METAL STUD CEILING FRAMING WITH 1/2" GWB THIS SIDE OF BEAM ONLY IN HALLWAY. BOTTOM OF DROP CLG. TO BE 3/4" HIGHER THAN BOTTOM OF EXIST. BEAM. COORDINATE LOCATION OF FRAMING WITH MECHANICAL DUCT. (SEE SHEET M-6)
- PROVIDE NEW HOLLOW CORE FLUSH WOOD BI-FOLD DOOR, TYPE E AS SHOWN ON SHEET A17. PROVIDE HARDWARE PER SPECIFICATION SECTION 08700. INSTALL DOOR VIA FLOOR & CEILING CONNECTIONS ONLY.
- 36. NOT SHOWN.
- PROVIDE NEW BATH ACCESSORIES, TO INCLUDE TOILET TISSUE DISPENSER, TOWEL BAR, TUMBLER/TOOTHBRUSH HOLDER, SOAP DISH AND SHOWER CURTAIN ROD, PER SPECIFICATION SECTION 10800. SEE BATH PARTIAL PLANS, SHEET A10.
- PROVIDE NEW ATTIC ACCESS TO MATCH ACCESS IN ADJACENT UNIT. NEW WORK TO INCLUDE FRAMED OPENING, 1/4" PLYWOOD ACCESS PANEL AND TRIM.
- 42. NOT SHOWN.

GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION & SHALL COORDINATE THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- ALL PARTITIONS SHOWN THUS (---) INDICATE NEW PARTITIONS.
- FOR CONSTRUCTION NOTES APPLICABLE TO THIS UNIT, REFER TO OPPOSITE HAND UNIT THIS PLAN, UNLESS OTHERWISE NOTED (I.E. EXISTING PARTITION DEMOLITION). ALL DETAIL/SECTION SYMBOLS APPLY TO BOTH UNITS.
- WORK NOTES INDICATED ARE MASTER NOTE LISTS. SOME NOTES MAY NOT BE APPLICABLE TO THE CORRESPONDING SHEETS ON WHICH THEY APPEAR.
- FOR DWELLING UNIT DOOR SCHEDULE & DETAILS, REFER TO SHEETS A17 & A18.
- FOR DWELLING UNIT CASEWORK ELEVATIONS & DETAILS, REFER TO SHEET A19.
- EXISTING ACCESS PANELS SHOWN AT APPROXIMATE LOCATION & SIZE. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION & DIMENSIONS.
- ALL PARTITIONS SHOWN THUS (////) INDICATE PARTITIONS TO BE REMOVED.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- PATCH & CLEAN ALL CEILING SURFACES PRIOR TO PAINTING (QUANTITY - APPROXIMATELY SIX (6) 1' X 2' DEEP PENETRATIONS PER UNIT).
- CONTRACTOR SHALL PROVIDE 1/2" GWB AT ALL EXPOSED SURFACES OF BEAMS & COLUMNS. TYP. THROUGHOUT ALL UNITS.
- PAINT NEW & EXIST. INTERIOR SURFACES WITHIN THE ENTIRE UNIT. SURFACES TO BE PAINTED INCLUDE BUT ARE NOT LIMITED TO WALLS, CEILINGS, ACCESS PANELS, TRIM, METAL PANEL ENCLOSURES, FURNACE HOUSING, DUCT WORK, BEAMS, COLUMNS, DOORS & FRAMES, WOOD TRIM, HANDRAILS, RODS, SHELVES, & SUPPORTS (TYP. THROUGHOUT ALL UNITS).
- FOR BATH PARTIAL PLANS & DETAILS, SEE SHEET A10.
- FOR BID ALTERNATE WORK, SEE SHEETS A29 THRU A31.
- IN ADDITION TO THE WORK INDICATED ON THIS PLAN, THE CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE CORRESPONDING DEMOLITION PLAN LOCATED ON THE SHEET REFERENCED THUS (GN#19).
- ALL PARTITIONS SHOWN THUS (---) INDICATE NEW 2X4 WOOD PARTITIONS.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS NEWPORT NEWS, VA

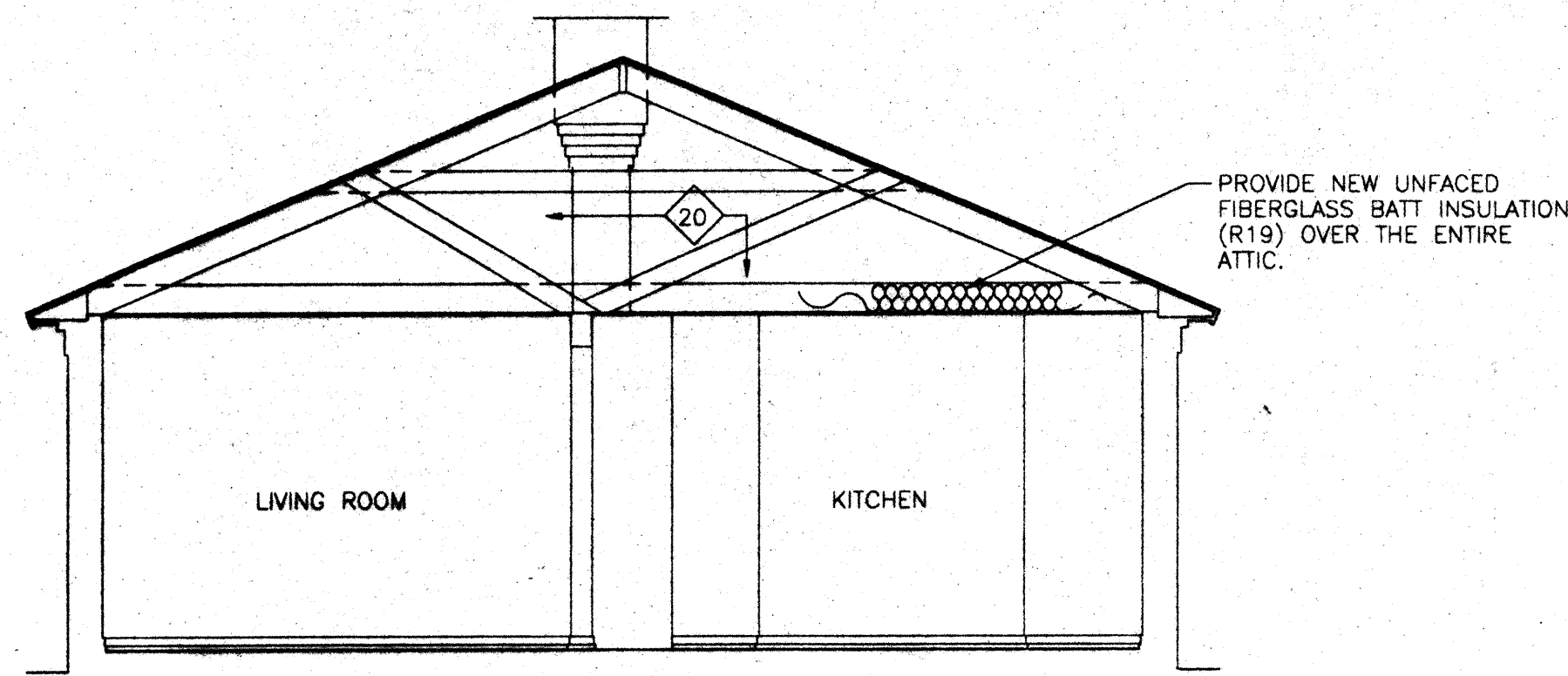


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 Project No: 901003A

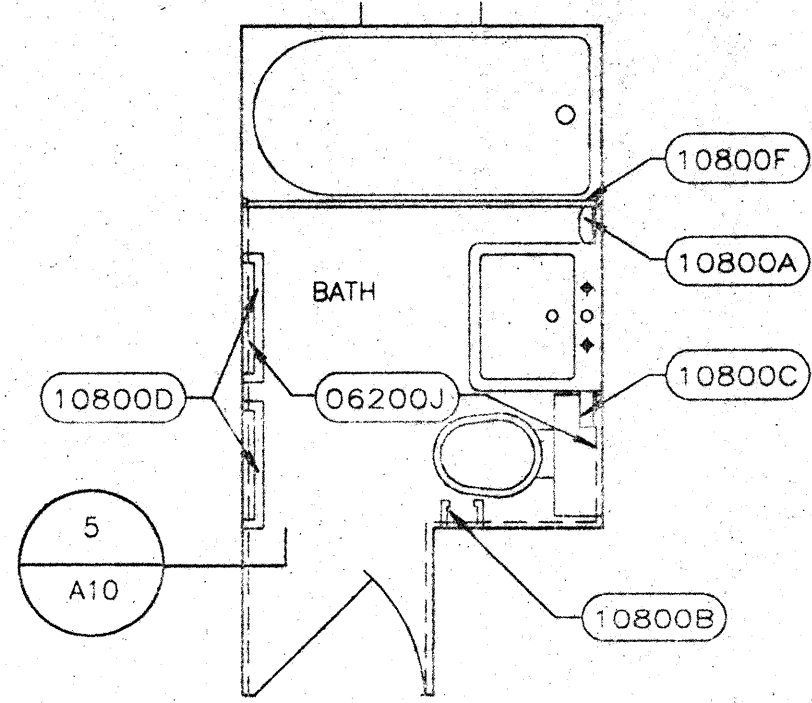
BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK)

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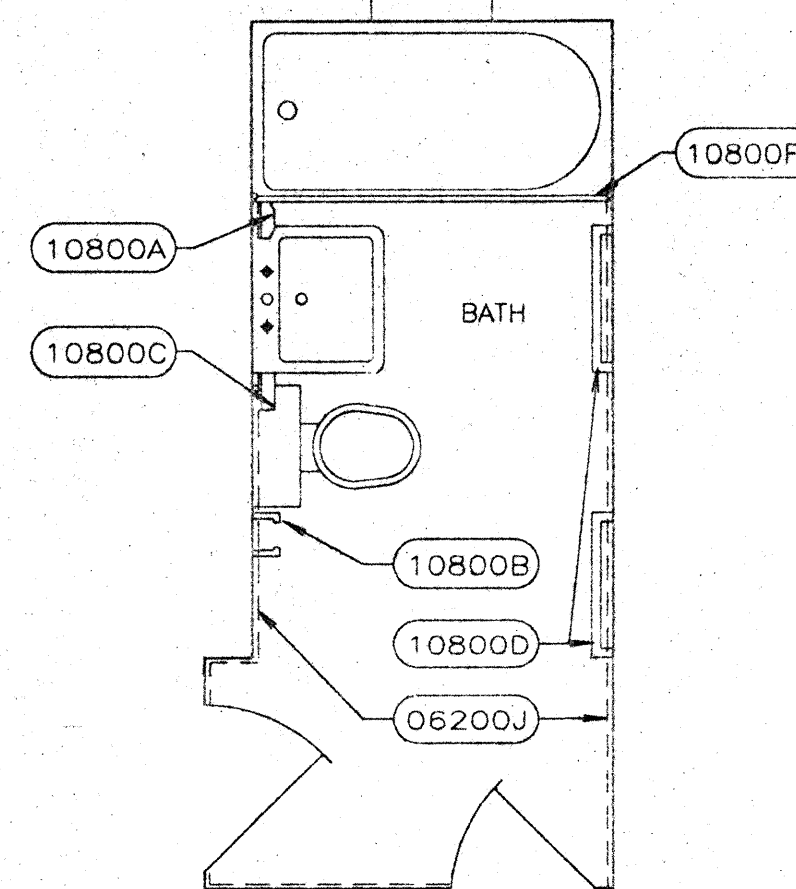




1 TYPICAL 1-STORY UNIT SECTION - BLDG. D2&D3  
SCALE: 1/4" = 1'-0" NOTE: FOR DEMOLITION NOTES, REFER TO SHEET A1.



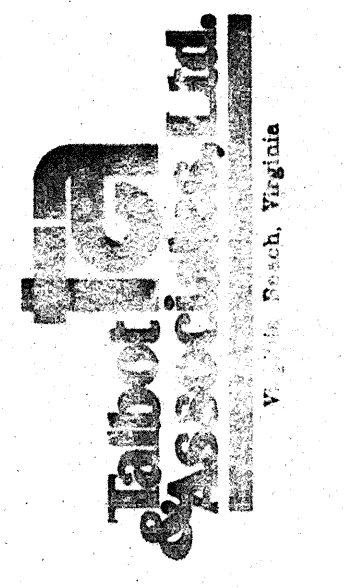
PLAN 2BR, 3BR/BLDG. A&B  
3/8" = 1'-0"



PLAN 1BR/BLDG. A&B  
3/8" = 1'-0"

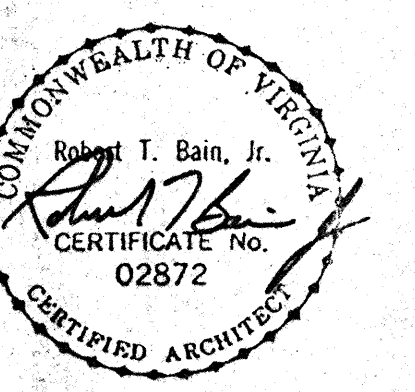
MATERIAL KEY LEGEND

- 2: SITWORK
- 02200A COMPACTED FILL
- B POROUS FILL (4")
- C EARTH BACKFILL
- 02520A CONCRETE WALK-SEE SITE PLAN SHEET
- E EXPANSION JOINT MATERIAL
- 3: CONCRETE
- 03310A CONCRETE FOOTING OR SLAB
- B REINFORCING BARS (#3) VERTICAL AT CORNERS
- C REINFORCING BARS (#3) HORIZONTAL
- D REINFORCING BARS (#4) 6" O.C. EACH WAY
- E EXPANSION JOINT
- F STEEL DOWEL SET IN GROUT
- G CONCRETE STOOP W/THICKENED SLAB AT COLUMN
- 4: MASONRY
- 04200A CMU (4")
- B EXPANSION BOLT
- C THRU BOLT-1/4" THREADED ROD
- 5: METALS
- 05120A STEEL ANGLE
- B STEEL PLATE
- C STEEL PIPE COLUMN (3" DIA.)
- D STEEL PLATE (5" X 4 1/2" X 3/4")
- E ANCHOR BOLTS (3/8" DIA.)
- F BASE PLATE (6" X 7" X 3/8") W/ 2 (1/2") J-BARS
- G ROD, THREADED (1/2" DIA.)
- H STEEL BEAM (W 10 X 22)
- I STEEL PLATE (6" X 6" X 3/4")
- J STEEL PLATE (5" X 8" X 3/4")
- K STEEL BOLT, NUT & WASHER (5/8" DIA.)
- L STEEL TEE
- M EROSION RESISTANT ANCHORING CEMENT
- N GROUT (PORTLAND CEMENT)
- 6: WOOD AND PLASTICS
- 06100A WOOD BEAM (2" X 8") DOUBLE W/THRU BOLTS @ 1'-0" O.C.
- B WOOD BEAM (2" X 12") DOUBLE
- C WOOD JOIST (2" X 8")
- D WOOD LEDGER (2" X 8")
- E WOOD PARTITION (2" X 4")
- F 1" X 6" COLLAR BOARD
- G BUILT-UP 2" X 4" WOOD POST
- H JOIST HANGER FOR 4" THICK JOIST
- I JOIST HGR-2" THICK JOIST
- J WOOD CANT
- K WOOD BLOCKING
- L EXTERIOR PLYWOOD SHEATHING
- 06200A WOOD KNEE WALL CAP
- B WOOD STAIR HANDRAIL
- C HANDRAIL MOUNTING BRACKET
- D CLOSET ROD AND SUPPORTS
- E NOT USED
- F PLYWOOD SHELVES (3/4" M.D.O.)
- G PLYWOOD VERTICAL SUPPORT (3/4" M.D.O.)
- H PLYWOOD SOFFIT FACE (1/2" M.D.O.)
- I WOOD LEDGER (1" X 3")
- J WOOD CHAIR RAIL (1" X 4")
- K PLYWOOD ATTIC ACCESS DOOR (3/4" M.D.O.)
- L PAN HEAD SCREW W/WASHER (3/16" X 3/4")
- M WOOD VENEER STRIP
- N PLYWOOD (3/4")
- O NOT USED
- P WOOD TRIM (1 X CUT TO FIT)
- 06402A PLASTIC LAMINATE ON 3/4" PARTICLE BOARD
- B BASE CABINET
- C WALL CABINET
- D VENEER PLYWOOD
- E SOLID WOOD BLOCKING
- F SOLID WOOD FACE FRAME
- 7: THERMAL AND MOISTURE PROTECTION
- 07242A EXTERIOR FINISH SYSTEM/STUCCO
- B EXTERIOR FINISH SYSTEM/SMOOTH COAT
- C EXTERIOR FINISH SYSTEM/BRICK
- 07460A ALUMINUM FASCIA
- B VINYL SOFFIT W/"J" TRIM @ PERIMETER
- C ALUMINUM BREAK METAL TRIM
- 07530A SINGLE PLY MEMBRANE
- B MEMBRANE FLASHING
- C METAL GUTTER & DOWNSPOUT
- D E.P.D.M. RUBBER PIPE FLASHING W/ALUM. RING
- E BASE (ATTACH W/ SST FASTENERS)
- F ADJUSTABLE SST CLAMP
- G GALVANIZED SHEET MTL. COVER W/ MTL. CLEAT
- H SCUPPER
- 07900A SEALANT
- B EXPANSION JOINT
- 8: DOORS AND WINDOWS
- 08110A STEEL DOOR FRAME
- B WALL ANCHORS (3 PER JAMB)
- C STEEL DOOR - SEE DOOR SCHEDULE
- D WOOD DOOR - SEE DOOR SCHEDULE
- 08390A SCREEN DOOR & FRAME
- 08520A ALUMINUM WINDOW (EQ. TO SERIES 400-U.S. ALUM. CO.)
- 08710A ALUMINUM THRESHOLD
- B CABINET HINGE
- C NOT USED
- D CABINET MAGNETIC CATCH
- E LOCK ASSEMBLY & STRIKE
- F PULL
- G EXPANSION ANCHOR
- 9: FINISHES
- 09250A GYPSUM WALLBOARD (1/2") MOISTURE RESISTANT
- B GYPSUM WALLBOARD (1/2") STANDARD
- C METAL HAT-FURRING (7/8") @ 16" O.C. MAX.
- D METAL FURRING (1 1/2") @ 16" O.C. MAX
- E EDGE TRIM, "J" MOLD
- F METAL STUD (2 1/2") @ 24" O.C. MAX
- G METAL STUD (3 5/8") @ 24" O.C. MAX.
- H GYPSUM WALLBOARD (1/2") TYPE "X" FIRE CODE
- 09512A ACOUSTICAL CEILING SYSTEM-SEE FINISH SCHEDULE
- 09650A VINYL COMPOSITION TILE (3/32" X 12" X 12")
- B NOT USED
- C RESILIENT EDGE STRIP
- 10: SPECIALTIES
- 10160A TOILET PARTITIONS
- 10200A LOUVER, METAL
- B CLIP ANGLE, METAL
- C SOAP DISH
- 10800A B TOILET TISSUE HOLDER
- C TUMBLER & TOOTHBRUSH HOLDER
- D TOWEL BAR
- E GRAB BAR
- F SHOWER CURTAIN ROD
- G TILT MIRROR W/ SST FRAME (18" X 30")
- H MIRROR W/ SST FRAME (18" X 30")
- I PAPER TOWEL DISPENSER
- J TOILET TISSUE DISPENSER
- K SANITARY NAPKIN DISPOSAL
- L WALL ASH URN
- 15: MECHANICAL
- 15800A VENT PIPE (SEE MECH. DWGS)
- 15840A SHEET METAL DUCT (SEE MECH. DWGS)



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

NEWPORT NEWS, VA



Designed: GCT

Drawn: TFM / RSJ

Checked: CMH

Scale: AS NOTED

Date: JANUARY 31, 1992

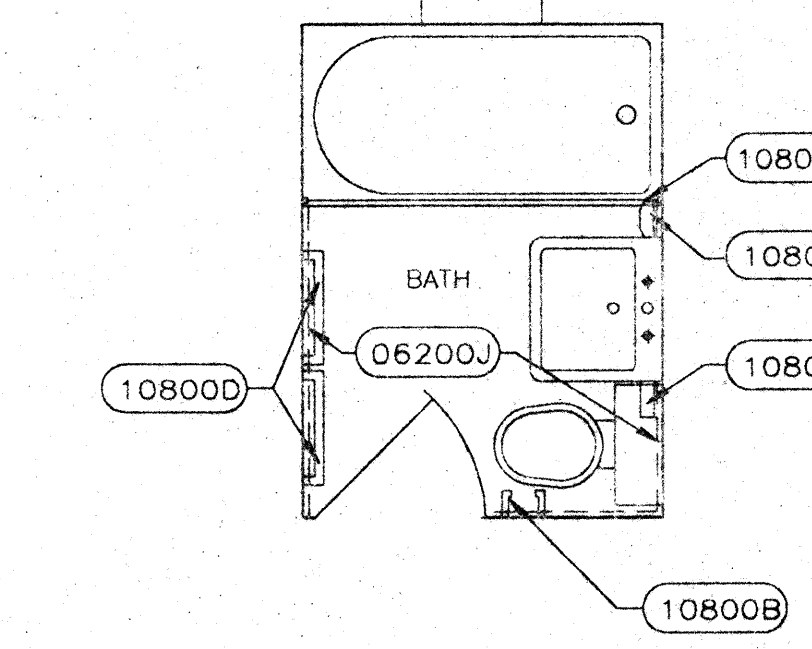
File No: 901003A-10BSD

Project No: 901003A

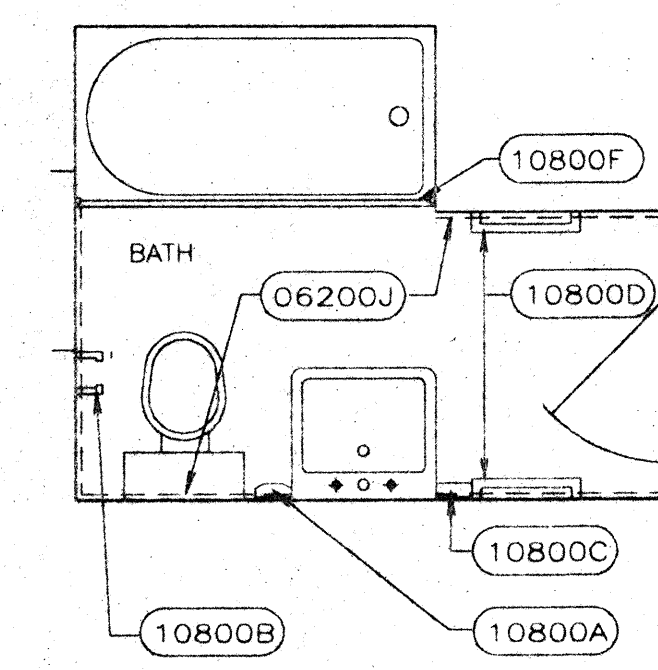
BUILDING TYPES D2 & D3 - BUILDING SECTIONS, PARTIALS & DETAILS

Sheet No:

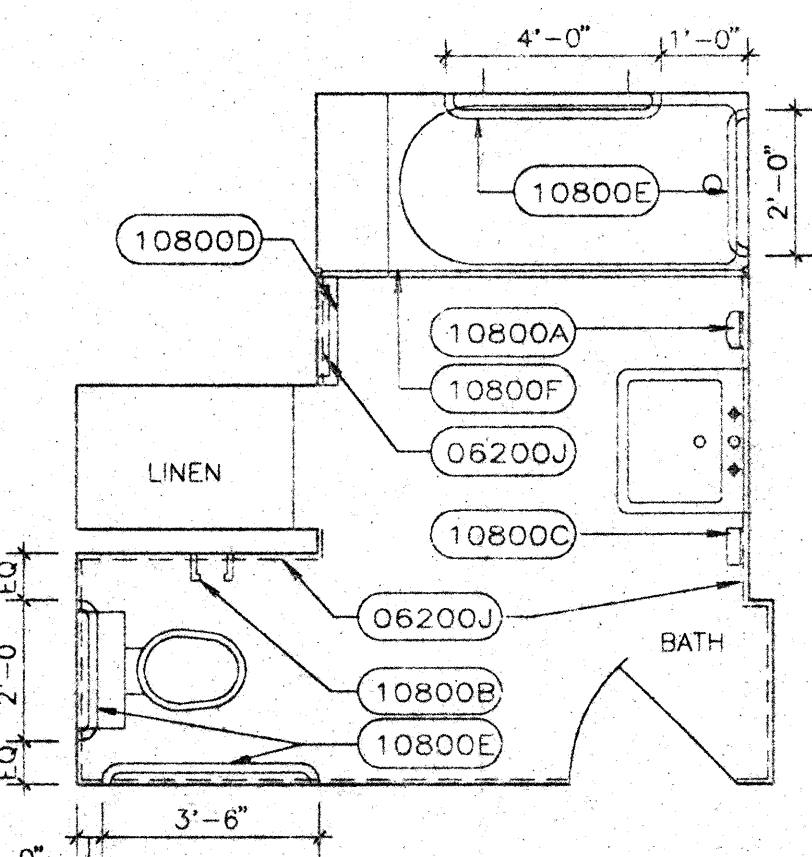
A10 of Sheets



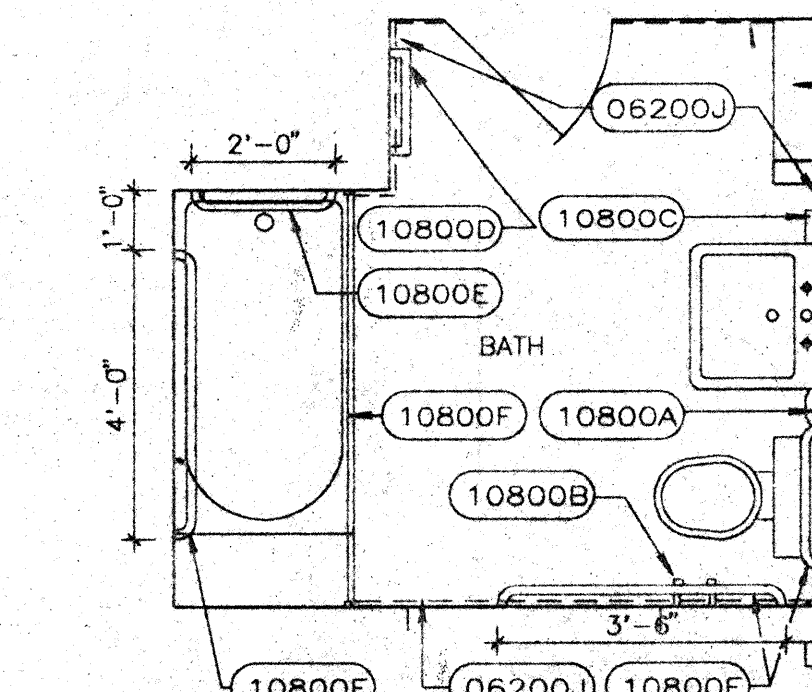
PLAN BLDG. D4, BLDG. D3 SIMILAR  
3/8" = 1'-0"



PLAN BLDG. F  
3/8" = 1'-0"



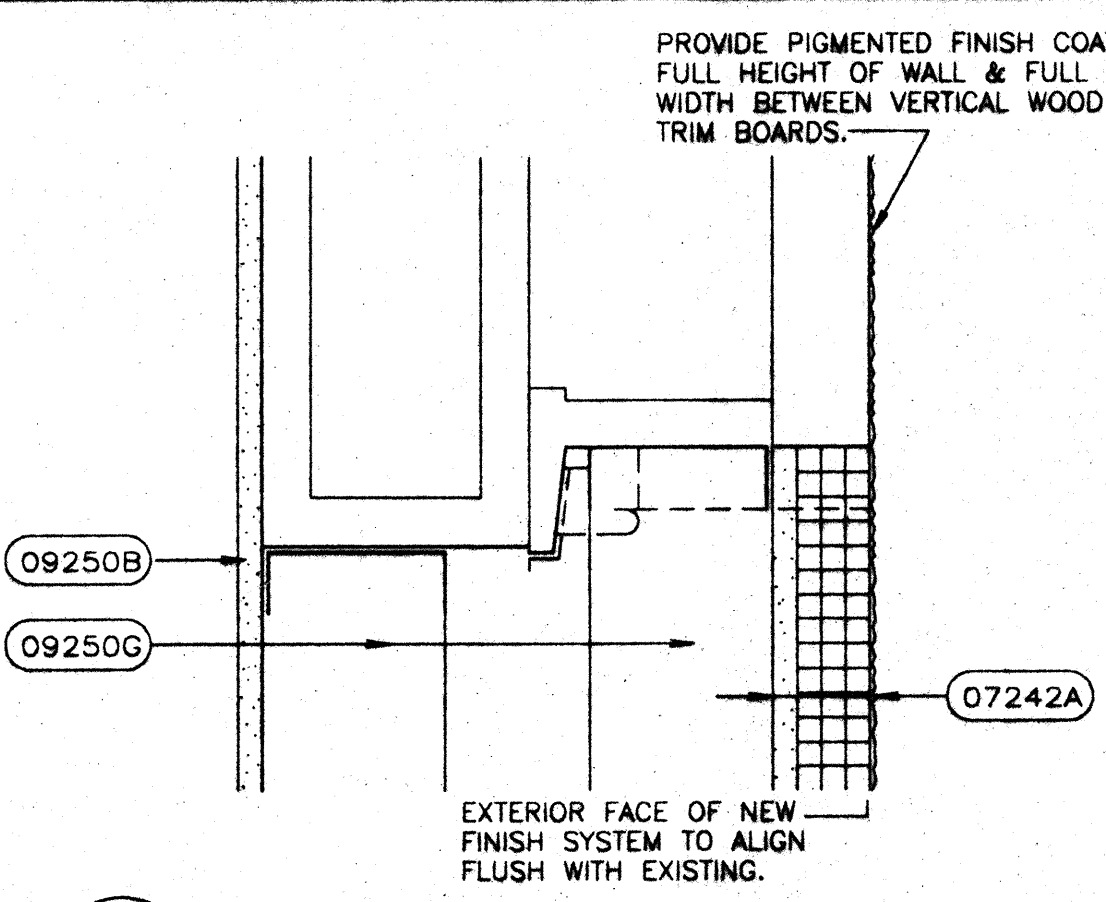
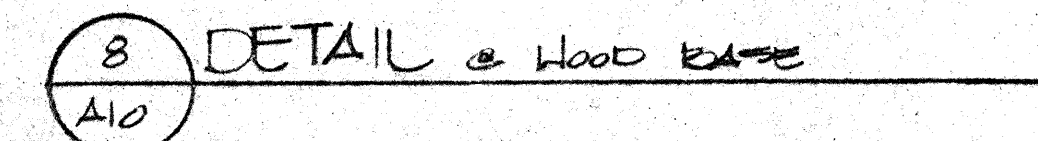
PLAN BLDG. D2 HANDICAP UNIT  
3/8" = 1'-0"



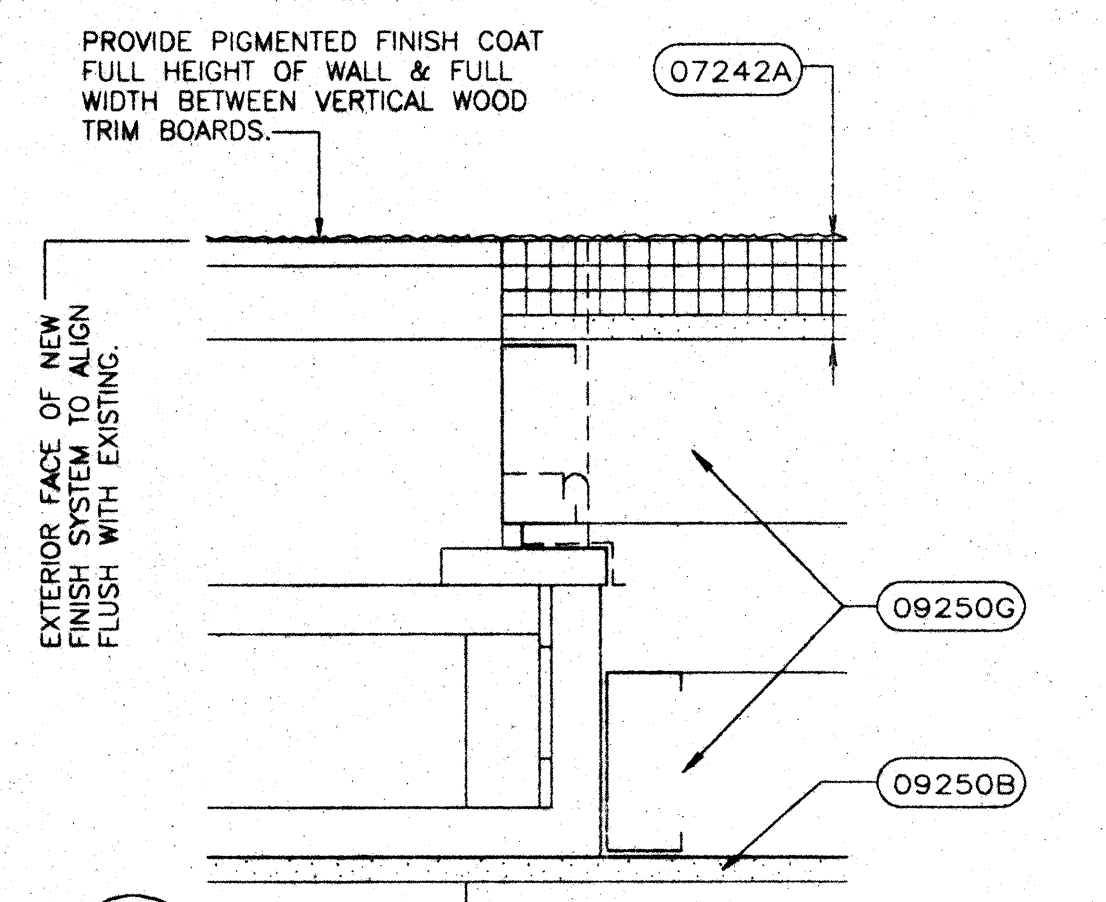
PLAN BLDG. D3 HANDICAP UNIT  
3/8" = 1'-0"

GENERAL NOTES

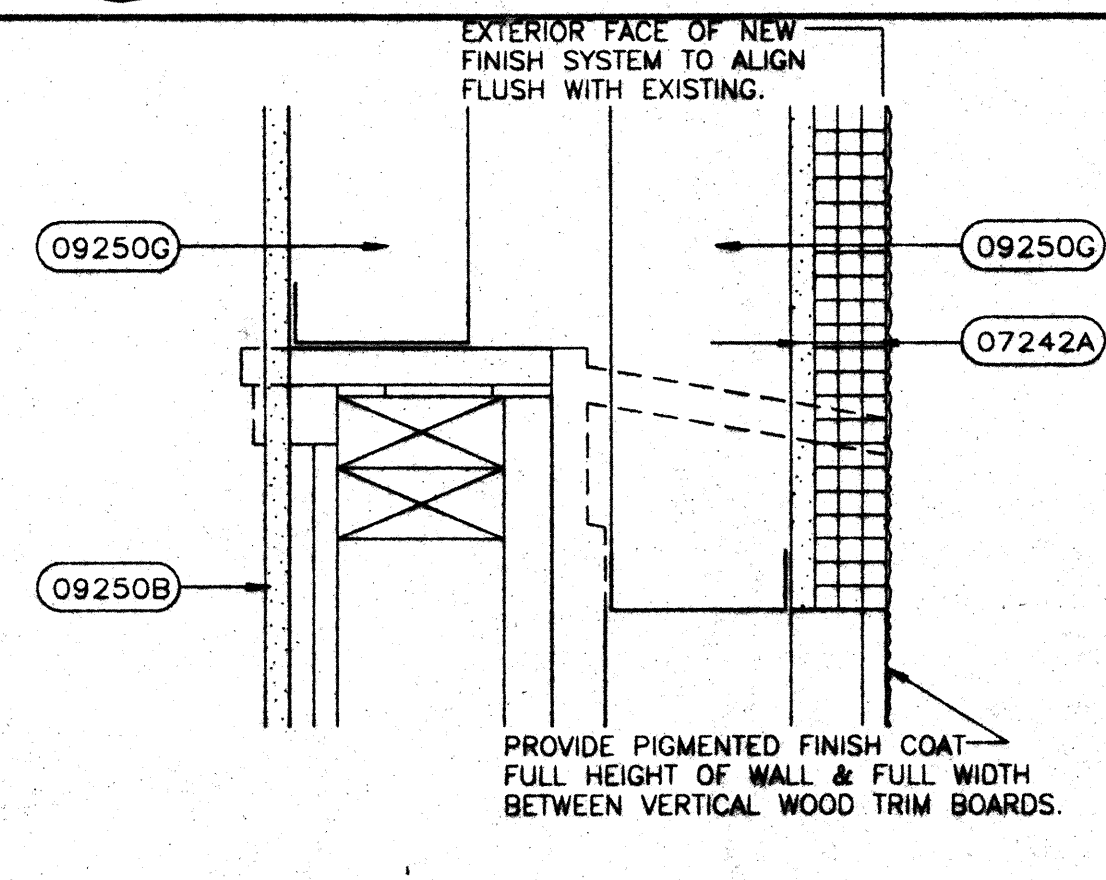
1. THE GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION & SHALL COORDINATE THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
2. ALL PARTITIONS SHOWN THUS (Hatched) INDICATE NEW PARTITIONS.
3. FOR CONSTRUCTION NOTES APPLICABLE TO THIS UNIT, REFER TO OPPOSITE HAND UNIT THIS PLAN, UNLESS OTHERWISE NOTED (I.E. EXISTING PARTITION DEMOLITION). ALL DETAIL/SECTION SYMBOLS APPLY TO BOTH UNITS.
4. WORK NOTES INDICATED ARE MASTER NOTE LISTS. SOME NOTES MAY NOT BE APPLICABLE TO THE CORRESPONDING SHEETS ON WHICH THEY APPEAR.
5. FOR DWELLING UNIT DOOR SCHEDULE & DETAILS, REFER TO SHEETS A17 & A18.
6. FOR DWELLING UNIT CASEWORK ELEVATIONS & DETAILS, REFER TO SHEET A19.
7. EXISTING ACCESS PANELS SHOWN AT APPROXIMATE LOCATION & SIZE. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION & DIMENSIONS.
8. ALL PARTITIONS SHOWN THUS (Hatched) INDICATE PARTITIONS TO BE REMOVED.
9. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
10. PATCH & CLEAN ALL CEILING SURFACES PRIOR TO PAINTING (QUANTITY- APPROXIMATELY SIX (6) 1" X 2" DEEP PENETRATIONS PER UNIT).
11. CONTRACTOR SHALL PROVIDE 1/2" GWB AT ALL EXPOSED SURFACES OF BEAMS & COLUMNS. TYP. THROUGHOUT ALL UNITS.
12. PAINT NEW & EXIST. INTERIOR SURFACES WITHIN THE ENTIRE UNIT. SURFACES TO BE PAINTED INCLUDE BUT ARE NOT LIMITED TO WALLS, CEILINGS, ACCESS PANELS, TRIM, METAL PANEL ENCLOSURES, FURNACE HOUSING, DUCT WORK, BEAMS, COLUMNS, DOORS & FRAMES, WOOD TRIM, HANDRAILS, RODS, SHELVES, & SUPPORTS (TYP. THROUGHOUT ALL UNITS).
13. FOR BATH PARTIAL PLANS & DETAILS, SEE SHEET A10.
14. FOR BID ALTERNATE WORK, SEE SHEETS A29 THRU A31.
15. IN ADDITION TO THE WORK INDICATED ON THIS PLAN, THE CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE CORRESPONDING DEMOLITION PLAN LOCATED ON THE SHEET REFERENCED THUS (C#13) A1.
16. ALL PARTITIONS SHOWN THUS (Hatched) INDICATE NEW 2X4 WOOD PARTITIONS.
17. SEE SHEET A13 FOR TYPICAL GWB/SEAL INSTALLATION DETAILS.



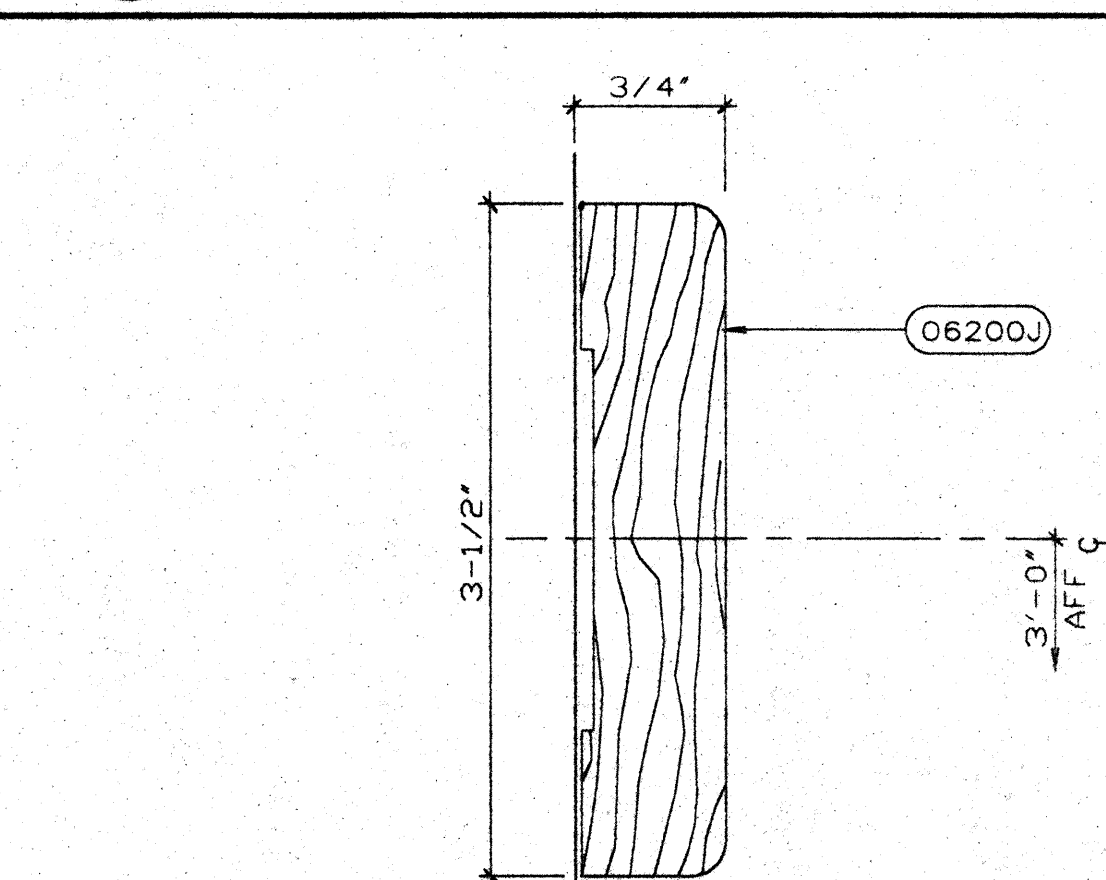
2 DETAIL @ HEAD  
3" = 1'-0"



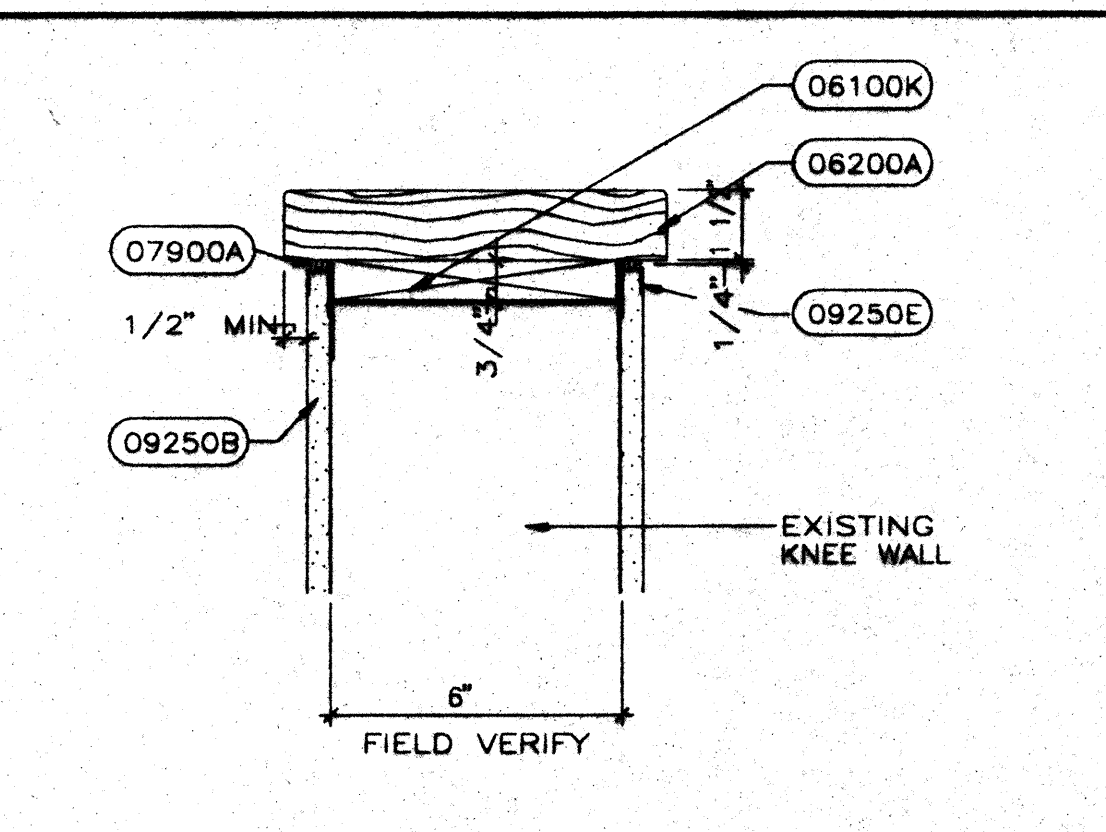
3 DETAIL @ JAMB  
3" = 1'-0"



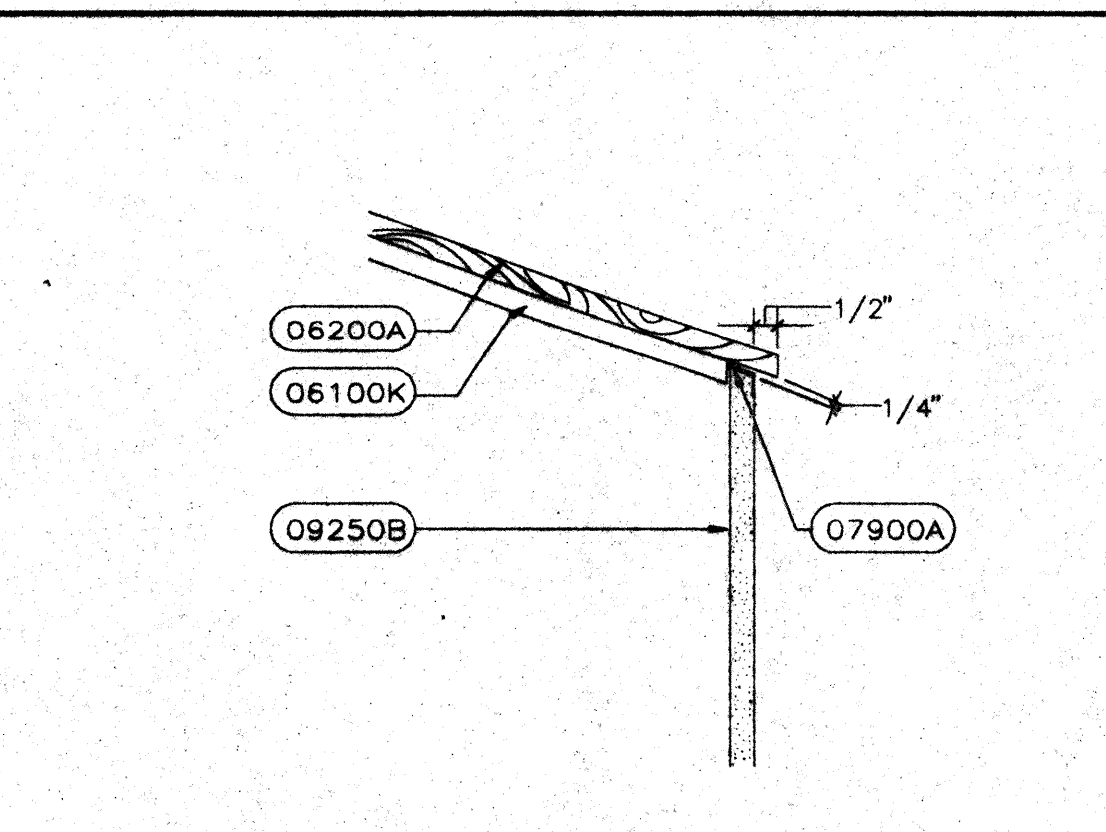
4 DETAIL @ SILL  
3" = 1'-0"



5 DETAIL @ CHAIR RAIL  
FULL SCALE

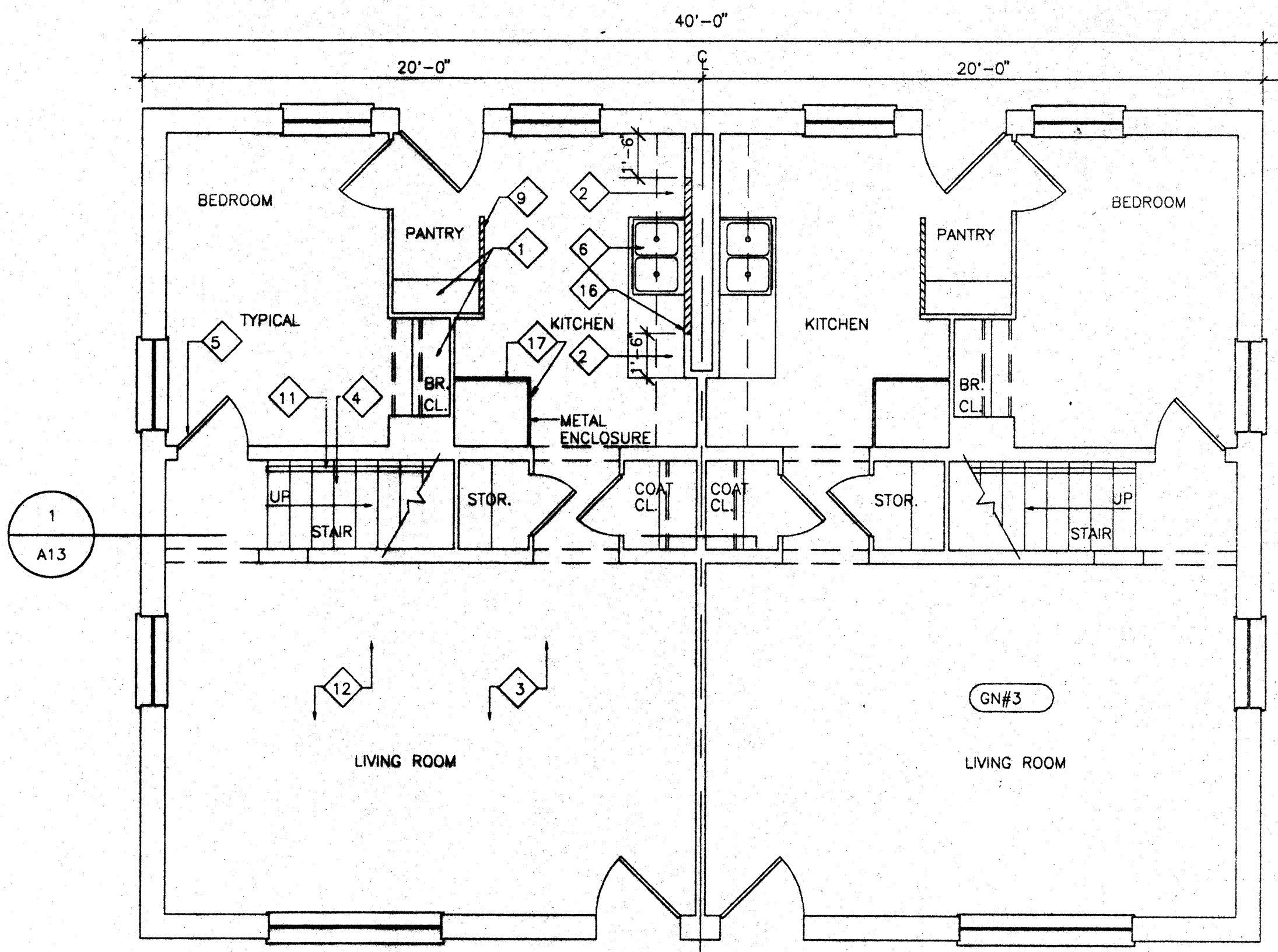


6 DETAIL @ WOOD CAP  
SCALE: 3" = 1'-0"



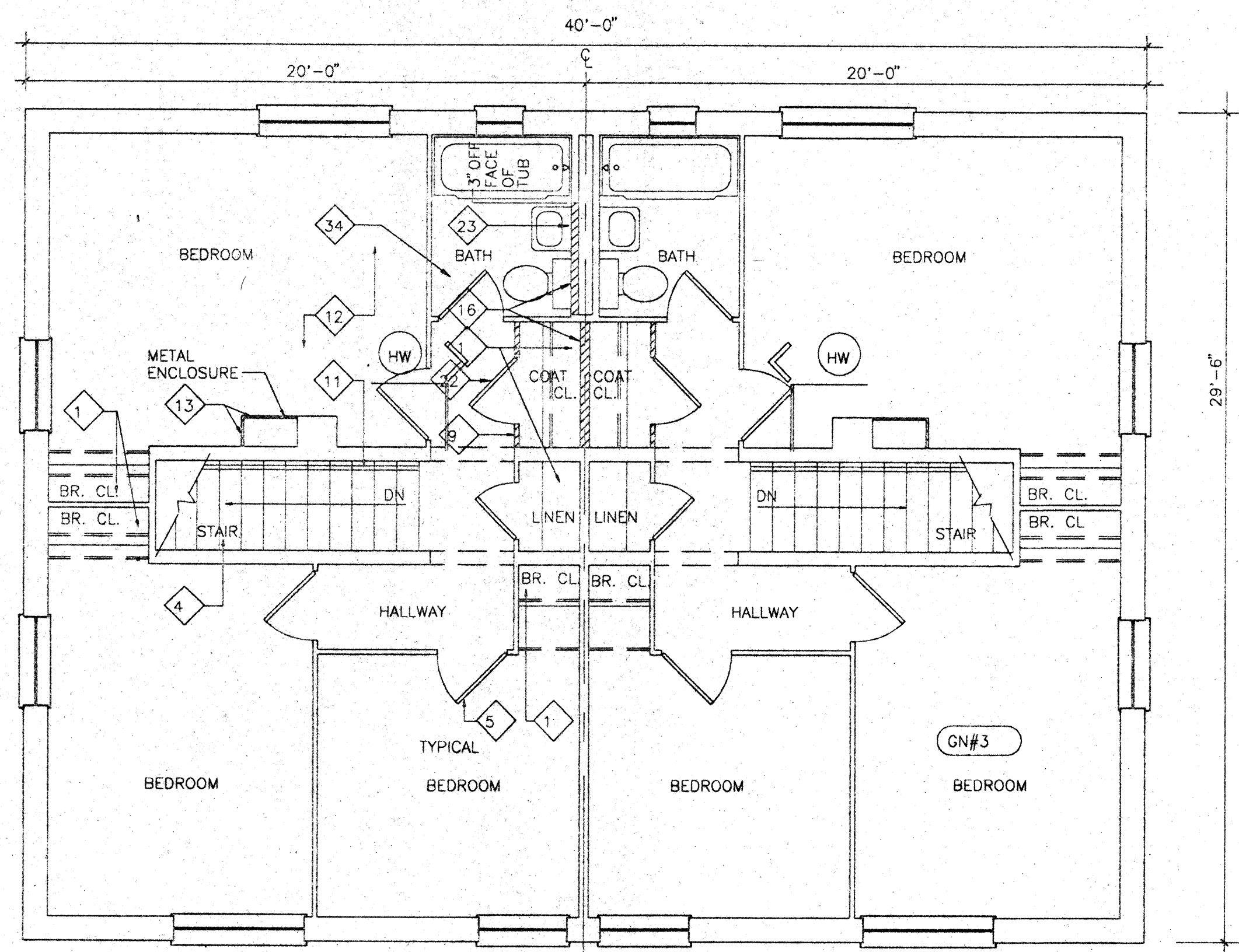
7 DETAIL @ STAIR CORNER  
SCALE: 1" = 1'-0"





FIRST FLOOR PLAN - BLDG. D4 (DEMOLITION)

SCALE: 1/4" = 1'-0"

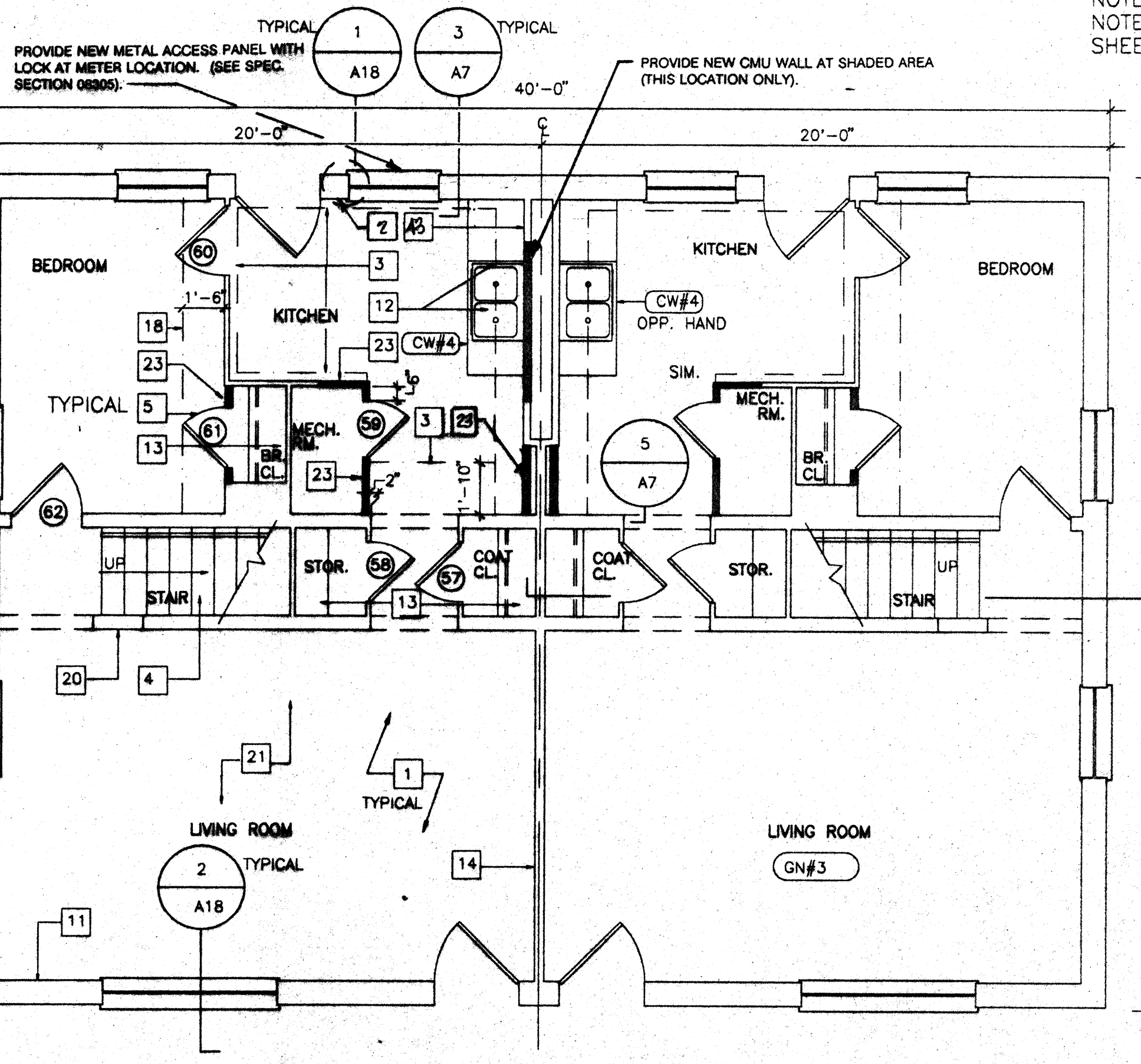


SECOND FLOOR PLAN - BLDG. D4 (DEMOLITION)

SCALE: 1/4" = 1'-0"

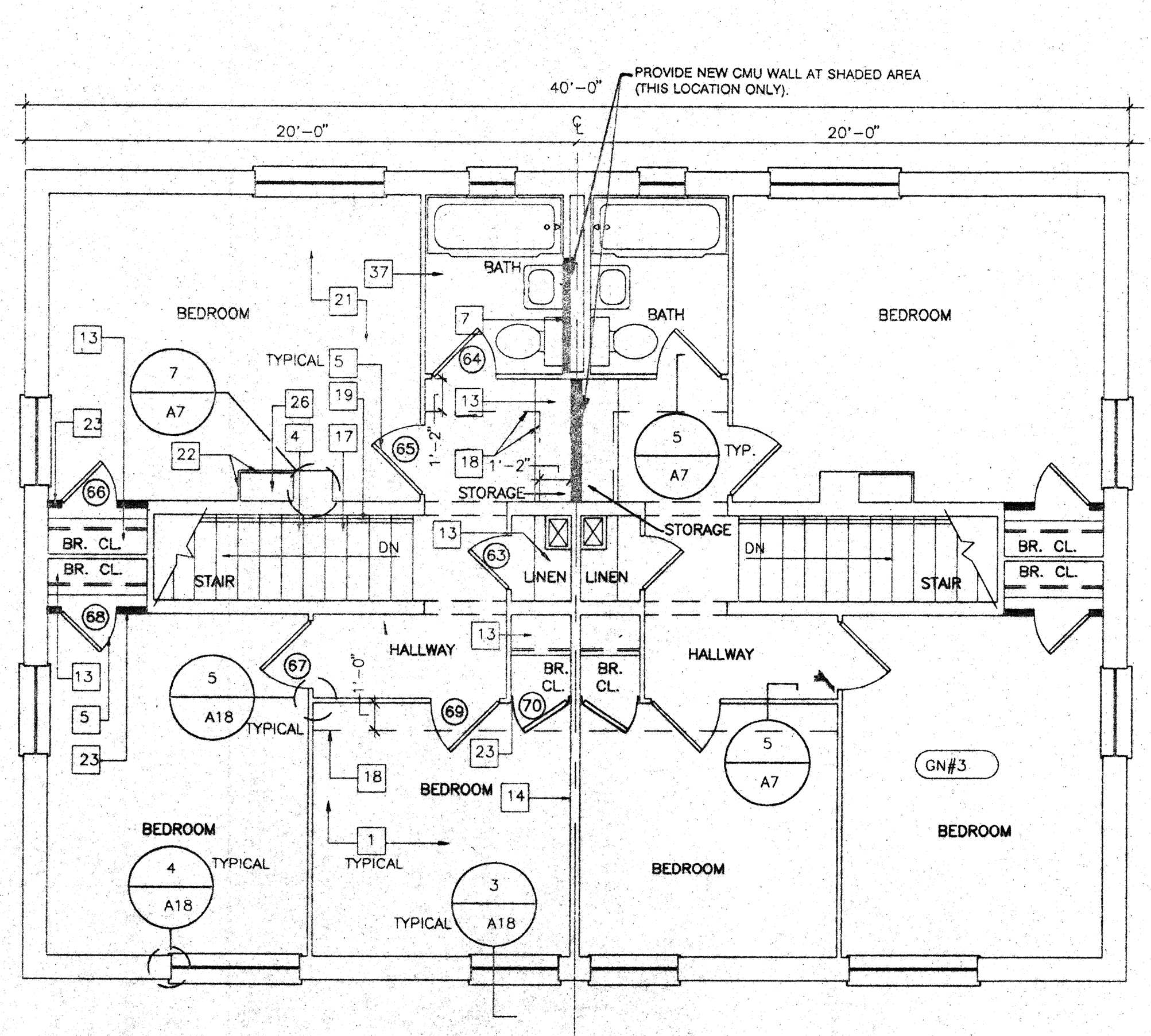
DEMOLITION NOTES

1. REMOVE EXISTING WOOD SHELVING WITH SUPPORTS & RODS, PER SPECIFICATION SECTION 02090. (2 SHELVES EA. @ STORAGE, 4 SHELVES EA. @ LINEN & PANTRY, 1 ROD & 2 SHELVES EA. @ COAT CLOSETS, 2 RODS & 2 SHELVES EA. @ BEDROOM CLOSETS, 2 RODS & 1 SHELF EA. @ STAIR CLOSETS)
2. REMOVE EXISTING WOOD ACCESS PANEL & TRIM PER SPECIFICATION SECTION 02090. FRAME & PATCH EXISTING OPENING WITH 1/2" GWB @ BLDG. D2, HANDICAPPED CONVERSION ONLY.
3. REMOVE ALL EXISTING WOOD TRIM THROUGHOUT ALL BLDG. SPACES, PER SPECIFICATION SECTION 02090.
4. REMOVE PAINT FROM ALL SURFACES OF METAL STAIR PER SPECIFICATION SECTION 02090.
5. REMOVE EXIST. INTERIOR WOOD DOORS COMPLETE WITH HARDWARE PER SPECIFICATION SECTION 02090 (TYPICAL-ALL INTERIOR WOOD DOORS). METAL FRAME SHALL REMAIN, UNLESS OTHERWISE NOTED. REMOVE PAINT FROM FRAME PER SPECIFICATION SECTION 02090.
6. REMOVE EXIST. KITCHEN CABINERY PER SPECIFICATION SECTION 02090, AND COUNTERTOPS PER SPEC. SECTION 02070 (SST SINK TO BE REUSED).
7. REMOVE EXIST. PAINTED GWB PER SPECIFICATION SECTION 02090. REMOVE REMAINING STUD WALL COMPLETE.
8. REMOVE EXIST. WOOD DOOR, FRAMES, TRIM AND HARDWARE PER SPECIFICATION SECTION 02090 (TYP. ALL INTERIOR DOORS).
9. REMOVE EXIST. LEAD-BASED PAINT PER SPECIFICATION SECTION 02090 THEN REMOVE REMAINING PLASTER PARTITION.
10. REMOVE EXISTING WOOD CABINERY/CASWORK & COMPONENTS COMPLETE, PER SPEC. SECTION NOTED. PATCH & REPAIR ALL DAMAGED SURFACES.
11. REMOVE EXIST. WOOD HANDRAIL & SUPPORTS PER SPECIFICATION SECTION 02090. PATCH AND REPAIR ALL DAMAGED SURFACES.
12. REMOVE EXISTING FLOOR TILE AND WALL BASES COMPLETE AS DESIGNATED PER SPECIFICATION SECTION 02080. (INCLUDES MULTIPLE LAYERS. EXISTING MASTIC MATERIAL SHALL REMAIN.)
13. REMOVE PAINTED METAL ENCLOSURE PANEL PER SPECIFICATION SECTION 02090. FRAMING TO REMAIN.
14. REMOVE EXISTING PLUMBING FIXTURES COMPLETE. PATCH & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
15. REMOVE EXIST. EXTERIOR DOOR, EXTERIOR SCREEN DOOR, FRAME & TRIM COMPLETE. REMOVE PORTION OF EXTERIOR WALL TO ACCOMMODATE NEW DOOR AS SCHEDULED. SEE SHEET A17 FOR SCHEDULE & DETAILS. (TYPICAL ALL EXTERIOR DOORS @ DAYCARE UNIT, D2 HANDICAP CONVERSION, AND D3 HANDICAP CONVERSION)
16. REMOVE EXIST. LEAD-BASED PAINT PER SPECIFICATION SECTION 02090 THEN REMOVE REMAINING BLOCK WALL.
17. REMOVE EXIST. PAINTED METAL ENCLOSURE AND COMPONENTS PER SPECIFICATION SECTION 02090. SEE MECHANICAL SHEET FOR FURTHER DEMOLITION.
- 18 - 21. NOT SHOWN
22. REMOVE EXISTING INTERIOR WOOD DOORS COMPLETE WITH HARDWARE & HM FRAMES PER SPECIFICATION SECTION 02090.
23. EXISTING MIRROR/MEDICINE CABINET TO REMAIN. REMOVE & REINSTALL AS REQUIRED.
- 24 - 33. NOT SHOWN
34. REMOVE EXISTING BATH ACCESSORIES, TO INCLUDE TOILET TISSUE DISPENSER, TOWEL BAR, TUMBLER/TOOTHBRUSH HOLDER, SOAP DISH AND SHOWER CURTAIN ROD AS REQUIRED PER SPECIFICATION SECTION 02070.
- 35 - 37. NOT SHOWN.



FIRST FLOOR PLAN - BLDG. D4 (NEW WORK)

SCALE: 1/4" = 1'-0"

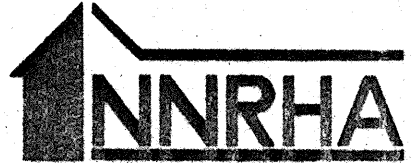
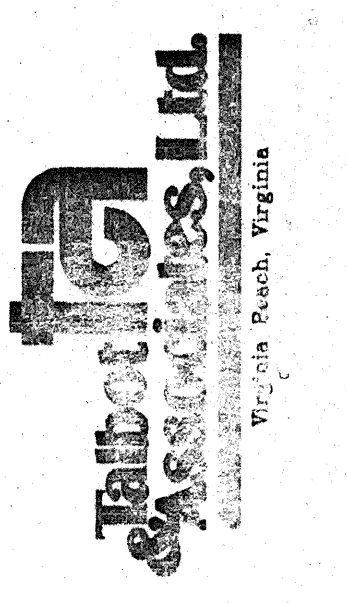


SECOND FLOOR PLAN - BLDG. D4 (NEW WORK)

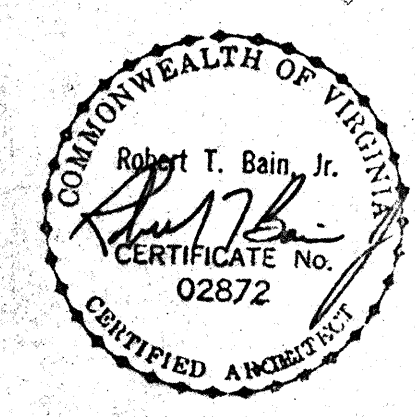
SCALE: 1/4" = 1'-0"

NEW WORK NOTES

1. PROVIDE NEW 1/2" GYPSUM WALLBOARD, SCREW & LAMINATE TO EXISTING PLASTER/CMU PARTITIONS, EXIST. FURRING, COLUMNS & BEAMS (TYPICAL ALL SPACES THROUGHOUT UNIT).
2. PROVIDE NEW 1-1/2" METAL FURRING CHANNELS & 1/2" GYPSUM WALLBOARD. (ENTIRE WALL)
3. PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFIT W/ REMOVABLE 1/2" PLYWOOD FRONT PANEL.
4. PROVIDE NEW RUBBER STAIR TREADS.
5. PROVIDE NEW HOLLOW CORE WOOD DOORS. SEE DOOR SCHEDULE, SHEET A17. TYPICAL ALL INTERIOR WOOD DOORS, PROVIDE HM FRAMES AS INDICATED ON DOOR SCHEDULE. DOOR TO BE CENTERED IN NEW PARTITION UNLESS OTHERWISE DIMENSIONED).
6. PROVIDE NEW 3-5/8" METAL STUD & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT, WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. STAGGER MTL. STUDS WHERE REQUIRED TO PROVIDE FLUSH TRANSITION INTO EXIST. WALL OR NEW MTL. FURRING. TYP. ALL LOCATIONS INDICATED UNLESS OTHERWISE NOTED.
7. PROVIDE NEW 1 X 4 WOOD CHAIR RAIL. (MTG. HEIGHT-36" TO C OF RAIL) SEE DETAIL 5/A10.
8. PROVIDE 1/2" PLYWOOD AT UNDERSIDE OF STAIR OR LANDING (SECURE TO BOTTOM OF STRINGER OR SUPPORT CHANNELS).
9. PROVIDE NEW 1/4" PLYWOOD ACCESS PANEL & TRIM. PROVIDE NEW FRAMED OPENING @ BLDG. D2 HANDICAPPED CONVERSION ONLY.
10. PROVIDE NEW EXTERIOR METAL DOOR W/SCREEN IN NEW HOLLOW METAL FRAME. PROVIDE NEW BLOCKING AND FINISH WALL. SEE SHEET A17 FOR SCHEDULE & DETAILS. (TYPICAL ALL DOORS @ DAYCARE UNIT, D2 HANDICAP CONVERSION & D3 HANDICAP CONVERSION)
11. PROVIDE NEW 7/8" METAL FURRING CHANNELS & 1/2" GWB. (ENTIRE WALL)
12. PROVIDE NEW NATURAL FINISH PLYWOOD AND SOLID WOOD CABINETS, NEW COUNTERTOPS AND FULL HEIGHT BACKSPLASH.
13. PROVIDE NEW WOOD SHELVING AND RODS. (2 SHELVES EA. @ STORAGE, 4 SHELVES EA. @ LINEN & PANTRY, 1 ROD & 2 SHELVES EA. @ BEDROOM & COAT CLOSETS, 2 RODS & 2 SHELVES EA. @ STAIR CLOSETS, 1 ROD & 1 SHELF EA. @ BATH. FOR DETAILS, SEE SHEET A19).
14. PROVIDE NEW 6" METAL STUD BASE (TYPICAL ALL PARTITIONS) SEE 8/A10.
15. PROVIDE NEW HOLLOW METAL DOOR FRAMES.
16. PROVIDE NEW 1/2" GYPSUM WALLBOARD CEILING, SLOPE TO MATCH STAIR-SEE SECTION 1/A13.
17. PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFITS.
18. PROVIDE NEW 1-1/2" WOOD HANDRAIL SUPPORTED BY NEW METAL BRACKETS & SECURED TO EXISTING PARTITION. (CLEAR STAIN FINISH, SEE DETAILS 6 & 7/A19).
19. PROVIDE NEW WOOD CAP. (CLEAR STAIN FINISH) SEE DETAIL 6/A10.
20. PROVIDE NEW 12" X 12" VINYL COMPOSITION FLOOR TILE THROUGHOUT UNIT - ALL SPACES. (UNLESS OTHERWISE NOTED.)
21. PROVIDE NEW 1/2" GYPSUM WALLBOARD FASTENED TO EXISTING METAL FRAMED DUCT ENCLOSURE.
22. PROVIDE NEW 2-1/2" METAL STUDS & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT, WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. TYPICAL ALL LOCATIONS INDICATED.
23. PATCH HOLES RESULTING FROM MECHANICAL DEMOLITION PER SPEC. SECTION 0242A (SEE MECHANICAL DRAWINGS).
24. PROVIDE NEW 1 X 6 WD TRIM AT AREA BETWEEN WINDOWS. (SHAPE TO MATCH EXISTING.)
25. PATCH EXIST. OPENING RESULTING FROM MECHANICAL DEMOLITION IN SECOND FLOOR SLAB WITH CONCRETE. (SEE MECHANICAL DRAWINGS)
- 26 - 36. NOT SHOWN
37. PROVIDE NEW BATH ACCESSORIES, TO INCLUDE TOILET TISSUE DISPENSER, TOWEL BAR, TUMBLER/TOOTHBRUSH HOLDER, SOAP DISH AND SHOWER CURTAIN ROD, PER SPECIFICATION SECTION 10800. SEE BATH PARTIAL PLANS, SHEET A10.
- 38 - 42. NOT SHOWN.
43. PROVIDE NEW 2X2" WOOD FURRING WITH 1/2" GWB (ENTIRE WALL).



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS NEWPORT NEWS, VA



Designed: ccr  
 Drawn: TFN / RSJ  
 Checked: cmh  
 Scale: AS NOTED  
 Date: JANUARY 31, 1992  
 File No: 901003A-110  
 Project No: 901003A

BUILDING TYPE D4 - FLOOR PLANS (DEMOLITION & NEW WORK)

Sheet No: A11 of 11 Sheets



Designed: cct

Drawn: TFN / RSJ

Checked: CMH

Scale: AS NOTED

Date: JANUARY 31, 1992

File No: 901003A-14DN

Project No: 901003A

BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK / HANDICAPPED CONVERSION)

Sheet No: **A14**  
of Sheets

**DEMOLITION NOTES**

- REMOVE EXISTING WOOD SHELVING WITH SUPPORTS & RODS, PER SPECIFICATION SECTION 02090. (2 SHELVES EA. @ STORAGE, 4 SHELVES EA. @ LINEN & PANTRY, 1 ROD & 2 SHELVES EA. @ COAT CLOSETS, 2 RODS & 2 SHELVES EA. @ BEDROOM CLOSETS, 2 RODS & 1 SHELF EA. @ STAIR CLOSETS)
- REMOVE EXISTING WOOD ACCESS PANEL & TRIM PER SPECIFICATION SECTION 02090. FRAME & PATCH EXISTING OPENING WITH 1/2" GWB @ BLDG. D2, HANDICAPPED CONVERSION ONLY.
- REMOVE ALL EXISTING WOOD TRIM THROUGHOUT ALL BLDG. SPACES, PER SPECIFICATION SECTION 02090.
- REMOVE PAINT FROM ALL SURFACES OF METAL STAIR PER SPECIFICATION SECTION 02090.
- REMOVE EXIST. INTERIOR WOOD DOORS COMPLETE WITH HARDWARE PER SPECIFICATION SECTION 02090 (TYPICAL-ALL INTERIOR WOOD DOORS). METAL FRAME SHALL REMAIN, UNLESS OTHERWISE NOTED. REMOVE PAINT FROM FRAME PER SPECIFICATION SECTION 02090.
- REMOVE EXIST. KITCHEN CABINETS PER SPECIFICATION SECTION 02090, AND COUNTERTOPS PER SPEC. SECTION 02070 (SST SINK TO BE REUSED).
- REMOVE EXIST. PAINTED GWB PER SPECIFICATION SECTION 02090. REMOVE REMAINING STUD WALL COMPLETE.
- REMOVE EXIST. WOOD DOOR, FRAMES, TRIM AND HARDWARE PER SPECIFICATION SECTION 02090 (TYP. ALL INTERIOR DOORS).
- REMOVE EXIST. LEAD-BASED PAINT PER SPECIFICATION SECTION 02090 THEN REMOVE REMAINING PLASTER PARTITION.
- REMOVE EXISTING WOOD CABINETS/CASEWORK & COMPONENTS COMPLETE, PER SPEC. SECTION NOTED. PATCH & REPAIR ALL DAMAGED SURFACES.
- REMOVE EXIST. WOOD HANDRAIL & SUPPORTS PER SPECIFICATION SECTION 02090. PATCH AND REPAIR ALL DAMAGED SURFACES.
- REMOVE EXISTING FLOOR TILE AND WALL BASES COMPLETE AS DESIGNATED PER SPECIFICATION SECTION 02080. (INCLUDES MULTIPLE LAYERS. EXISTING MASTIC MATERIAL SHALL REMAIN.)
- REMOVE PAINTED METAL ENCLOSURE PANEL PER SPECIFICATION SECTION 02090. FRAMING TO REMAIN.
- REMOVE EXISTING PLUMBING FIXTURES COMPLETE. PATCH & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
- REMOVE EXIST. EXTERIOR DOOR, EXTERIOR SCREEN DOOR, FRAME & TRIM COMPLETE. REMOVE PORTION OF EXTERIOR WALL TO ACCOMMODATE NEW DOOR AS SCHEDULED. SEE SHEET A17 FOR SCHEDULE & DETAILS. (TYPICAL ALL EXTERIOR DOORS @ DAYCARE UNIT, D2 HANDICAP CONVERSION, AND D3 HANDICAP CONVERSION)
- REMOVE EXIST. LEAD-BASED PAINT PER SPECIFICATION SECTION 02090 THEN REMOVE REMAINING BLOCK WALL.
- REMOVE EXIST. PAINTED METAL ENCLOSURE AND COMPONENTS PER SPECIFICATION SECTION 02090. SEE MECHANICAL SHEET FOR FURTHER DEMOLITION.
- REMOVE EXIST. PTD. METAL HEADER PER SPECIFICATION SECTION 02090.
- REMOVE CONTAMINATED SOIL TO A DEPTH OF 2" PER SPEC. SECTION 02080.
- REMOVE CONTAMINATED BLOWN INSULATION PER SPEC. SECTION 02080.
- REMOVE EXISTING TERRAZZOTA FLUE AND CEMENTITIOUS FILL IN ADDITION TO OTHER WALL DEMOLITION. FILL RESULTING VOIDS W/ CONCRETE & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
- REMOVE EXISTING INTERIOR WOOD DOORS COMPLETE WITH HARDWARE & HM FRAMES PER SPECIFICATION SECTION 02090.
- EXISTING MIRROR/MEDICINE CABINET TO REMAIN. REMOVE & REINSTALL AS REQUIRED.
- REMOVE EXIST. LEAD-BASED PAINT FROM METAL PANEL ENCLOSURE PER SPECIFICATION SECTION 02090. EXIST. FACTORY-FINISHED FURNACE HOUSING SHALL REMAIN.
- REMOVE EXIST. TOILET PARTITIONS COMPLETE. PATCH & REPAIR ALL DAMAGED SURFACES, SCHEDULED TO REMAIN.
- REMOVE EXIST. TLT. ACCESSORIES COMPLETE, INCLUDING TLT. TISSUE DISPENSERS, PAPER TOWEL DISPENSER, SANITARY NAPKIN DISPOSAL, MIRRORS, SOAP DISPENSERS, ETC.
- REMOVE EXIST. WIRE FENCE PARTITION & SUPPORTS COMPLETE. PATCH & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
- REMOVE EXIST. 12"x12" CLG. TILES & SUPPORTS LOCATED ABOVE 2"x4" CLG. TILES PER SPECIFICATION SECTION 02080. (WORK INCLUDES ALL AREAS BOUNDED BY HEAVY DASHED LINES.)
- REMOVE EXIST. WINDOW, FRAME, SILL & COMPONENTS COMPLETE. PATCH & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
- REMOVE EXIST. WALL PANELING, FURRING & TRIM PER SPEC. SECTION NOTED. (ALL WALLS THIS SPACE.)
- REMOVE EXIST. MTL. DOOR, TRIM & HARDWARE PER SPEC. SECTION 02070. SALVAGE MTL. DOOR & HARDWARE REMOVE EXIST. DOOR FRAME PER SPEC. SECTION 02090.
- 33. NOT SHOWN
- REMOVE EXISTING BATH ACCESSORIES, TO INCLUDE TOILET TISSUE DISPENSER, TOWEL BAR, TUMBLER/TOOTHBRUSH HOLDER, SOAP DISH AND SHOWER CURTAIN ROD, PER SPECIFICATION SECTION 10800. SEE BATH PARTIAL PLANS, SHEET A10.
- REMOVE EXISTING CEILING AND FRAMING TO PROVIDE ATTIC ACCESS TO MATCH OPENING SIZE AND LOCATION OF ADJACENT UNIT PER SPECIFICATION SECTION 02090.
- NOT SHOWN.
- REMOVE EXISTING MIRROR/MEDICINE CABINET PER SPECIFICATION SECTION 02070.

NOTE: BUILDING TYPE D2 UNITS TO RECEIVE HANDICAPPED CONVERSION ARE AS FOLLOWS:  
770A (2nd STAIR)  
770B (2nd STAIR)  
771A  
771B  
800A  
800B  
801A  
801B

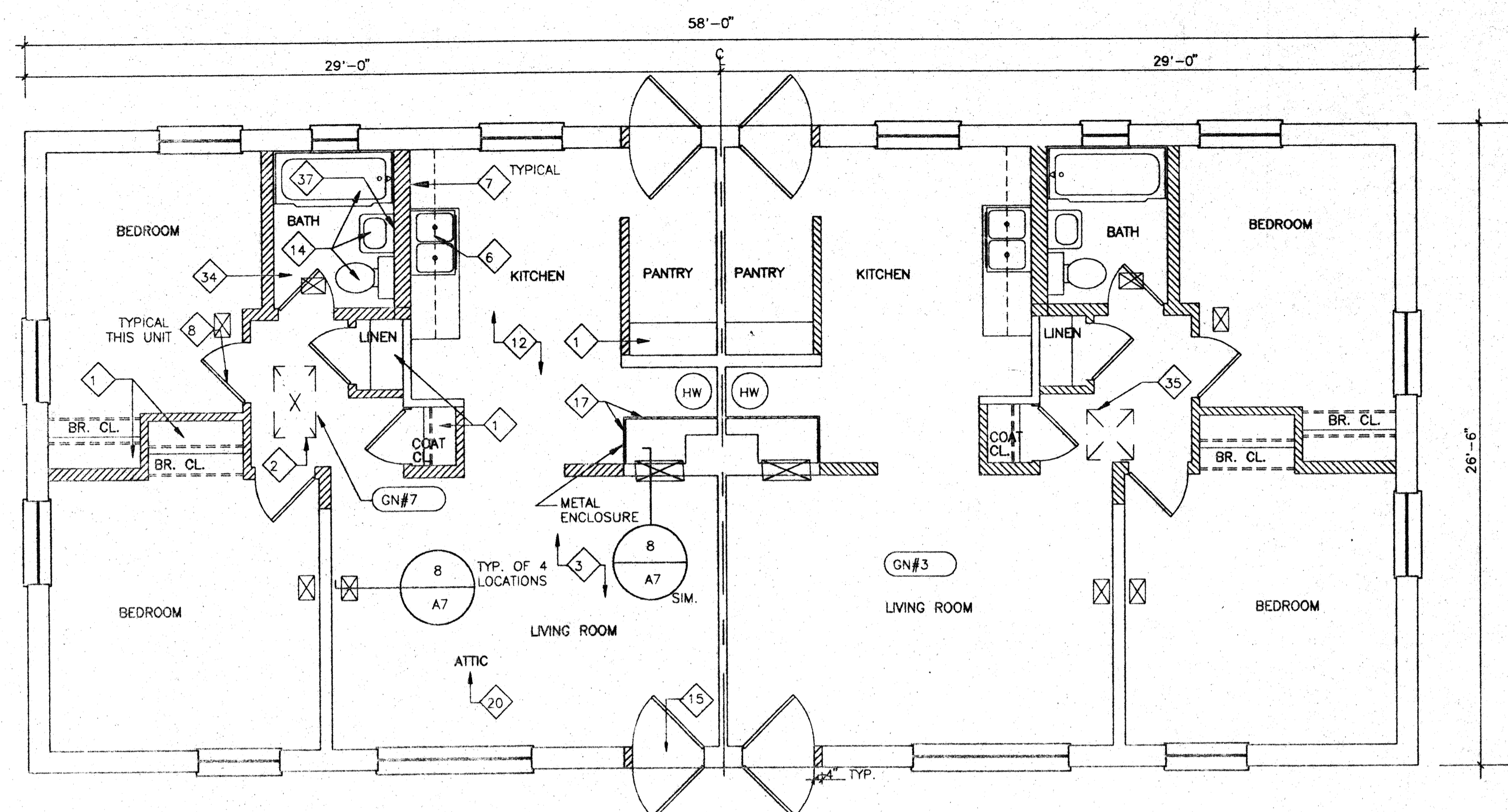
(FOR SITE LOCATION, & RELATED WORK, SEE CIVIL DWGS.)

**NEW WORK NOTES**

- PROVIDE NEW 1/2" GYPSUM WALLBOARD. SCREW & LAMINATE TO EXISTING PLASTER/CMU PARTITIONS, EXIST. FURRING, COLUMNS & BEAMS (TYPICAL ALL SPACES THROUGHOUT UNIT).
- PROVIDE NEW 1-1/2" METAL FURRING CHANNELS & 1/2" GYPSUM WALLBOARD. (ENTIRE WALL)
- PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFIT W/ REMOVABLE 1/2" PLYWOOD FRONT PANEL.
- PROVIDE NEW RUBBER STAIR TREADS.
- PROVIDE NEW HOLLOW CORE WOOD DOORS. SEE DOOR SCHEDULE, SHEET A17. (TYPICAL ALL INTERIOR WOOD DOORS, PROVIDE HM FRAMES AS INDICATED ON DOOR SCHEDULE. DOOR TO BE CENTERED IN NEW PARTITION UNLESS OTHERWISE DIMENSIONED).
- PROVIDE NEW 3-5/8" METAL STUD & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT, WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. STAGGER MTL. STUDS WHERE REQUIRED TO PROVIDE FLUSH TRANSITION INTO EXIST. WALL OR NEW MTL. FURRING. TYP. ALL LOCATIONS INDICATED UNLESS OTHERWISE NOTED.
- PROVIDE NEW 1 X 4 WOOD CHAIR RAIL. (MTG. HEIGHT-36" TO C OF RAIL) SEE DETAIL 5/A10.
- PROVIDE 1/2" PLYWOOD AT UNDERSIDE OF STAIR OR LANDING (SECURE TO BOTTOM OF STRINGER OR SUPPORT CHANNELS).
- PROVIDE NEW 1/4" PLYWOOD ACCESS PANEL & TRIM. PROVIDE NEW FRAMED OPENING @ BLDG. D2 HANDICAPPED CONVERSION ONLY.
- PROVIDE NEW EXTERIOR METAL DOOR W/SCREEN IN NEW HOLLOW METAL FRAME. PROVIDE NEW BLOCKING AND FINISH WALL. SEE SHEET A17 FOR SCHEDULE & DETAILS. (TYPICAL ALL DOORS @ DAYCARE UNIT, D2 HANDICAP CONVERSION & D3 HANDICAP CONVERSION)
- PROVIDE NEW 7/8" METAL FURRING CHANNELS & 1/2" GWB. (ENTIRE WALL)
- PROVIDE NEW NATURAL FINISH PLYWOOD AND SOLID WOOD CABINETS, COUNTERTOPS AND FULL HEIGHT BACKSPLASH.
- PROVIDE NEW WOOD SHELVING AND RODS. (2 SHELVES EA. @ STORAGE, 4 SHELVES EA. @ LINEN & PANTRY, 1 ROD & 2 SHELVES EA. @ BEDROOM & COAT CLOSETS, 2 RODS & 2 SHELVES EA. @ STAIR CLOSETS, 1 ROD & 1 SHELF EA. @ BATH. FOR DETAILS, SEE SHEET A19).
- PROVIDE NEW 4" WOOD BASE. (TYPICAL ALL PARTITIONS) SEE 6/A10
- PROVIDE NEW 6" METAL STUD PARTITION WITH 1/2" GYPSUM WALLBOARD.
- PROVIDE NEW HOLLOW METAL DOOR FRAMES.
- PROVIDE NEW 1/2" GYPSUM WALLBOARD CEILING, SLOPE TO MATCH STAIR-SEE SECTION 1/A13.
- PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFITS.
- PROVIDE NEW 1-1/2" WOOD HANDRAIL, SUPPORTED BY NEW METAL BRACKETS & SECURED TO EXISTING PARTITION. (CLEAR STAIN FINISH, SEE DETAILS 6 & 7/A19)
- PROVIDE NEW WOOD CAP. (CLEAR STAIN FINISH) SEE DETAIL 6/A10.
- PROVIDE NEW 12" X 12" VINYL COMPOSITION FLOOR TILE THROUGHOUT UNIT - ALL SPACES. (UNLESS OTHERWISE NOTED.)
- PROVIDE NEW 1/2" GYPSUM WALLBOARD FASTENED TO EXISTING METAL FRAMED DUCT ENCLOSURE.
- PROVIDE NEW 2-1/2" METAL STUDS & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT, WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. TYPICAL ALL LOCATIONS INDICATED.
- PATCH HOLES RESULTING FROM MECHANICAL DEMOLITION PER SPEC. SECTION 07242A (SEE MECHANICAL DRAWINGS).
- PROVIDE NEW 1 X 6 WD TRIM AT AREA BETWEEN WINDOWS. (SHAPE TO MATCH EXISTING.)
- PATCH EXIST. OPENING RESULTING FROM MECHANICAL DEMOLITION IN SECOND FLOOR SLAB WITH CONCRETE. (SEE MECHANICAL DRAWINGS)
- PROVIDE NEW 1/2" METAL STUD FRAMING WITH 1/2" GWB THIS SIDE OF BEAM ONLY IN HALLWAY. BOTTOM OF DROP CLG. TO BE 3/4" HIGHER THAN BOTTOM OF EXIST. BEAM. COORDINATE LOCATION OF FRAMING WITH MECHANICAL DUCT. (SEE SHEET M-6.)
- PROVIDE NEW HOLLOW CORE FLUSH WOOD BI-FOLD DOOR, TYPE E AS SHOWN ON SHEET A17. PROVIDE HARDWARE PER SPECIFICATION SECTION 08700. INSTALL DOOR VIA FLOOR & CEILING CONNECTIONS ONLY.
- PROVIDE REQUIRED BLOCKING & SUPPORT FOR WALL-MOUNTED EQUIPMENT (COORDINATE WITH MECHANICAL/ELECTRICAL DRAWINGS).
- PROVIDE NEW EXTERIOR FINISH SYSTEM AS NOTED.
- PROVIDE NEW WOOD TRIM (1x REQ'D. WIDTH) AT ALL WINDOW LOCATIONS.
- PROVIDE NEW FINISH AT STAGE FLOOR (SEE SPECIFICATION SECTION 09900).
- REPAIR CONCRETE SLAB RESULTING FROM PLUMBING DEMOLITION. PROVIDE CEMENTITIOUS LEVELING MATERIAL OVER ENTIRE ROOM.
- 36. NOT SHOWN.
- PROVIDE NEW BATH ACCESSORIES, TO INCLUDE TOILET TISSUE DISPENSER, TOWEL BAR, TUMBLER/TOOTHBRUSH HOLDER, SOAP DISH AND SHOWER CURTAIN ROD, PER SPECIFICATION SECTION 10800. SEE BATH PARTIAL PLANS, SHEET A10.
- PROVIDE NEW ATTIC ACCESS TO MATCH ACCESS IN ADJACENT UNIT. NEW WORK TO INCLUDE FRAMED OPENING, 1/4" PLYWOOD ACCESS PANEL AND TRIM.
- 42. NOT SHOWN.

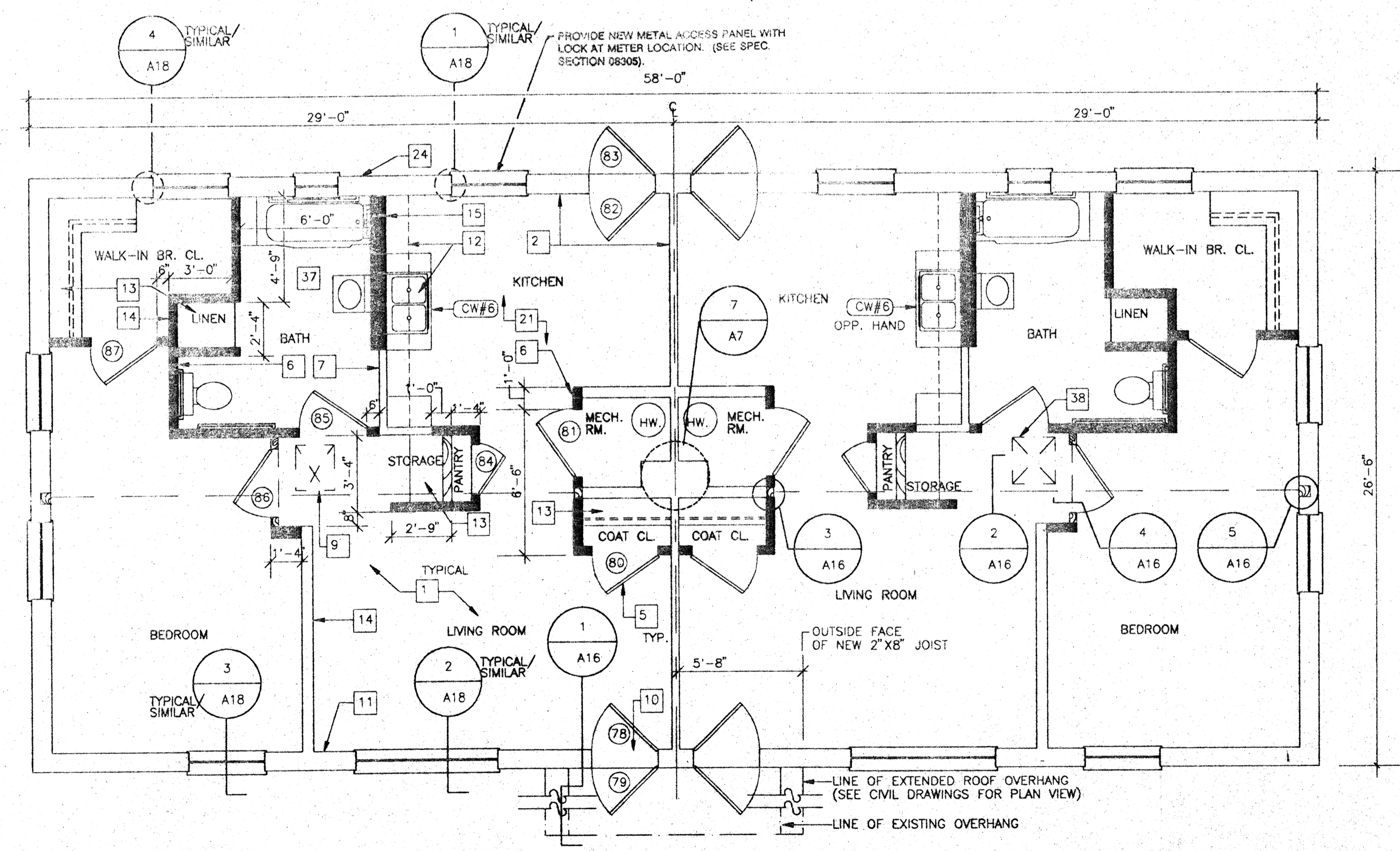
**GENERAL NOTES**

- THE GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION & SHALL COORDINATE THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- ALL PARTITIONS SHOWN THUS (---) INDICATE NEW PARTITIONS
- FOR CONSTRUCTION NOTES APPLICABLE TO THIS UNIT, REFER TO OPPOSITE HAND UNIT THIS PLAN, UNLESS OTHERWISE NOTED (I.E. EXISTING PARTITION DEMOLITION). ALL DETAIL/SECTION SYMBOLS APPLY TO BOTH UNITS.
- WORK NOTES INDICATED ARE MASTER NOTE LISTS. SOME NOTES MAY NOT BE APPLICABLE TO THE CORRESPONDING SHEETS ON WHICH THEY APPEAR.
- FOR DWELLING UNIT DOOR SCHEDULE & DETAILS, REFER TO SHEETS A17 & A18
- FOR DWELLING UNIT CASEWORK ELEVATIONS & DETAILS, REFER TO SHEET A19.
- EXISTING ACCESS PANELS SHOWN AT APPROXIMATE LOCATION & SIZE. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION & DIMENSIONS.
- ALL PARTITIONS SHOWN THUS (////) INDICATE PARTITIONS TO BE REMOVED.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- PATCH & CLEAN ALL CEILING SURFACES PRIOR TO PAINTING (QUANTITY- APPROXIMATELY SIX (6) 1'-0" X 2" DEEP PENETRATIONS PER UNIT).
- CONTRACTOR SHALL PROVIDE 1/2" GWB AT ALL EXPOSED SURFACES OF BEAMS & COLUMNS. TYP. THROUGHOUT ALL UNITS.
- PAINT NEW & EXIST. INTERIOR SURFACES WITHIN THE ENTIRE UNIT. SURFACES TO BE PAINTED INCLUDE BUT ARE NOT LIMITED TO WALLS, CEILING, ACCESS PANELS, TRIM, METAL PANEL ENCLOSURES, FURNACE HOUSING, DUCT WORK, BEAMS, COLUMNS, DOORS & FRAMES, WOOD TRIM, HANDRAILS, RODS, SHELVES, & SUPPORTS (TYP. THROUGHOUT ALL UNITS).
- FOR BATH PARTIAL PLANS & DETAILS, SEE SHEET A10.
- FOR BID ALTERNATE WORK, SEE SHEETS A29 THRU A31.
- IN ADDITION TO THE WORK INDICATED ON THIS PLAN, THE CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE CORRESPONDING DEMOLITION PLAN LOCATED ON THE SHEET REFERENCED THUS (GN#15 A1).
- ALL PARTITIONS SHOWN THUS (---) INDICATE NEW 2X4 WOOD PARTITIONS.



FLOOR PLAN - BUILDING D2 / 1BR HANDICAP CONVERSION (DEMOLITION)

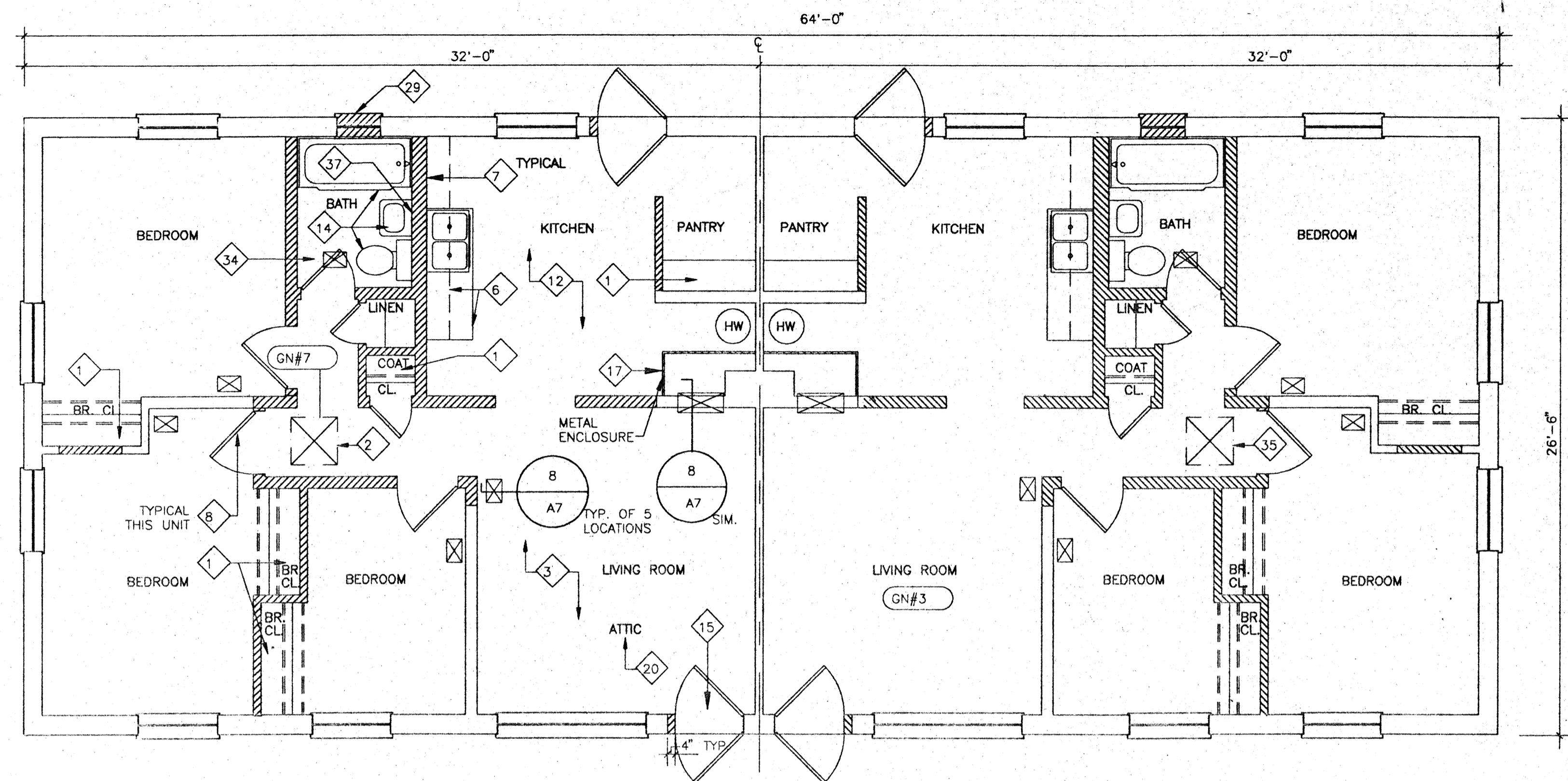
SCALE: 1/4" = 1'-0"



FLOOR PLAN - BUILDING D2 / 1BR HANDICAP CONVERSION (NEW WORK)

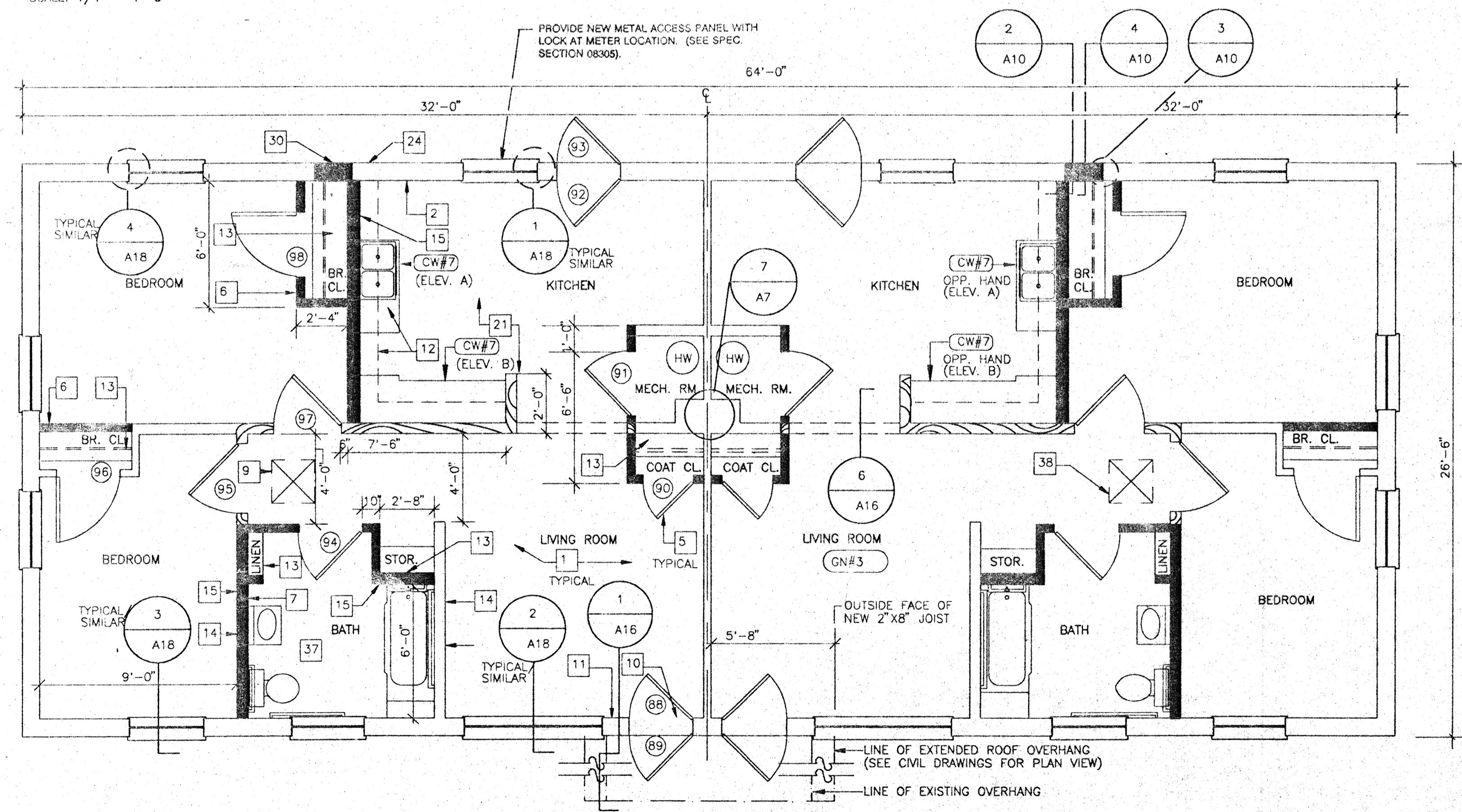
SCALE: 1/4" = 1'-0"





FLOOR PLAN - BUILDING D3 - HANDICAP CONVERSION (DEMOLITION)

SCALE: 1/4" = 1'-0"



FLOOR PLAN - BUILDING D3 - HANDICAP CONVERSION (NEW WORK)

SCALE: 1/4" = 1'-0"

◇ DEMOLITION NOTES

1. REMOVE EXISTING WOOD SHELVING WITH SUPPORTS & RODS, PER SPECIFICATION SECTION 02090. (2 SHELVES EA. @ STORAGE, 4 SHELVES EA. @ LINEN & PANTRY, 1 ROD & 2 SHELVES EA. @ COAT CLOSETS, 2 RODS & 2 SHELVES EA. @ BEDROOM CLOSETS, 2 RODS & 1 SHELF EA. @ STAIR CLOSETS.)
2. REMOVE EXISTING WOOD ACCESS PANEL & TRIM PER SPECIFICATION SECTION 02090. FRAME & PATCH EXISTING OPENING WITH 1/2" GWB @ BLDG. D2, HANDICAPPED CONVERSION ONLY.
3. REMOVE ALL EXISTING WOOD TRIM THROUGHOUT ALL BLDG. SPACES, PER SPECIFICATION SECTION 02090.
4. REMOVE PAINT FROM ALL SURFACES OF METAL STAIR PER SPECIFICATION SECTION 02090.
5. REMOVE EXIST. INTERIOR WOOD DOORS COMPLETE WITH HARDWARE PER SPECIFICATION SECTION 02090 (TYPICAL-ALL INTERIOR WOOD DOORS). METAL FRAME SHALL REMAIN, UNLESS OTHERWISE NOTED. REMOVE PAINT FROM FRAME PER SPECIFICATION SECTION 02090.
6. REMOVE EXIST. KITCHEN CABINERY PER SPECIFICATION SECTION 02090, AND COUNTERTOPS PER SPEC. SECTION 02070 (SST SINK TO BE REUSED).
7. REMOVE EXIST. PAINTED GWB PER SPECIFICATION SECTION 02090. REMOVE REMAINING STUD WALL COMPLETE.
8. REMOVE EXIST. WOOD DOOR, FRAMES, TRIM AND HARDWARE PER SPECIFICATION SECTION 02090 (TYP. ALL INTERIOR DOORS).
9. REMOVE EXIST. LEAD-BASED PAINT PER SPECIFICATION SECTION 02090 THEN REMOVE REMAINING PLASTER PARTITION.
10. REMOVE EXISTING WOOD CABINERY/CASEWORK & COMPONENTS COMPLETE, PER SPEC. SECTION NOTED. PATCH & REPAIR ALL DAMAGED SURFACES.
11. REMOVE EXIST. WOOD HANDRAIL & SUPPORTS PER SPECIFICATION SECTION 02090. PATCH AND REPAIR ALL DAMAGED SURFACES.
12. REMOVE EXISTING FLOOR TILE AND WALL BASES COMPLETE AS DESIGNATED PER SPECIFICATION SECTION 02080. (INCLUDES MULTIPLE LAYERS. EXISTING MASTIC MATERIAL SHALL REMAIN.)
13. REMOVE PAINTED METAL ENCLOSURE PANEL PER SPECIFICATION SECTION 02090. FRAMING TO REMAIN.
14. REMOVE EXISTING PLUMBING FIXTURES COMPLETE. PATCH & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
15. REMOVE EXIST. EXTERIOR DOOR, EXTERIOR SCREEN DOOR, FRAME & TRIM COMPLETE. REMOVE PORTION OF EXTERIOR WALL TO ACCOMMODATE NEW DOOR AS SCHEDULED. SEE SHEET A17 FOR SCHEDULE & DETAILS. (TYPICAL ALL EXTERIOR DOORS @ DAYCARE UNIT, D2 HANDICAP CONVERSION, AND D3 HANDICAP CONVERSION)
16. REMOVE EXIST. LEAD-BASED PAINT PER SPECIFICATION SECTION 02090 THEN REMOVE REMAINING BLOCK WALL.
17. REMOVE EXIST. PAINTED METAL ENCLOSURE AND COMPONENTS PER SPECIFICATION SECTION 02090. SEE MECHANICAL SHEET FOR FURTHER DEMOLITION.
18. REMOVE EXIST. PTD. METAL HEADER PER SPECIFICATION SECTION 02090.
19. REMOVE CONTAMINATED SOIL TO A DEPTH OF 2" PER SPEC. SECTION 02080.
20. REMOVE CONTAMINATED BLOWN INSULATION PER SPEC. SECTION 02080.
21. REMOVE EXISTING TERRACOTTA FLUE AND CEMENTITIOUS FILL IN ADDITION TO OTHER WALL DEMOLITION. FILL RESULTING VOIDS W/ CONCRETE & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
22. REMOVE EXISTING INTERIOR WOOD DOORS COMPLETE WITH HARDWARE & HW FRAMES PER SPECIFICATION SECTION 02090.
23. EXISTING MIRROR/MEDICINE CABINET TO REMAIN. REMOVE & REINSTALL AS REQUIRED.
24. REMOVE EXIST. LEAD-BASED PAINT FROM METAL PANEL ENCLOSURE PER SPECIFICATION SECTION 02090. EXIST. FACTORY-FINISHED FURNACE HOUSING SHALL REMAIN.
25. REMOVE EXIST. TOILET PARTITIONS COMPLETE. PATCH & REPAIR ALL DAMAGED SURFACES, SCHEDULED TO REMAIN.
26. REMOVE EXIST. TLT. ACCESSORIES COMPLETE, INCLUDING TLT. TISSUE DISPENSERS, PAPER TOWEL DISPENSER, SANITARY NAPKIN DISPOSAL, MIRRORS, SOAP DISPENSERS, ETC.
27. REMOVE EXIST. WIRE FENCE PARTITION & SUPPORTS COMPLETE. PATCH & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
28. REMOVE EXIST. 12"x12" CLG. TILES & SUPPORTS LOCATED ABOVE 2'x4' CLG. TILES PER SPECIFICATION SECTION 02080. (WORK INCLUDES ALL AREAS BOUNDED BY HEAVY DASHED LINES.)
29. REMOVE EXIST. WINDOW, FRAME, SILL & COMPONENTS COMPLETE. PATCH & REPAIR ALL DAMAGED SURFACES SCHEDULED TO REMAIN.
30. REMOVE EXIST. WALL PANNELLING, FURRING & TRIM PER SPEC. SECTION NOTED. (ALL WALLS THIS SPACE.)
31. REMOVE EXIST. MTL. DOOR, TRIM & HARDWARE PER SPEC. SECTION 02070. SALVAGE MTL. DOOR & HARDWARE REMOVE EXIST. DOOR FRAME PER SPEC. SECTION 02090.
- 32 - 33. NOT SHOWN
34. REMOVE EXISTING BATH ACCESSORIES, TO INCLUDE TOILET TISSUE DISPENSER, TOWEL BAR, TUMBLER/TOOTHBRUSH HOLDER, SOAP DISH AND SHOWER CURTAIN ROD AS REQUIRED PER SPECIFICATION SECTION 02070.
35. REMOVE EXISTING CEILING AND FRAMING TO PROVIDE ATTIC ACCESS TO MATCH OPENING SIZE AND LOCATION OF ADJACENT UNIT PER SPECIFICATION SECTION 02090.
36. NOT SHOWN.
37. REMOVE EXISTING MIRROR/MEDICINE CABINET PER SPECIFICATION SECTION 02070.

NOTE: BUILDING TYPE D3 UNITS TO RECEIVE HANDICAPPED CONVERSION ARE AS FOLLOWS:

|       |
|-------|
| 3300A |
| 3300B |
| 3302A |
| 3302B |
| 3400A |
| 3400B |
| 3402A |
| 3402B |
| 3501A |
| 3501B |

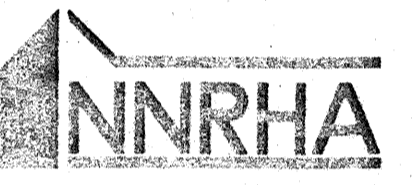
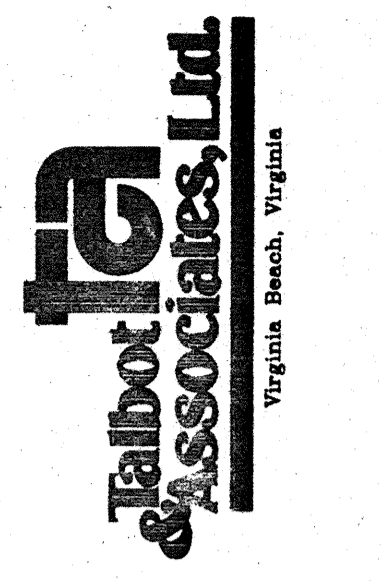
(FOR SITE LOCATION, & RELATED WORK, SEE CIVIL DWGS.)

□ NEW WORK NOTES

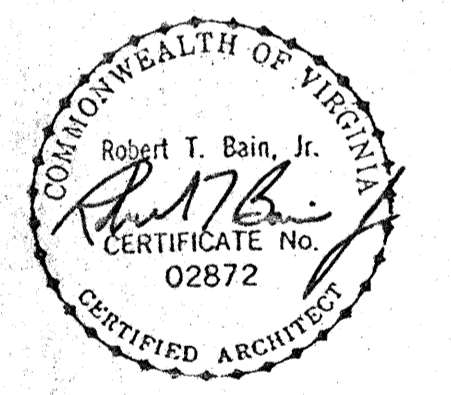
1. PROVIDE NEW 1/2" GYPSUM WALLBOARD. SCREW & LAMINATE TO EXISTING PLASTER/CMU PARTITIONS, EXIST. FURRING, COLUMNS & BEAMS (TYPICAL ALL SPACES THROUGHOUT UNIT).
2. PROVIDE NEW 1-1/2" METAL FURRING CHANNELS & 1/2" GYPSUM WALLBOARD. (ENTIRE WALL)
3. PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFIT W/ REMOVABLE 1/2" PLYWOOD FRONT PANEL.
4. PROVIDE NEW RUBBER STAIR TREADS.
5. PROVIDE NEW HOLLOW CORE WOOD DOORS. SEE DOOR SCHEDULE, SHEET A17. (TYPICAL ALL INTERIOR WOOD DOORS, PROVIDE HW FRAMES AS INDICATED ON DOOR SCHEDULE. DOOR TO BE CENTERED IN NEW PARTITION UNLESS OTHERWISE NOTED.)
6. PROVIDE NEW 3-5/8" METAL STUD & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT, WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. STAGGER MTL. STUDS WHERE REQUIRED TO PROVIDE FLUSH TRANSITION INTO EXIST. WALL OR NEW MTL. FURRING. TYP. ALL LOCATIONS INDICATED UNLESS OTHERWISE NOTED.
7. PROVIDE NEW 1" X 4" WOOD CHAIR RAIL. (MTG. HEIGHT-36" TO C. OF RAIL) SEE DETAIL 6/A10.
8. PROVIDE 1/2" PLYWOOD AT UNDERSIDE OF STAIR OR LANDING (SECURE TO BOTTOM OF STRINGER OR SUPPORT CHANNELS).
9. PROVIDE NEW 1/4" PLYWOOD ACCESS PANEL & TRIM. PROVIDE NEW FRAMED OPENING @ BLDG. D2 HANDICAPPED CONVERSION ONLY.
10. PROVIDE NEW EXTERIOR METAL DOOR W/SCREEN IN NEW HOLLOW METAL FRAME. PROVIDE NEW BLOCKING AND FINISH WALL. SEE SHEET A17 FOR SCHEDULE & DETAILS. (TYPICAL ALL DOORS @ DAYCARE UNIT, D2 HANDICAP CONVERSION & D3 HANDICAP CONVERSION)
11. PROVIDE NEW 7/8" METAL FURRING CHANNELS & 1/2" GWB. (ENTIRE WALL)
12. PROVIDE NEW NATURAL FINISH PLYWOOD AND SOLID WOOD CABINETS, NEW COUNTERTOPS AND FULL HEIGHT BACKSPLASH.
13. PROVIDE NEW WOOD SHELVING AND RODS. (2 SHELVES EA. @ STORAGE, 4 SHELVES EA. @ LINEN & PANTRY, 1 ROD & 2 SHELVES EA. @ BEDROOM & COAT CLOSETS, 2 RODS & 2 SHELVES EA. @ STAIR CLOSETS, 1 ROD & 1 SHELF EA. @ BATH. FOR DETAILS, SEE SHEET A19).
14. PROVIDE NEW 4" WOOD BASE. (TYPICAL ALL PARTITIONS) SEE 8/A10.
15. PROVIDE NEW 6" METAL STUD PARTITION WITH 1/2" GYPSUM WALLBOARD.
16. PROVIDE NEW HOLLOW METAL DOOR FRAMES.
17. PROVIDE NEW 1/2" GYPSUM WALLBOARD CEILING, SLOPE TO MATCH STAIR-SEE SECTION 1/A13.
18. PROVIDE NEW METAL STUD FRAMING WITH 1/2" GYPSUM WALLBOARD SOFFITS.
19. PROVIDE NEW 1-1/2" WOOD HANDRAIL SUPPORTED BY NEW METAL BRACKETS & SECURED TO EXISTING PARTITION. (CLEAR STAIN FINISH, SEE DETAILS 6 & 7/A19).
20. PROVIDE NEW WOOD CAP (CLEAR STAIN FINISH) SEE DETAIL 6/A10.
21. PROVIDE NEW 12" X 12" VINYL COMPOSITION FLOOR TILE THROUGHOUT UNIT - ALL SPACES. (UNLESS OTHERWISE NOTED.)
22. PROVIDE NEW 1/2" GYPSUM WALLBOARD FASTENED TO EXISTING METAL FRAMED DUCT ENCLOSURE.
23. PROVIDE NEW 2-1/2" METAL STUDS & 1/2" GYPSUM WALLBOARD PARTITION - (FLOOR TO CEILING HEIGHT, WORK INCLUDES AREA ABOVE DOORS) - FRAME FLUSH TO EXISTING PARTITIONS. TYPICAL ALL LOCATIONS INDICATED.
24. PATCH HOLES RESULTING FROM MECHANICAL DEMOLITION PER SPEC. SECTION 07242A (SEE MECHANICAL DRAWINGS).
25. PROVIDE NEW 1" X 6" WOOD TRIM AT AREA BETWEEN WINDOWS. (SHAPE TO MATCH EXISTING.)
26. PATCH EXIST. OPENING RESULTING FROM MECHANICAL DEMOLITION IN SECOND FLOOR SLAB WITH CONCRETE. (SEE MECHANICAL DRAWINGS)
27. PROVIDE 2 1/2" METAL STUD CEILING FRAMING WITH 1/2" GWB THIS SIDE OF BEAM ONLY IN HALLWAY. BOTTOM OF DROP CLG. TO BE 3/4" HIGHER THAN BOTTOM OF EXIST. BEAM. COORDINATE LOCATION OF FRAMING WITH MECHANICAL DUCT. (SEE SHEET M-6.)
28. PROVIDE NEW HOLLOW CORE FLUSH WOOD BI-FOLD DOOR, TYPE E AS SHOWN ON SHEET A17. PROVIDE HARDWARE PER SPECIFICATION SECTION 08700. INSTALL DOOR VIA FLOOR & CEILING CONNECTIONS ONLY.
29. PROVIDE REQUIRED BLOCKING & SUPPORT FOR WALL-MOUNTED EQUIPMENT (COORDINATE WITH MECHANICAL/ELECTRICAL DRAWINGS).
30. PROVIDE NEW EXTERIOR FINISH SYSTEM AS NOTED.
31. PROVIDE NEW WOOD TRIM (1x REQ'D. WIDTH) AT ALL WINDOW LOCATIONS.
32. PROVIDE NEW FINISH AT STAGE FLOOR (SEE SPECIFICATION SECTION 09900).
33. REPAIR CONCRETE SLAB RESULTING FROM PLUMBING DEMOLITION. PROVIDE CEMENTITIOUS LEVELING MATERIAL OVER ENTIRE ROOM.
- 34 - 36. NOT SHOWN.
37. PROVIDE NEW BATH ACCESSORIES, TO INCLUDE TOILET TISSUE DISPENSER, TOWEL BAR, TUMBLER/TOOTHBRUSH HOLDER, SOAP DISH AND SHOWER CURTAIN ROD, PER SPECIFICATION SECTION 10800. SEE BATH PARTIAL PLANS, SHEET A10.
38. PROVIDE NEW ATTIC ACCESS TO MATCH ACCESS IN ADJACENT UNIT. NEW WORK TO INCLUDE FRAMED OPENING, 1/4" PLYWOOD ACCESS PANEL AND TRIM.
- 39 - 42. NOT SHOWN.

GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION & SHALL COORDINATE THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
2. ALL PARTITIONS SHOWN THUS [Hatched] INDICATE NEW PARTITIONS
3. FOR CONSTRUCTION NOTES APPLICABLE TO THIS UNIT, REFER TO OPPOSITE HAND UNIT THIS PLAN, UNLESS OTHERWISE NOTED (I.E. EXISTING PARTITION DEMOLITION). ALL DETAIL/SECTION SYMBOLS APPLY TO BOTH UNITS.
4. WORK NOTES INDICATED ARE MASTER NOTE LISTS. SOME NOTES MAY NOT BE APPLICABLE TO THE CORRESPONDING SHEETS ON WHICH THEY APPEAR.
5. FOR DWELLING UNIT DOOR SCHEDULE & DETAILS, REFER TO SHEETS A17 & A18.
6. FOR DWELLING UNIT CASEWORK ELEVATIONS & DETAILS, REFER TO SHEET A19.
7. EXISTING ACCESS PANELS SHOWN AT APPROXIMATE LOCATION & SIZE. CONTRACTOR SHALL VERIFY EXACT LOCATION & DIMENSIONS.
8. ALL PARTITIONS SHOWN THUS [Dashed] INDICATE PARTITIONS TO BE REMOVED.
9. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
10. PATCH & CLEAN ALL CEILING SURFACES PRIOR TO PAINTING (QUANTITY-APPROXIMATELY SIX (6) 1" Ø X 2" DEEP PENETRATIONS PER UNIT).
11. CONTRACTOR SHALL PROVIDE 1/2" GWB AT ALL EXPOSED SURFACES OF BEAMS & COLUMNS. TYP. THROUGHOUT ALL UNITS.
12. PAINT NEW & EXIST. INTERIOR SURFACES WITHIN THE ENTIRE UNIT. SURFACES TO BE PAINTED INCLUDE BUT ARE NOT LIMITED TO WALLS, CEILINGS, ACCESS PANELS, TRIM, METAL PANEL ENCLOSURES, FURNACE HOUSING, DUCT WORK, BEAMS, COLUMNS, DOORS & FRAMES, WOOD TRIM, HANDRAILS, RODS, SHELVES, & SUPPORTS (TYP. THROUGHOUT ALL UNITS).
13. FOR BATH PARTIAL PLANS & DETAILS, SEE SHEET A10.
14. FOR BID ALTERNATE WORK, SEE SHEETS A29 THRU A31.
15. IN ADDITION TO THE WORK INDICATED ON THIS PLAN, THE CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE CORRESPONDING DEMOLITION PLAN LOCATED ON THE SHEET REFERENCED THUS (GN#15 A1).
16. ALL PARTITIONS SHOWN THUS [Hatched] INDICATE NEW 2X4 WOOD PARTITIONS.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS NEWPORT NEWS, VA



|  |
|--|
| Designed: cct  |
| Drawn: TFN / RSJ   |
| Checked: CMH   |
| Scale: AS NOTED  |
| Date: JANUARY 31, 1992   |
| File No: 901003A-15DN  |
| Project No: 901003A  |
| <b>BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION &amp; NEW WORK / HANDICAPPED CONVERSION)</b> |
| Sheet No: <b>A15</b>   |
| of <b>15</b> Sheets  |



**MATERIAL KEY LEGEND**

|        |  |
|--------|--|
| 2:     | SITWORK  |
| 02200A | COMPACTED FILL                                     |
| B      | POROUS FILL (4")                                   |
| C      | EARTH BACKFILL                                     |
| 02520A | CONCRETE WALK-SEE SITE PLAN SHEET                  |
| B      | EXPANSION JOINT MATERIAL                           |
| 3:     | CONCRETE   |
| 03310A | CONCRETE FOOTING OR SLAB                           |
| B      | REINFORCING BARS (#3) VERTICAL AT CORNERS          |
| C      | REINFORCING BARS (#3) HORIZONTAL                   |
| D      | REINFORCING BARS (#4) 6" O.C. EACH WAY             |
| E      | EXPANSION JOINT                                    |
| F      | STEEL DOWEL SET IN GROUT                           |
| G      | CONCRETE STOOP W/THICKENED SLAB AT COLUMN          |
| 4:     | MASONRY  |
| 04200A | CMU (4")   |
| B      | EXPANSION BOLT                                     |
| C      | THRU BOLT-1/4" THREADED ROD                        |
| 5:     | METALS   |
| 05120A | STEEL ANGLE  |
| B      | STEEL PLATE  |
| C      | STEEL PIPE COLUMN (3" DIA.)                        |
| D      | STEEL PLATE (3" X 4 1/2" X 3/4")                   |
| E      | ANCHOR BOLTS (3/8" DIA.)                           |
| F      | BASE PLATE (6" X 7" X 3/8") W/ 2 (1/2") J-BARS     |
| G      | ROD THREADED (1/2" DIA.)                           |
| H      | STEEL BEAM (W 10 X 22)                             |
| I      | STEEL PLATE (4" X 6" X 3/4")                       |
| J      | STEEL PLATE (5" X 8" X 3/4")                       |
| K      | STEEL BOLT, NUT & WASHER (5/8" DIA.)               |
| L      | STEEL TEE  |
| M      | EROSION RESISTANT ANCHORING CEMENT                 |
| N      | GROUT (PORTLAND CEMENT)                            |
| 6:     | WOOD AND PLASTICS                                  |
| 06100A | WOOD BEAM (2"X8") DOUBLE W/THRU BOLTS @ 1'-0" O.C. |
| B      | WOOD BEAM (2"X12") DOUBLE                          |
| C      | WOOD JOIST (2"X8")                                 |
| D      | WOOD LEDGER (2"X8")                                |
| E      | WOOD PARTITION (2"X4")                             |
| F      | 1"X6" COLLAR BOARD                                 |
| G      | BUILT-UP 2"X4" WOOD POST                           |
| H      | JOIST HANGER FOR 4" THICK JOIST                    |
| I      | JOIST HGR.-2" THICK JOIST                          |
| J      | WOOD CANT  |
| K      | WOOD BLOCKING                                      |
| L      | EXTERIOR PLYWOOD SHEATHING                         |
| 06200A | WOOD KNEE WALL CAP                                 |
| B      | WOOD STAIR HANDRAIL                                |
| C      | HANDRAIL MOUNTING BRACKET                          |
| D      | CLOSET ROD AND SUPPORTS                            |
| E      | NOT USED   |
| F      | PLYWOOD SHELVES (3/4") M.D.O.                      |
| G      | PLYWOOD VERTICAL SUPPORT (3/4") M.D.O.             |
| H      | PLYWOOD SOFFIT FACE (1/2") M.D.O.                  |
| I      | WOOD LEDGER (1"X3")                                |
| J      | WOOD CHAIR RAIL (1"X4")                            |
| K      | PLYWOOD ATTIC ACCESS DOOR (3/4") M.D.O.            |
| L      | PAN HEAD SCREW W/WASHER (3/16"X3/4")               |
| M      | WOOD VENEER STRIP                                  |
| N      | PLYWOOD (3/4")                                     |
| O      | NOT USED   |
| P      | WOOD TRIM (1 X CUT TO FIT)                         |
| 06402A | PLASTIC LAMINATE ON 3/4" PARTICLE BOARD            |
| B      | BASE CABINET                                       |
| C      | WALL CABINET                                       |
| D      | VENEER PLYWOOD                                     |
| E      | SOLID WOOD BLOCKING                                |
| F      | SOLID WOOD FRAME                                   |
| 7:     | THERMAL AND MOISTURE PROTECTION                    |
| 07242A | EXTERIOR FINISH SYSTEM/STUCCO                      |
| B      | EXTERIOR FINISH SYSTEM/SMOOTH COAT                 |
| C      | EXTERIOR FINISH SYSTEM/BRICK                       |
| 07460A | ALUMINUM FASCIA                                    |
| B      | VINYL SOFFIT W/ "J" TRIM @ PERIMETER               |
| C      | ALUMINUM BREAK METAL TRIM                          |
| 07530A | SINGLE PLY MEMBRANE                                |
| B      | MEMBRANE FLASHING                                  |
| C      | METAL GUTTER & DOWNSPOUT                           |
| D      | E.P.D.M. RUBBER PIPE FLASHING W/ALUM. RING         |
| E      | BASE (ATTACH W/ SST FASTENERS)                     |
| F      | ADJUSTABLE SST GLAMP                               |
| G      | GALVANIZED SHEET MTL COVER W/ MTL CLEAT            |
| 07900A | SCUPPER  |
| B      | SEALANT  |
| C      | EXPANSION JOINT                                    |
| 8:     | DOORS AND WINDOWS                                  |
| 08110A | STEEL DOOR FRAME                                   |
| B      | WALL ANCHORS (3 PER JAMB)                          |
| C      | STEEL DOOR - SEE DOOR SCHEDULE                     |
| 08211A | WOOD DOOR - SEE DOOR SCHEDULE                      |
| 08390A | SCREEN DOOR & FRAME                                |
| 08520A | ALUMINUM WINDOW (EQ. TO SERIES 400-U.S. ALUM. CO.) |
| 08710A | ALUMINUM THRESHOLD                                 |
| B      | CABINET HINGE                                      |
| C      | NOT USED   |
| D      | CABINET MAGNETIC CATCH                             |
| E      | LOCK ASSEMBLY & STRIKE                             |
| F      | PULL   |
| G      | EXPANSION ANCHOR                                   |
| 9:     | FINISHES   |
| 09250A | GYPSUM WALLBOARD (1/2") MOISTURE RESISTANT         |
| B      | GYPSUM WALLBOARD (1/2") STANDARD                   |
| C      | METAL HAT-FURRING (7/8" @ 16" O.C. MAX.            |
| D      | METAL FURRING (1 1/2" @ 16" O.C. MAX.              |
| E      | EDGE TRIM "J" MOLD                                 |
| F      | METAL STUD (2 1/2") @ 24" O.C. MAX.                |
| G      | METAL STUD (3 5/8") @ 24" O.C. MAX.                |
| H      | GYPSUM WALLBOARD (1/2") TYPE "X" FIRE CODE         |
| 09512A | ACOUSTICAL CEILING SYSTEM-SEE FINISH SCHEDULE      |
| 09650A | VINYL COMPOSITION TILE (3/32"X12"X12")             |
| B      | NOT USED   |
| C      | RESILIENT EDGE STRIP                               |
| 10:    | SPECIALTIES  |
| 10180A | TOILET PARTITIONS                                  |
| 10200A | LOUVER, METAL                                      |
| B      | CLIP ANGLE, METAL                                  |
| 10800A | SOAP DISH  |
| B      | TOILET TISSUE HOLDER                               |
| C      | TUMBLER & TOOTHBRUSH HOLDER                        |
| D      | TOWEL BAR  |
| E      | GRAB BAR   |
| F      | SHOWER CURTAIN ROD                                 |
| G      | TILT MIRROR W/ SST FRAME (18" X 30")               |
| H      | MIRROR W/ SST FRAME (18" X 30")                    |
| I      | PAPER TOWEL DISPENSER                              |
| J      | TOILET TISSUE DISPENSER                            |
| K      | SANITARY NAPKIN DISPOSAL                           |
| L      | WALL ASH URN                                       |
| 15:    | MECHANICAL   |
| 15800A | VENT PIPE (SEE MECH. DWGS)                         |
| 15840A | SHEET METAL DUCT (SEE MECH. DWGS)                  |



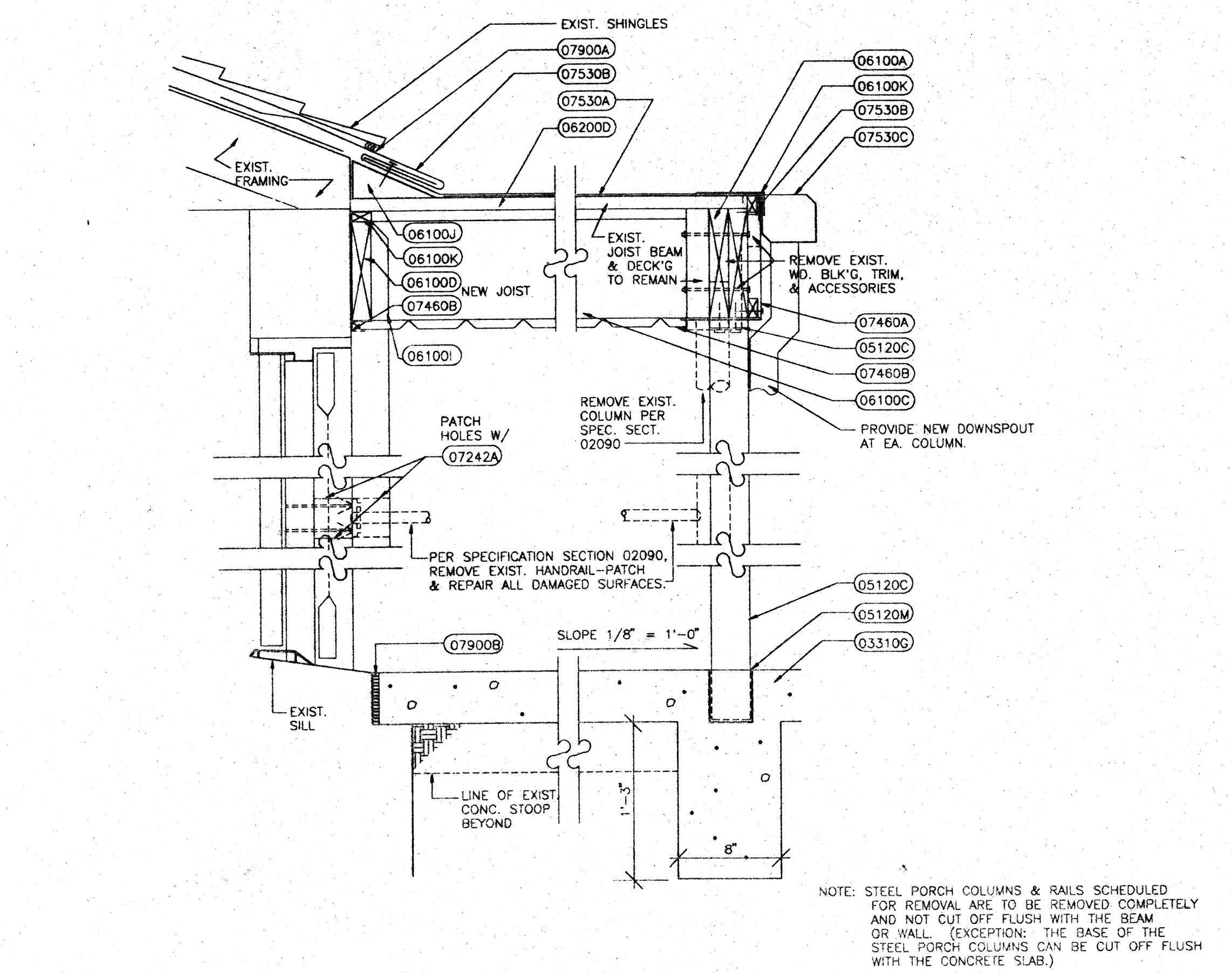
COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS NEWPORT NEWS, VA



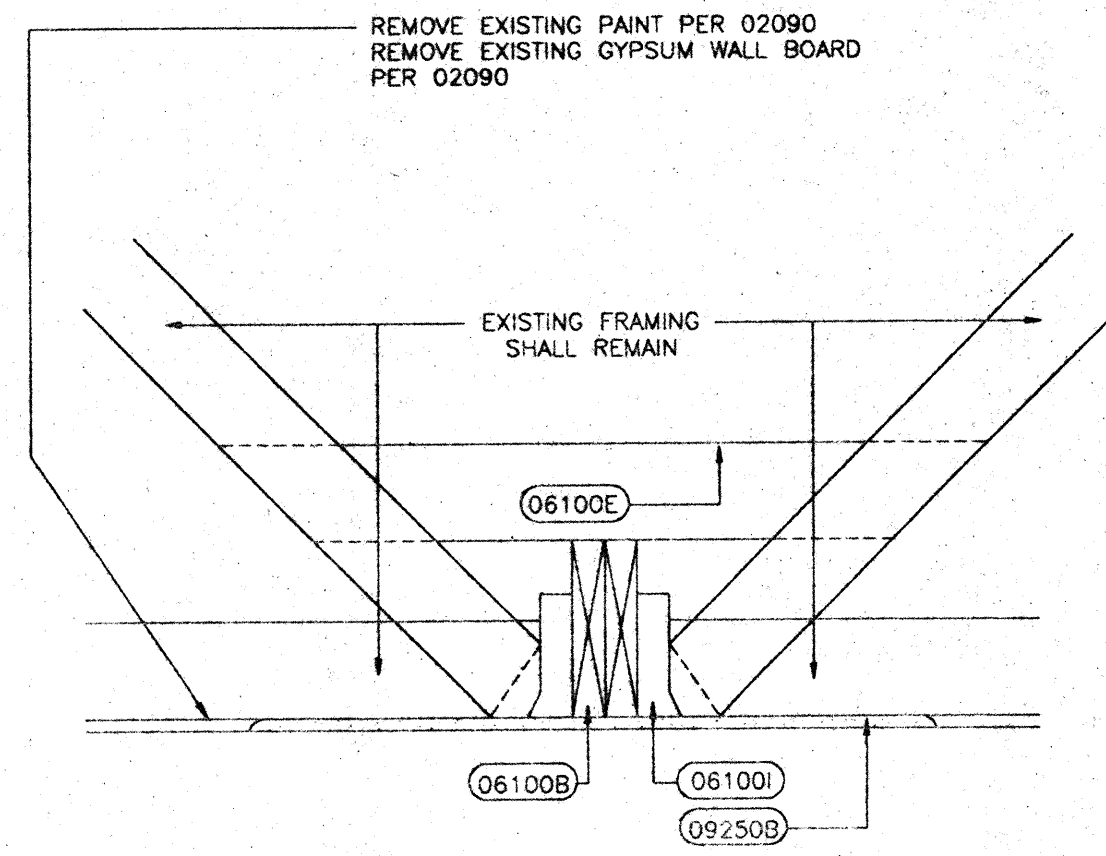
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 Scale: AS NOTED  
 Date: JANUARY 31, 1992  
 File No: 901003A-16RFP  
 Project No: 901003A

BUILDING TYPES  
 D2 & D3 -  
 ROOF FRAMING  
 DETAIL

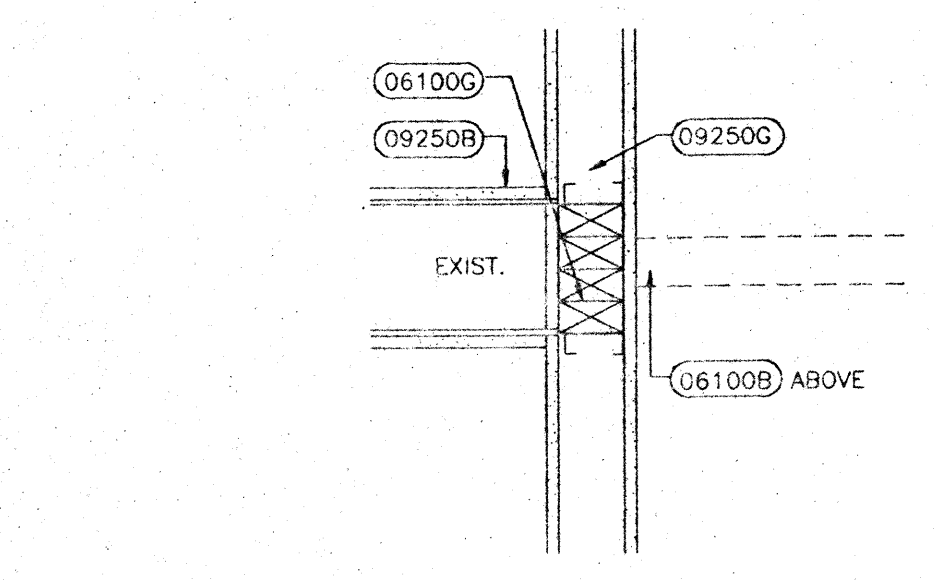
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 of Sheets



1 DETAIL @ ROOF OVERHANG  
 1 1/2" = 1'-0"



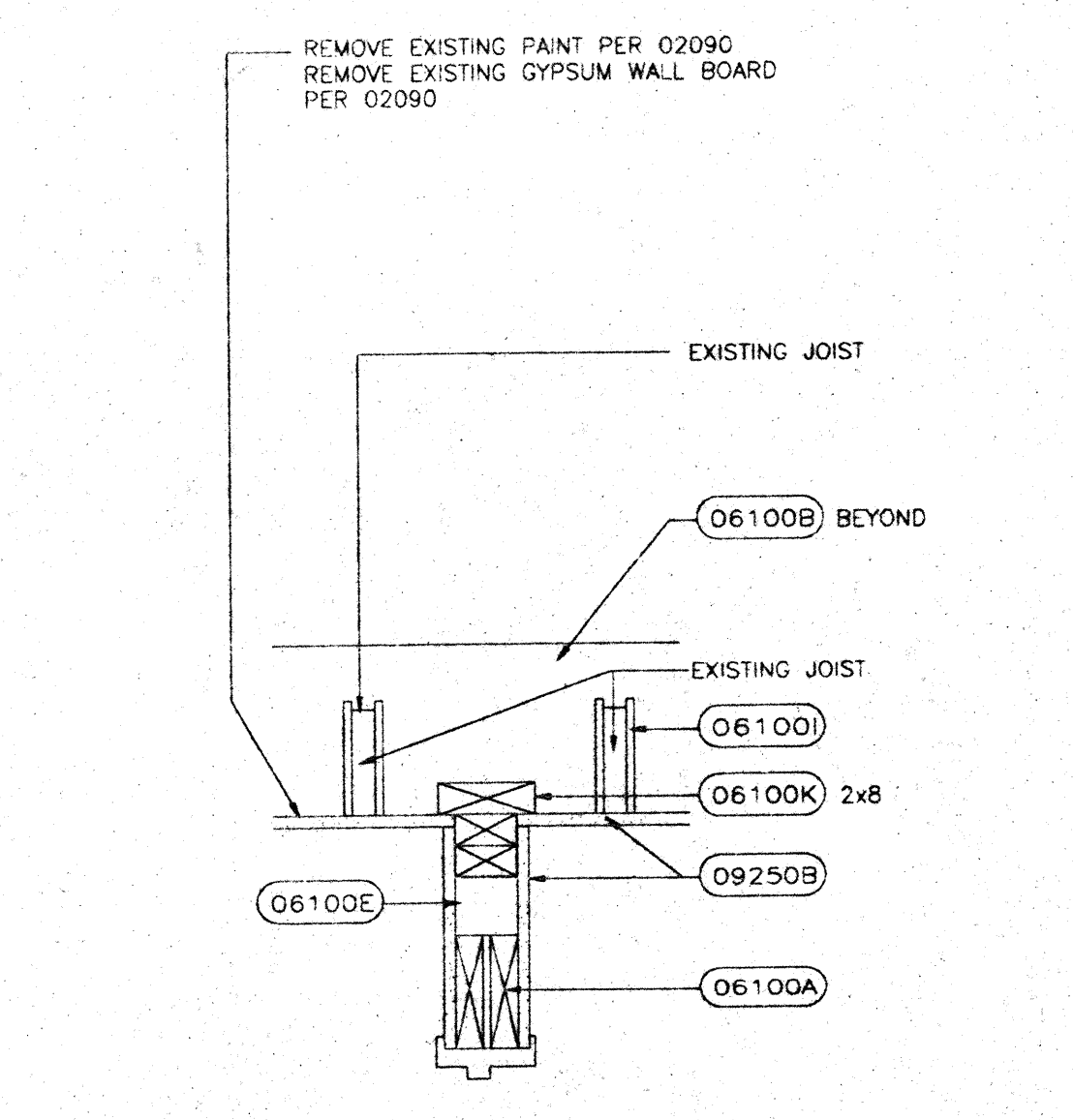
2 DETAIL  
 1" = 1'-0"



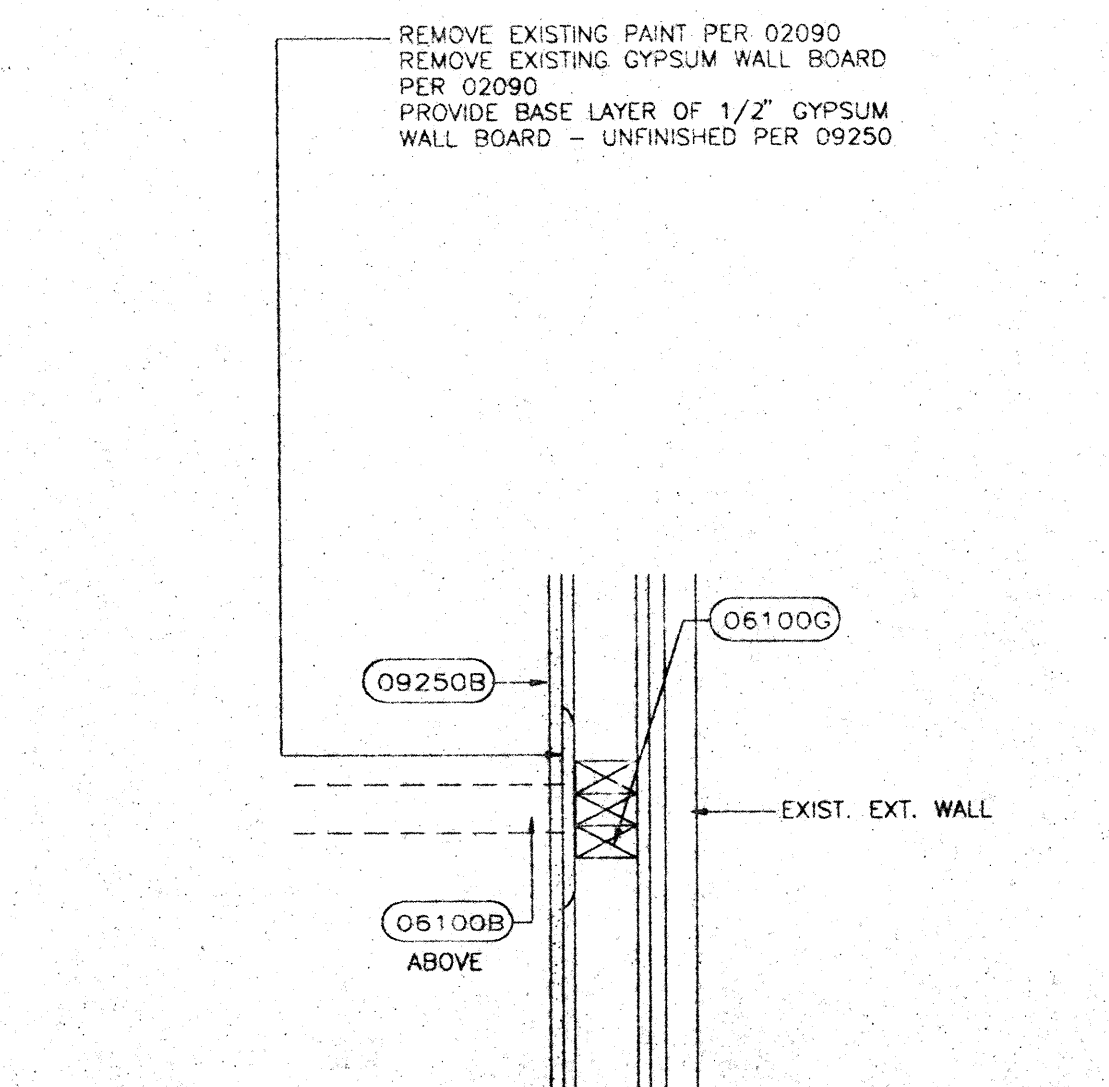
3 DETAIL  
 1" = 1'-0"

**GENERAL NOTES**

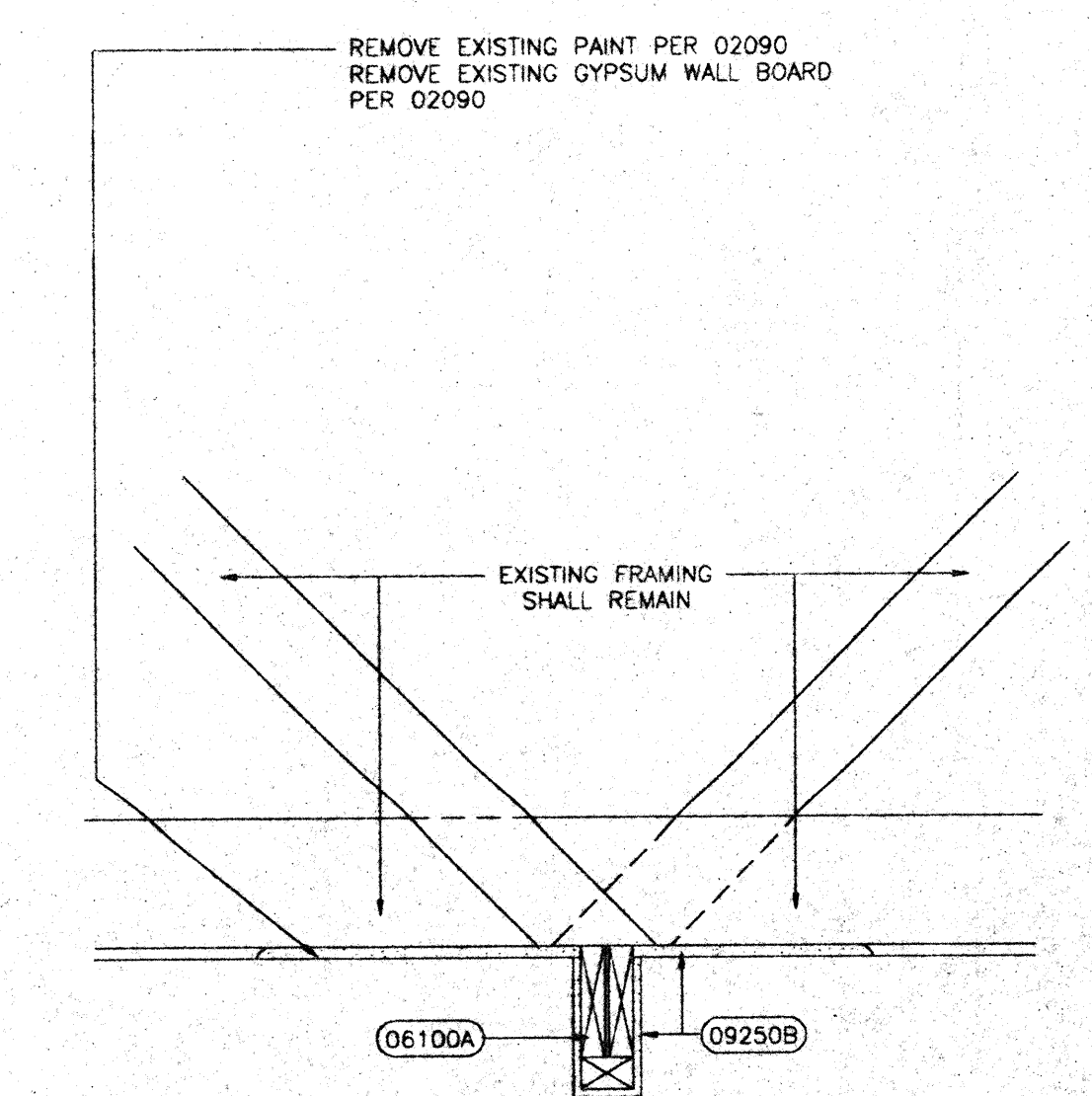
1. THE GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION & SHALL COORDINATE THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
2. ALL PARTITIONS SHOWN THUS (diagonal hatching) INDICATE NEW PARTITIONS.
3. FOR CONSTRUCTION NOTES APPLICABLE TO THIS UNIT, REFER TO OPPOSITE HAND UNIT THIS PLAN, UNLESS OTHERWISE NOTED (I.E. EXISTING PARTITION DEMOLITION). ALL DETAIL/SECTION SYMBOLS APPLY TO BOTH UNITS.
4. WORK NOTES INDICATED ARE MASTER NOTE LISTS. SOME NOTES MAY NOT BE APPLICABLE TO THE CORRESPONDING SHEETS ON WHICH THEY APPEAR.
5. FOR DWELLING UNIT DOOR SCHEDULE & DETAILS, REFER TO SHEETS A17 & A18.
6. FOR DWELLING UNIT CASEWORK ELEVATIONS & DETAILS, REFER TO SHEET A19.
7. EXISTING ACCESS PANELS SHOWN AT APPROXIMATE LOCATION & SIZE. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION & DIMENSIONS.
8. ALL PARTITIONS SHOWN THUS (diagonal hatching) INDICATE PARTITIONS TO BE REMOVED.
9. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
10. PATCH & CLEAN ALL CEILING SURFACES PRIOR TO PAINTING (QUANTITY- APPROXIMATELY SIX (6) 1" Ø X 2" DEEP PENETRATIONS PER UNIT).
11. CONTRACTOR SHALL PROVIDE 1/2" CWB AT ALL EXPOSED SURFACES OF BEAMS & COLUMNS. TYP. THROUGHOUT ALL UNITS.
12. PAINT NEW & EXIST. INTERIOR SURFACES WITHIN THE ENTIRE UNIT. SURFACES TO BE PAINTED INCLUDE BUT ARE NOT LIMITED TO WALLS, CEILINGS, ACCESS PANELS, TRIM, METAL PANEL ENCLOSURES, FURNACE HOUSING, DUCT WORK, BEAMS, COLUMNS, DOORS & FRAMES, WOOD TRIM, HANDRAILS, RODS, SHELVES, & SUPPORTS (TYP. THROUGHOUT ALL UNITS).
13. FOR BATH PARTIAL PLANS & DETAILS, SEE SHEET A10.
14. FOR BID ALTERNATE WORK, SEE SHEETS A29 THRU A31.
15. IN ADDITION TO THE WORK INDICATED ON THIS PLAN, THE CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE CORRESPONDING DEMOLITION PLAN LOCATED ON THE SHEET REFERENCED THUS (CONTRACT A1).
16. ALL PARTITIONS SHOWN THUS (diagonal hatching) INDICATE NEW 2X4 WOOD PARTITIONS.



4 DETAIL  
 1" = 1'-0"



5 DETAIL  
 1" = 1'-0"



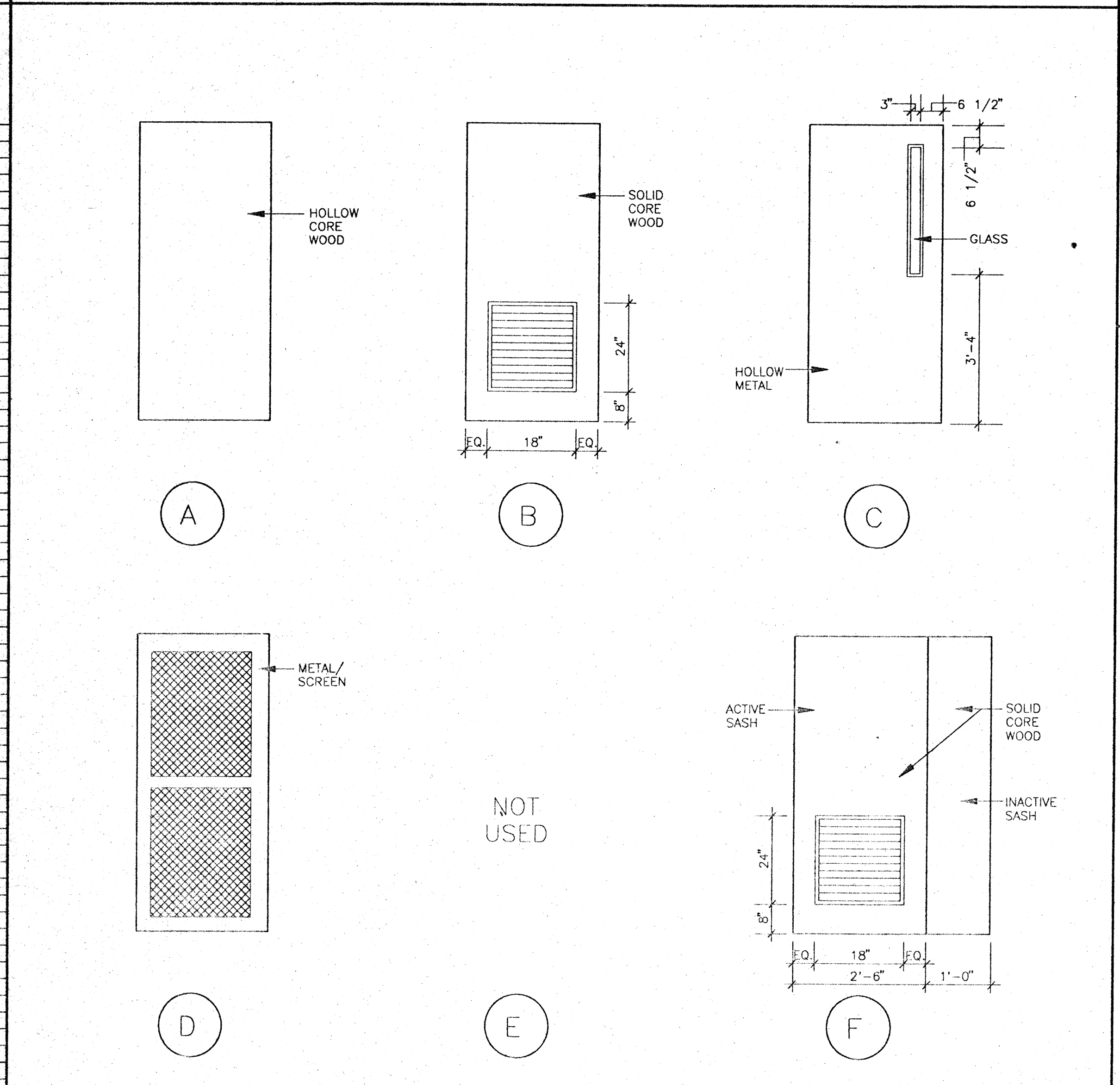
6 DETAIL  
 1" = 1'-0"



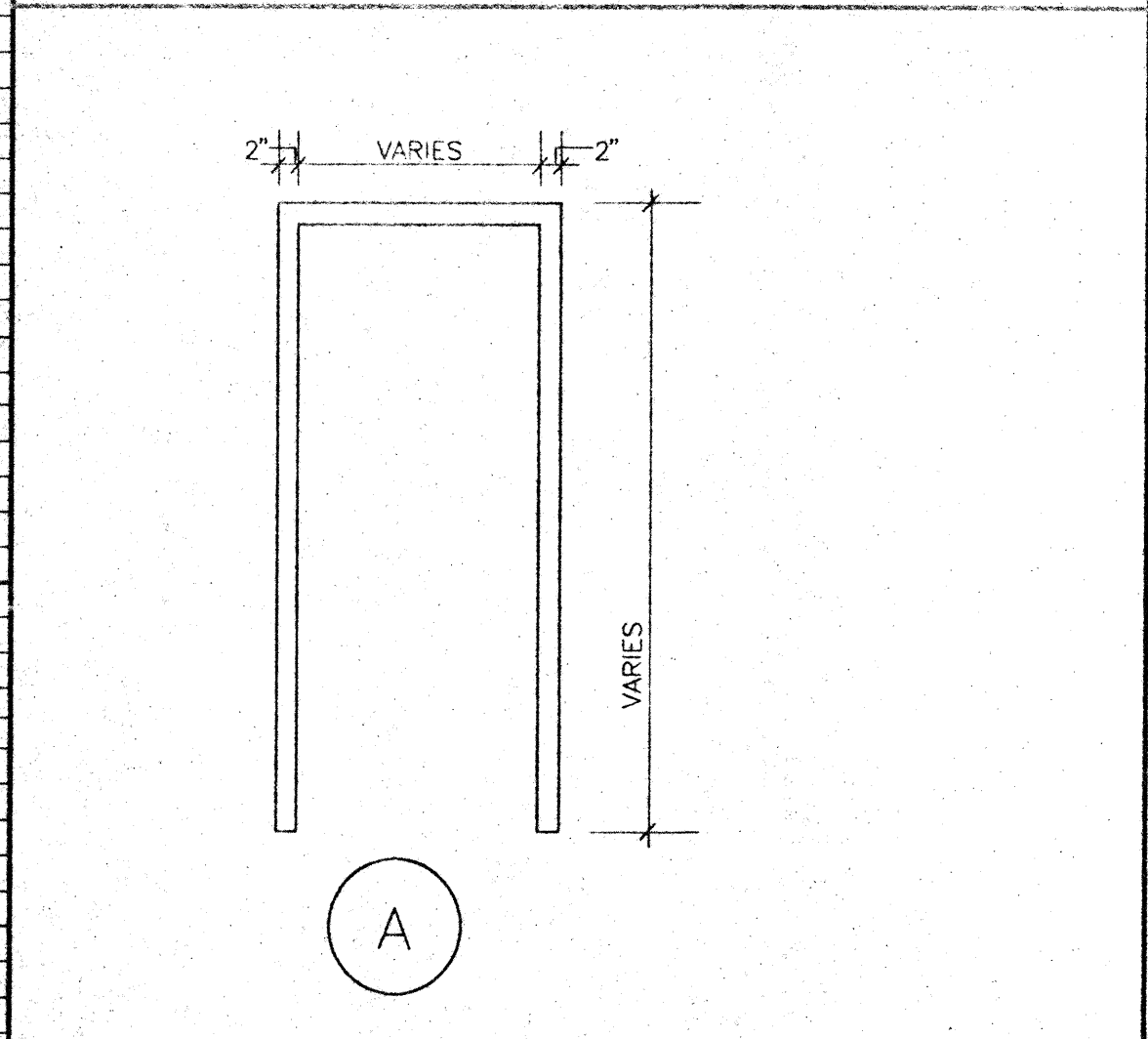
# DOOR SCHEDULE

| LOCATION             | OPENING NUMBER | DOOR     |        |        |     |       |            | FRAME  |    |     |       |         |       | FIRE RATING | HW SET NO.         | NOTES             |      |
|----------------------|----------------|----------|--------|--------|-----|-------|------------|--------|----|-----|-------|---------|-------|-------------|--------------------|-------------------|------|
|                      |                | SIZE     |        |        | MAT | TYPE  | GLASS TYPE | LOUVER |    | MAT | TYPE  | DETAILS |       |             |                    |                   |      |
|                      |                | W        | H      | T      |     |       |            | W      | H  |     |       | HEAD    | JAMB  |             |                    |                   | SILL |
| BUILDING TYPES A & B | 01             | 2'-4"    | 4'-0"  | 1 3/8" | WD  | A     | -          |        |    | HM  | A     | H1      | J1    | J1          | 5                  | HEAD @ 4'-0" AFF. |      |
|                      | 02             | 2'-6"    | 6'-8"  |        |     | B     |            |        |    |     |       | H1      | J4    | J4          | 6                  |                   |      |
|                      | 03             | 3'-6"    | 6'-8"  |        |     | F     |            |        |    |     |       | H1      | J1    | J1          | 9                  | 2 DOORS           |      |
|                      | 04             | 2'-6"    |        |        |     | A     |            |        |    |     |       |         |       |             | 4                  |                   |      |
|                      | 05             | 2'-6"    |        |        |     |       |            |        |    | HM  | A     | H1      | J1    | J1          | 5                  |                   |      |
|                      | 06             | 2'-6"    |        |        |     |       |            |        |    | HM  | A     | H1      | J1    | J1          | 4                  | UNDERCUT 1/2"     |      |
|                      | 07             | 2'-0"    |        |        |     |       |            |        |    |     |       |         |       |             | 5                  |                   |      |
|                      | 08             | 2'-6"    |        |        |     |       |            |        |    | HM  | A     | H3      | J3    | J3          | 5                  |                   |      |
|                      | 09             | NOT USED |        |        |     |       |            |        |    |     |       |         |       |             |                    |                   |      |
|                      | 10             | 2'-6"    | 6'-8"  |        |     | A     |            |        |    |     |       |         |       |             | 4                  |                   |      |
|                      | 11             | 2'-6"    |        |        |     |       |            |        |    | HM  | A     | H1      | J1    | J1          | 5                  |                   |      |
|                      | 12             | 2'-6"    |        |        |     |       |            |        |    | HM  | A     | H1      | J1    | J1          | 4                  | UNDERCUT 1/2"     |      |
|                      | 13             | 2'-0"    |        |        |     |       |            |        |    |     |       |         |       |             | 5                  |                   |      |
|                      | 14             | 2'-6"    |        |        |     |       |            |        |    | HM  | A     | H1      | J1    | J1          | 6                  |                   |      |
|                      | 15             | 2'-0"    |        |        |     |       |            |        |    |     |       |         |       |             | 5                  |                   |      |
|                      | 16             | 2'-6"    |        |        |     |       |            |        |    |     |       |         |       |             | 4                  |                   |      |
|                      | 17             | 2'-0"    |        |        |     |       |            |        |    | HM  | A     | H4      | J4    | J4          | 5                  |                   |      |
|                      | 18             | 2'-6"    |        |        |     |       |            |        |    | HM  | A     | H1      | J1    | J1          | 5                  |                   |      |
|                      | 19             | 2'-6"    |        |        |     |       |            |        |    |     |       |         |       |             | 4                  |                   |      |
|                      | 20             | 2'-6"    |        |        |     |       |            |        |    | HM  | A     | H1      | J1    | J1          | 5                  |                   |      |
|                      | 21             | 2'-4"    |        |        |     |       |            |        |    |     |       |         |       |             | 4                  |                   |      |
| 22                   | 1'-8"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           | UNDERCUT 1/2"      |                   |      |
| 23                   | 2'-0"          | 5'-7"    |        |        | A   |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 24                   | 2'-6"          | 6'-8"    |        |        | B   |       |            |        |    |     |       |         |       | 6           |                    |                   |      |
| 25                   | 2'-6"          |          |        |        | A   |       |            |        |    |     |       |         |       | 4           |                    |                   |      |
| 26                   | 2'-0"          |          |        |        |     |       |            |        | HM | A   | H4    | J4      | J4    | 5           |                    |                   |      |
| 27                   | 2'-6"          |          |        |        |     |       |            |        | HM | A   | H1    | J1      | J1    | 4           |                    |                   |      |
| 28                   | 2'-6"          |          |        |        |     |       |            |        | HM | A   | H1    | J1      | J1    | 5           |                    |                   |      |
| 29                   | 2'-4"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           | UNDERCUT 1/2"      |                   |      |
| 30                   | 1'-8"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 31                   | 2'-0"          |          |        |        |     |       |            |        | HM | A   | H1    | J1      | J1    | 4           |                    |                   |      |
| 32                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 33                   | 2'-6"          | 5'-4"    |        |        |     |       |            |        | HM | A   | H1    | J1      | J1    | 5           | MTD. 1'-3" A.F.F.  |                   |      |
| 34                   | 2'-6"          | 6'-8"    |        |        |     |       |            |        |    |     |       |         |       | 4           |                    |                   |      |
| 35                   | 2'-4"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           | UNDERCUT 1/2"      |                   |      |
| 36                   | 1'-8"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 37                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           |                    |                   |      |
| 38                   | 2'-0"          |          |        |        |     |       |            |        | HM | A   | H4    | J4      | J4    | 5           |                    |                   |      |
| 39                   | 2'-6"          |          |        |        | B   |       |            |        |    |     |       |         |       | 6           |                    |                   |      |
| 40                   | 2'-0"          |          |        |        | A   |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 41                   | 2'-4"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 42                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           | UNDERCUT 1/2"      |                   |      |
| 43                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           |                    |                   |      |
| 44                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 45                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           |                    |                   |      |
| 46                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 47                   | 2'-6"          |          |        |        | B   |       |            |        |    |     |       |         |       | 6           |                    |                   |      |
| 48                   | 2'-6"          |          |        |        | A   |       |            |        |    |     |       |         |       | 4           |                    |                   |      |
| 49                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 50                   | 2'-0"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 51                   | 1'-8"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 52                   | 2'-4"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           | UNDERCUT 1/2"      |                   |      |
| 53                   | 2'-8"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           |                    |                   |      |
| 54                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 55                   | 2'-8"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           |                    |                   |      |
| 56                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 57                   | 2'-4"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 58                   | 2'-4"          |          |        |        | B   |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 59                   | 2'-6"          |          |        |        | A   |       |            |        |    |     |       |         |       | 6           |                    |                   |      |
| 60                   | 2'-6"          |          |        |        |     |       |            |        | HM | A   | H1    | J1      | J1    | 4           |                    |                   |      |
| 61                   | 2'-6"          |          |        |        |     |       |            |        | HM | A   | H1    | J1      | J1    | 5           |                    |                   |      |
| 62                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           |                    |                   |      |
| 63                   | 2'-0"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 64                   | 2'-4"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           | UNDERCUT 1/2"      |                   |      |
| 65                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 66                   | 2'-6"          |          |        |        |     |       |            |        | HM | A   | H1    | J1      | J1    | 4           |                    |                   |      |
| 67                   | 2'-6"          |          |        |        |     |       |            |        | HM | A   | H1    | J1      | J1    | 4           |                    |                   |      |
| 68                   | 2'-6"          |          |        |        |     |       |            |        | HM | A   | H1    | J1      | J1    | 5           |                    |                   |      |
| 69                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           |                    |                   |      |
| 70                   | 1'-8"          |          |        |        |     |       |            |        | HM | A   | H1    | J1      | J1    | 5           |                    |                   |      |
| 71                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 72                   | 2'-0"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           |                    |                   |      |
| 73                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           | UNDERCUT 1/2"      |                   |      |
| 74                   | 2'-6"          |          |        |        |     |       |            |        |    |     |       |         |       | 4           |                    |                   |      |
| 75                   | 2'-0"          |          |        |        |     |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 76                   | 2'-6"          |          |        |        | B   |       |            |        |    |     |       |         |       | 6           |                    |                   |      |
| 77                   | 2'-6"          |          |        |        | A   |       |            |        |    |     |       |         |       | 5           |                    |                   |      |
| 78                   | 3'-0"          | 7'-0"    | 1 3/4" | METAL  | C   | LEXAN |            |        |    |     | H4    | J4      | J4    | 1           | HANDICAP THRESHOLD |                   |      |
| 79                   | 3'-0"          | 7'-0"    | 1 3/8" | METAL  | D   |       |            |        |    |     | H4    | J4      | J4    | 1           |                    |                   |      |
| 80                   | 3'-0"          | 6'-8"    |        | WD     | A   |       |            |        |    |     | H2    | J2      | J2    | 3           |                    |                   |      |
| 81                   | 3'-0"          | 6'-8"    |        | WD     | B   |       |            |        |    |     | H2    | J2      | J2    | 6           |                    |                   |      |
| 82                   | 3'-0"          | 7'-0"    | 1 3/4" | METAL  | C   | LEXAN |            |        |    |     | H4    | J4      | J4    | 1           | HANDICAP THRESHOLD |                   |      |
| 83                   | 3'-0"          | 7'-0"    | 1 3/8" | METAL  | D   |       |            |        |    |     | H4    | J4      | J4    | 1           |                    |                   |      |
| 84                   | 2'-8"          | 6'-8"    |        | WD     | A   |       |            |        |    |     | H2    | J2      | J2    | 3           |                    |                   |      |
| 85                   | 3'-0"          |          |        |        |     |       |            |        |    |     | H2    | J2      | J2    | 2           | UNDERCUT 1/2"      |                   |      |
| 86                   | 3'-0"          |          |        |        |     |       |            |        |    |     | H2    | J2      | J2    | 2           |                    |                   |      |
| 87                   | 3'-0"          |          |        |        |     |       |            |        |    |     | H2    | J2      | J2    | 3           |                    |                   |      |
| 88                   | 3'-0"          | 7'-0"    | 1 3/4" | METAL  | C   | LEXAN |            |        |    |     | H4    | J4      | J4    | 1           | HANDICAP THRESHOLD |                   |      |
| 89                   | 3'-0"          | 7'-0"    | 1 3/8" | METAL  | D   |       |            |        |    |     | H4    | J4      | J4    | 1           |                    |                   |      |
| 90                   | 3'-0"          | 6'-8"    |        | WD     | A   |       |            |        |    |     | H2    | J2      | J2    | 3           |                    |                   |      |
| 91                   | 3'-0"          | 6'-8"    |        | WD     | B   |       |            |        |    |     | H2    | J2      | J2    | 6           |                    |                   |      |
| 92                   | 3'-0"          | 7'-0"    | 1 3/4" | METAL  | C   | LEXAN |            |        |    |     | H4    | J4      | J4    | 1           | HANDICAP THRESHOLD |                   |      |
| 93                   | 3'-0"          | 7'-0"    | 1 3/8" | METAL  | D   |       |            |        |    |     | H4    | J4      | J4    | 1           |                    |                   |      |
| 94                   | 3'-0"          | 6'-8"    |        | WD     | A   |       |            |        |    |     | H2    | J2      | J2    | 2           | UNDERCUT 1/2"      |                   |      |
| 95                   | 3'-0"          |          |        |        |     |       |            |        |    |     | H2    | J2      | J2    | 2           |                    |                   |      |
| 96                   | 3'-0"          |          |        |        |     |       |            |        |    |     | H5 SM | J5 SM   | J5 SM | 3           |                    |                   |      |
| 97                   | 3'-0"          |          |        |        |     |       |            |        |    |     | H2    | J2      | J2    | 2           |                    |                   |      |
| 98                   | 3'-0"          |          |        |        |     |       |            |        |    |     | H2    | J2      | J2    | 3           |                    |                   |      |
| 124                  | 3'-0"          | 7'-0"    | 1 3/4" | METAL  | C   | LEXAN |            |        |    |     | H4    | J4      | J4    | 1           | HANDICAP THRESHOLD |                   |      |
| 125                  | 3'-0"          | 7'-0"    | 1 3/8" | METAL  | D   |       |            |        |    |     | H4    | J4      | J4    | 1           |                    |                   |      |
| 126                  | 3'-0"          | 7'-0"    | 1 3/4" | METAL  | C   | LEXAN |            |        |    |     | H4    | J4      | J4    | 1           | HANDICAP THRESHOLD |                   |      |
| 127                  | 3'-0"          | 7'-0"    | 1 3/8" | METAL  | D   |       |            |        |    |     | H4    | J4      | J4    | 1           |                    |                   |      |
| 128                  | 3'-0"          | 6'-8"    |        | WD     | A   |       |            |        |    |     | H2    | J2      | J2    | 2           | UNDERCUT 1/2"      |                   |      |
| 129                  | 3'-0"          |          |        |        |     |       |            |        |    |     | H1    | J1      | J1    | 3           |                    |                   |      |
| 140                  | 3'-0"          |          |        |        |     |       |            |        |    |     | H1    | J1      | J1    | 3           |                    |                   |      |
| 141                  | 3'-0"          |          |        |        |     |       |            |        |    |     | H1    | J1      | J1    | 3           |                    |                   |      |
| 142                  | 2'-6"          | 6'-8"    | 1 3/8" | WD     | B   |       |            |        |    |     | H1    | J1      | J1    | 6           |                    |                   |      |

# DOOR TYPES



## FRAME TYPES

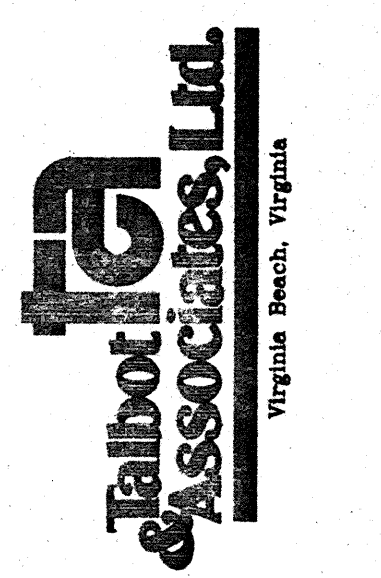


## GENERAL NOTES

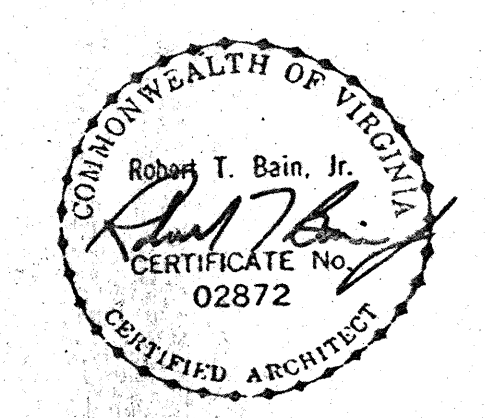
1. THE GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION & SHALL COORDINATE THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
2. ALL PARTITIONS SHOWN THUS (Hatched) INDICATE NEW PARTITIONS.
3. FOR CONSTRUCTION NOTES APPLICABLE TO THIS UNIT, REFER TO OPPOSITE HAND UNIT THIS PLAN, UNLESS OTHERWISE NOTED (I.E. EXISTING PARTITION DEMOLITION). ALL DETAIL/SECTION SYMBOLS APPLY TO BOTH UNITS.
4. WORK NOTES INDICATED ARE MASTER NOTE LISTS. SOME NOTES MAY NOT BE APPLICABLE TO THE CORRESPONDING SHEETS ON WHICH THEY APPEAR.
5. FOR DWELLING UNIT DOOR SCHEDULE & DETAILS, REFER TO SHEETS A17 & A18.
6. FOR DWELLING UNIT CASEWORK ELEVATIONS & DETAILS, REFER TO SHEET A19.
7. EXISTING ACCESS PANELS SHOWN AT APPROXIMATE LOCATION & SIZE. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION & DIMENSIONS.
8. ALL PARTITIONS SHOWN THUS (Hatched) INDICATE PARTITIONS TO BE REMOVED.
9. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
10. PATCH & CLEAN ALL CEILING SURFACES PRIOR TO PAINTING (QUANTITY - APPROXIMATELY SIX (6) 1"Ø X 2" DEEP PENETRATIONS PER UNIT).
11. CONTRACTOR SHALL PROVIDE 1/2" CWB AT ALL EXPOSED SURFACES OF BEAMS & COLUMNS. TYP. THROUGHOUT ALL UNITS.
12. PAINT NEW & EXIST. INTERIOR SURFACES WITHIN THE ENTIRE UNIT. SURFACES TO BE PAINTED INCLUDE BUT ARE NOT LIMITED TO WALLS, CEILINGS, ACCESS PANELS, TRIM, METAL PANEL ENCLOSURES, FURNACE HOUSING, DUCT WORK, BEAMS, COLUMNS, DOORS & FRAMES, WOOD TRIM, HANDRAILS, RODS, SHELVES, & SUPPORTS (TYP. THROUGHOUT ALL UNITS).
13. FOR BATH PARTIAL PLANS & DETAILS, SEE SHEET A10.
14. FOR BID ALTERNATE WORK, SEE SHEETS A29 THRU A31.
15. IN ADDITION TO THE WORK INDICATED ON THIS PLAN, THE CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE CORRESPONDING DEMOLITION PLAN LOCATED ON THE SHEET REFERENCED THUS (GN#15 A1).
16. ALL PARTITIONS SHOWN THUS (Hatched) INDICATE NEW 2X4 WOOD PARTITIONS.

## DOOR NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXIST. DOOR, FRAME, & OPENING SIZES & DIMENSIONS PRIOR TO THE FABRICATION & CONSTRUCTION OF ALL NEW WORK & SHALL COORDINATE THE WORK WITH THE DOOR & FRAME MANUFACTURER.
2. FOR HEAD & JAMB CONDITIONS AT LOCATIONS WHERE EXISTING FRAMES ARE SCHEDULED TO REMAIN, REFER TO DETAIL 5/A18.
3. SPOT GROUT ALL FRAMES.
4. WHERE EXISTING METAL FRAMES ARE SCHEDULED TO REMAIN, METAL DOOR HINGES WILL NOT BE REPLACED. REMOVE PAINT FROM EXISTING METAL HINGES PER SPECIFICATION SECTION 02090.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS  
NEWPORT NEWS, VA



Designed: cET  
Drawn: TFN / RSJ  
Checked: CMH  
Scale: AS NOTED  
Date: JANUARY 31, 1992  
File No: 901003A-1705  
Project No: 901003A

DOOR SCHEDULE, DOOR TYPES, & NOTES

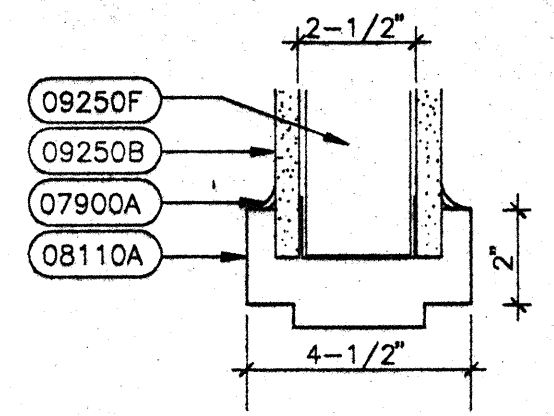
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of Sheets



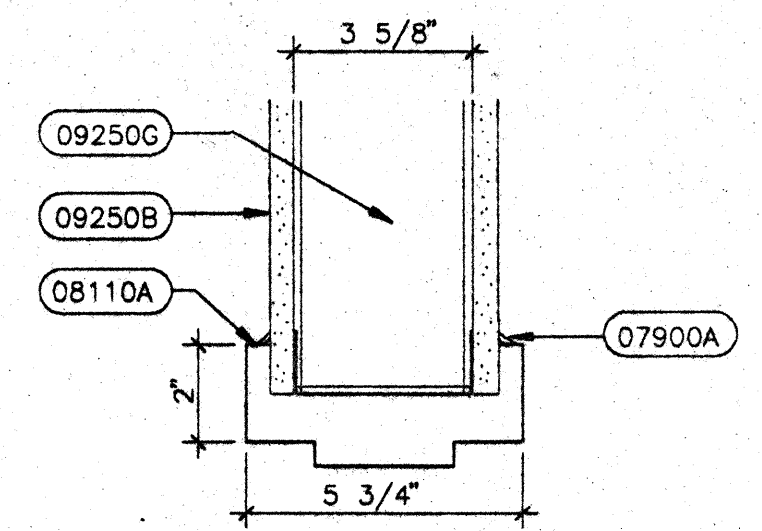
HEAD DETAILS

JAMB DETAILS

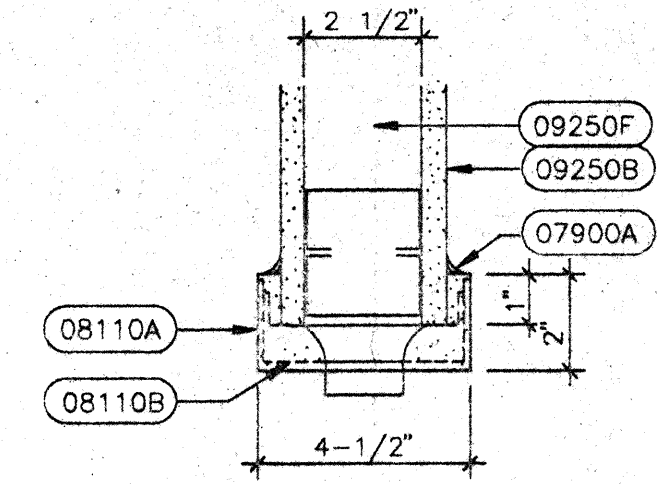
SILL DETAILS



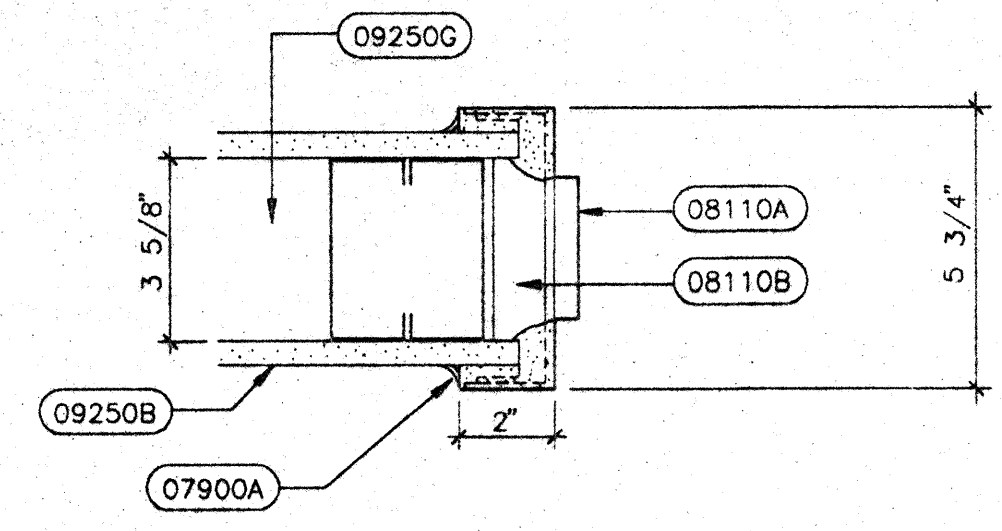
H1 DETAIL @ HEAD  
3'-1'-0"



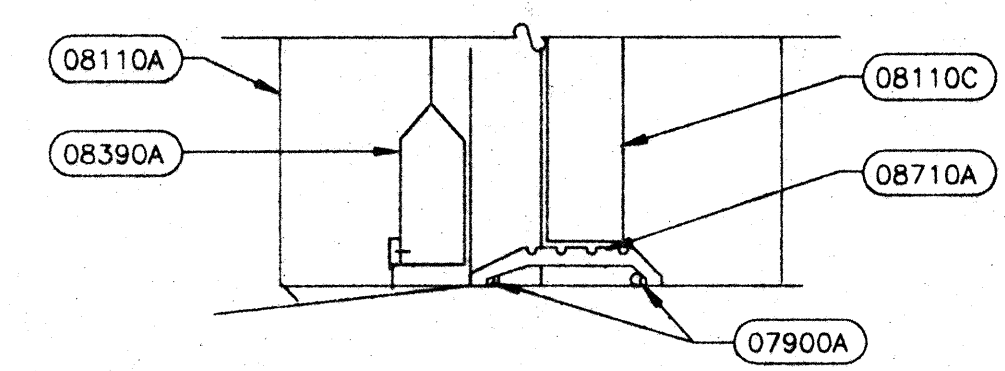
H2 DETAIL @ HEAD  
3'-1'-0"



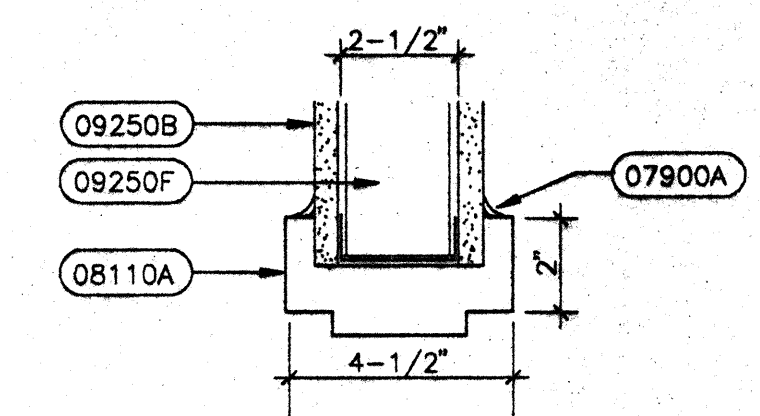
J1 DETAIL @ JAMB  
3'-1'-0"



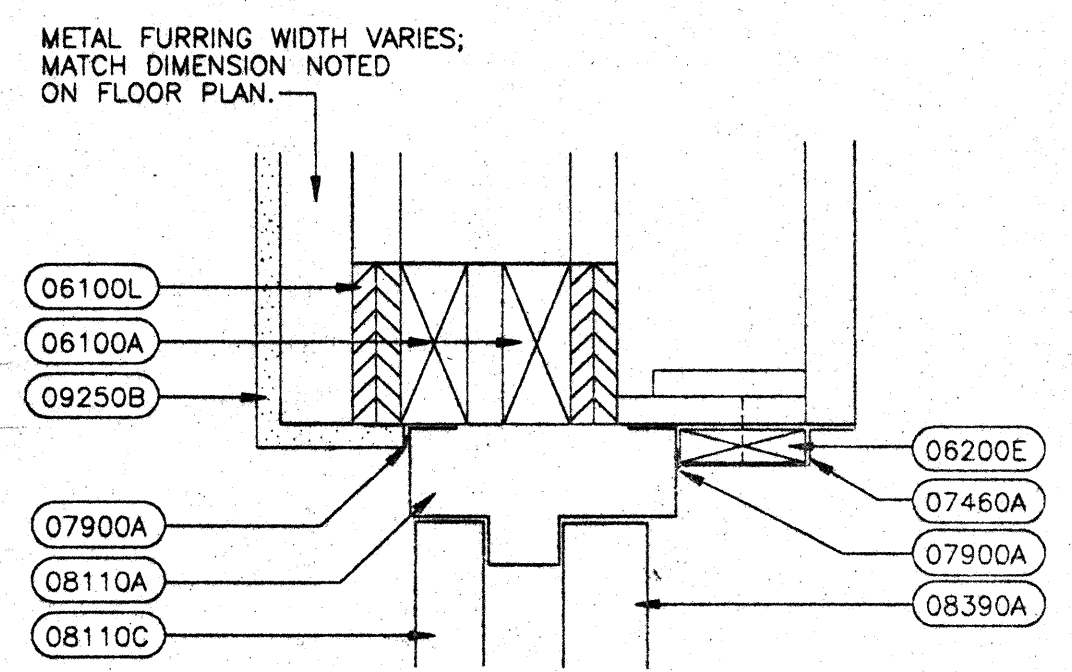
J2 DETAIL @ JAMB  
3'-1'-0"



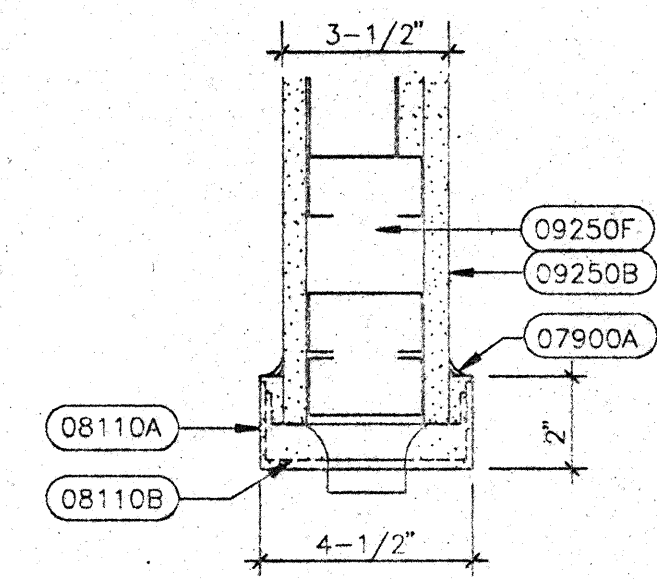
S1 DETAIL @ SILL  
3'-1'-0"



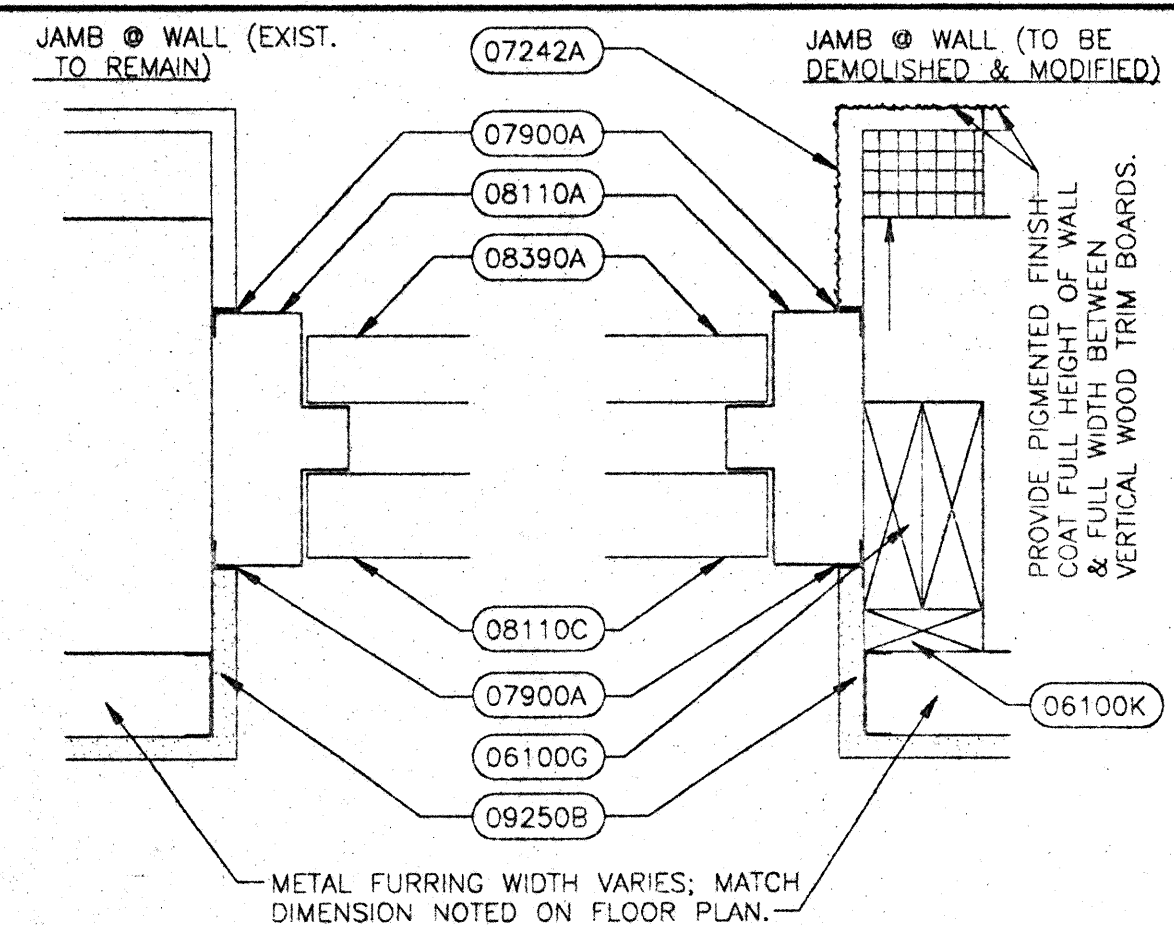
H3 DETAIL @ HEAD  
3'-1'-0"



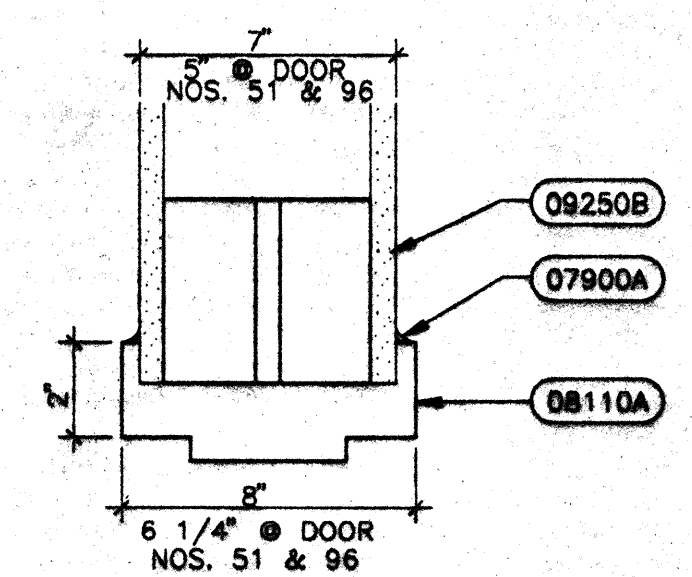
H4 DETAIL @ HEAD  
3'-1'-0"



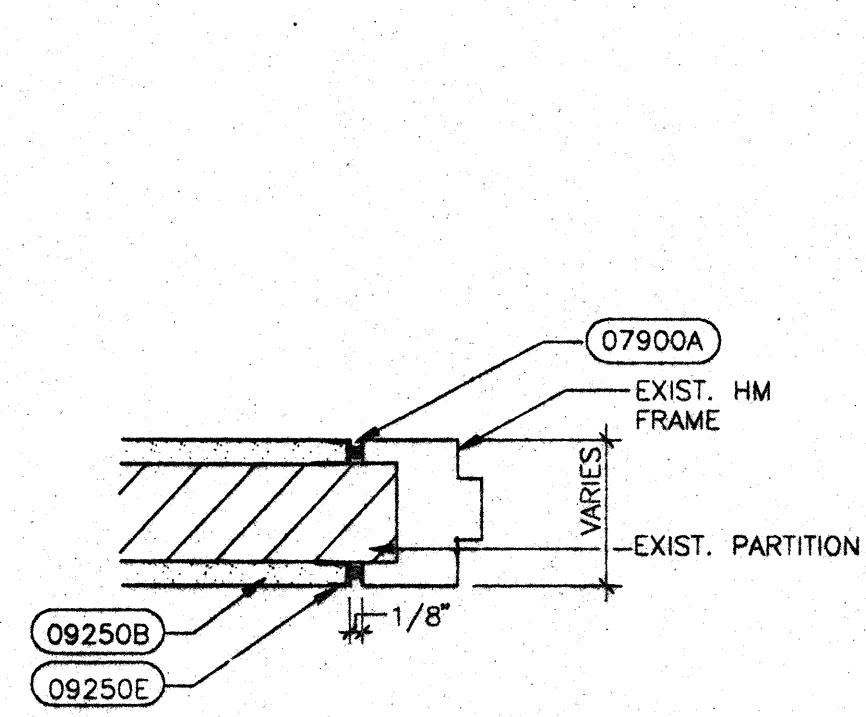
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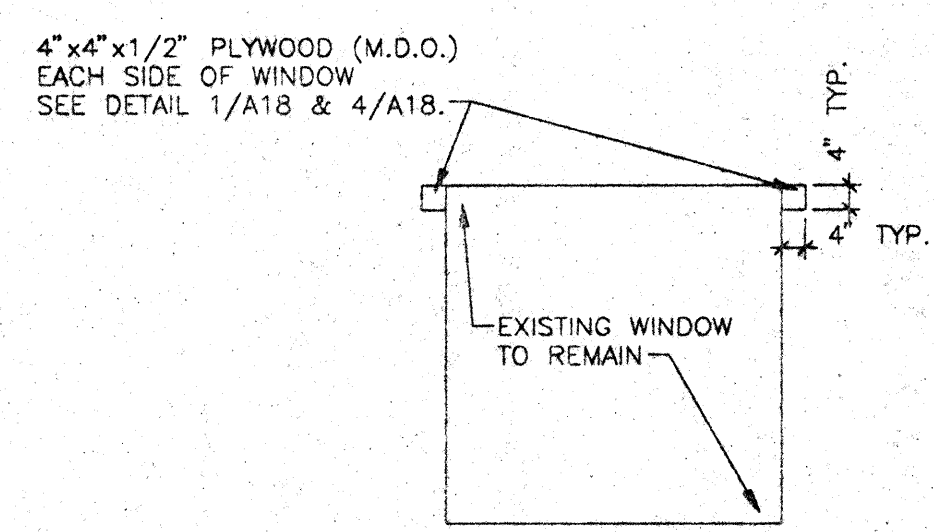
J4 DETAIL @ JAMB  
3'-1'-0"



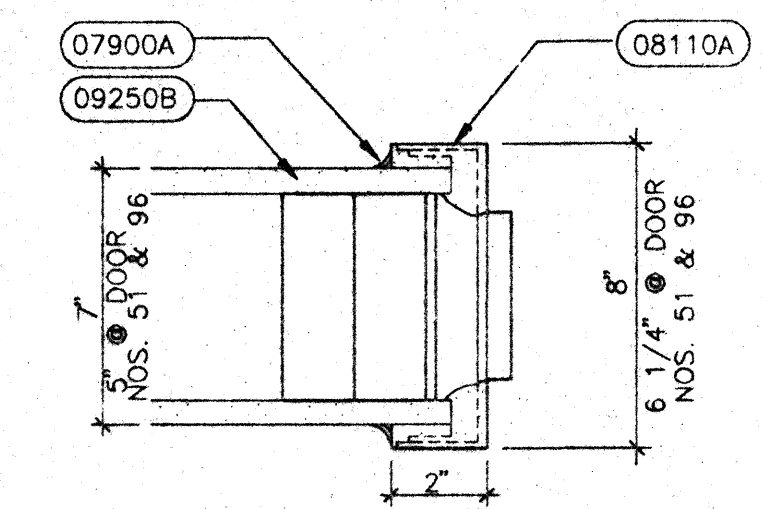
H5 DETAIL @ HEAD  
3'-1'-0"



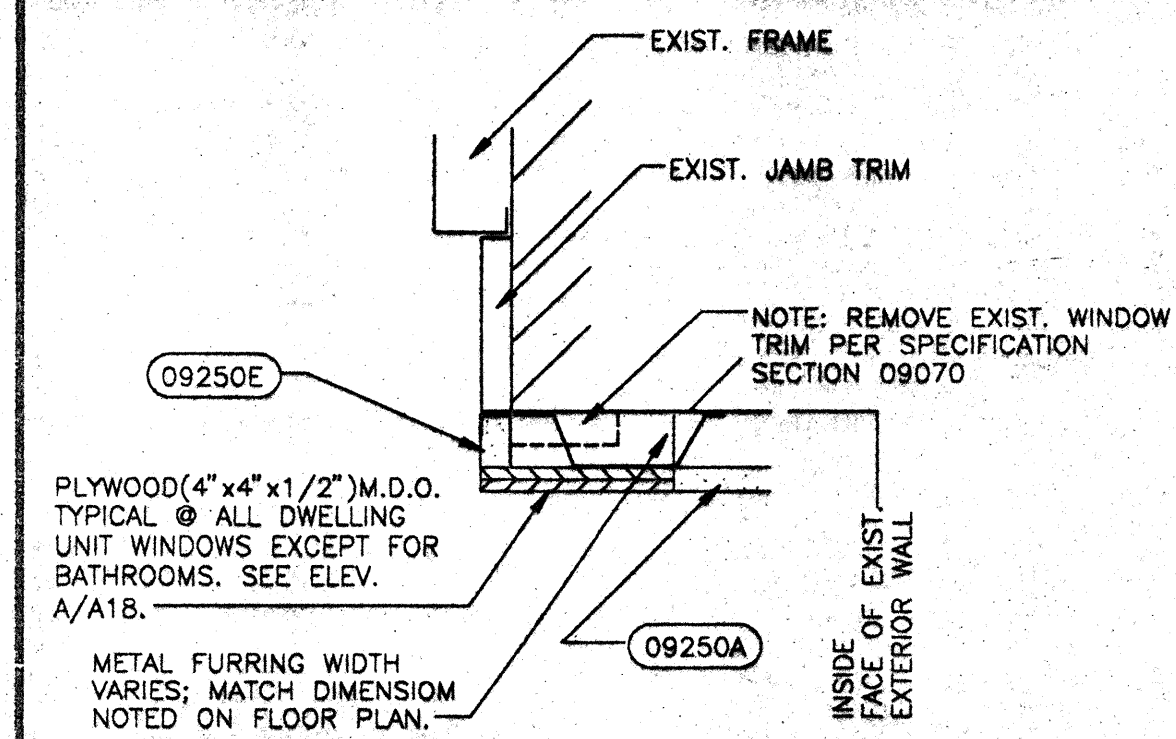
5 DETAIL @ DOOR FRAME  
A18 3'-1'-0"



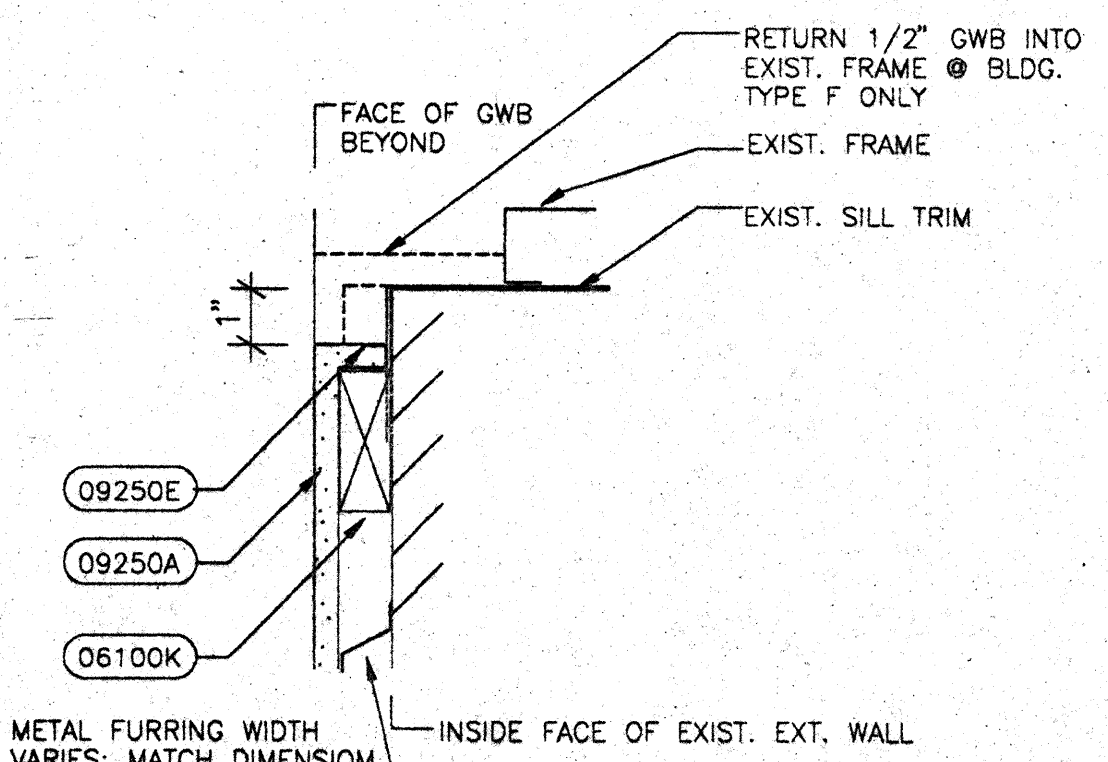
A ELEVATION @ CURTAIN ROD BLOCKING (TYPICAL)  
A18 NOT TO SCALE



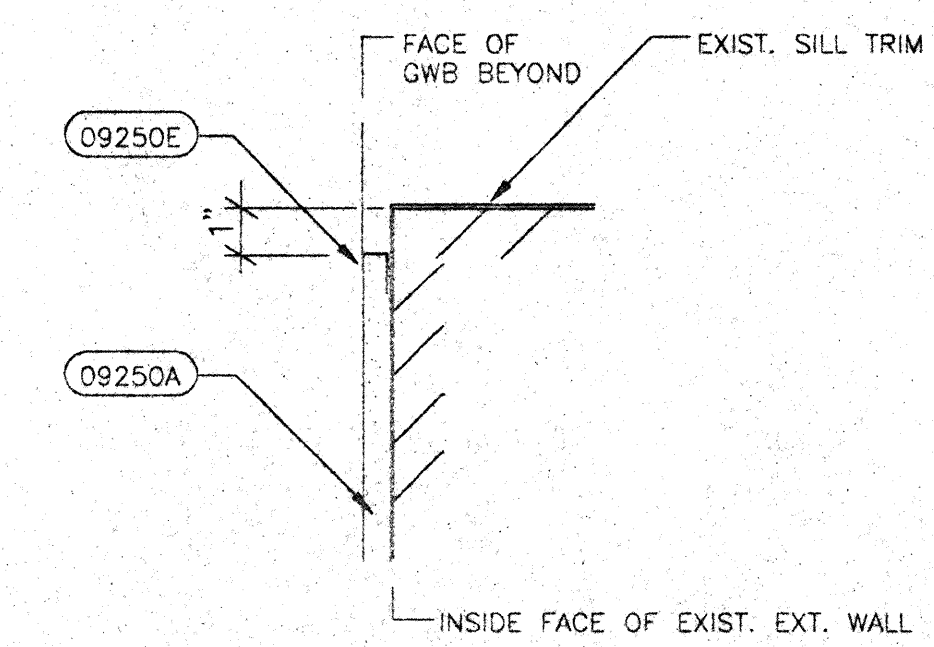
J5 DETAIL @ JAMB  
3'-1'-0"



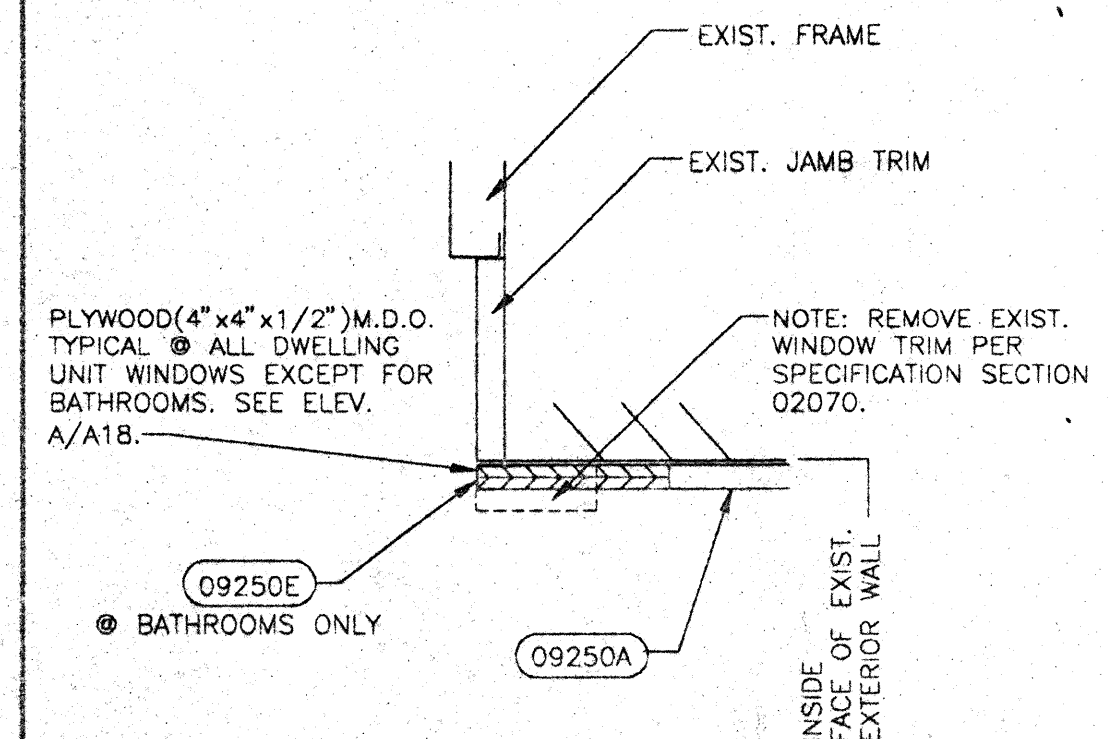
1 DETAIL @ WINDOW JAMB-FURRED WALL  
A18 3'-1'-0"



2 DETAIL @ WINDOW SILL-FURRED WALL  
A18 3'-1'-0"



3 DETAIL @ WINDOW SILL-NON-FURRED WALL  
A18 3'-1'-0"

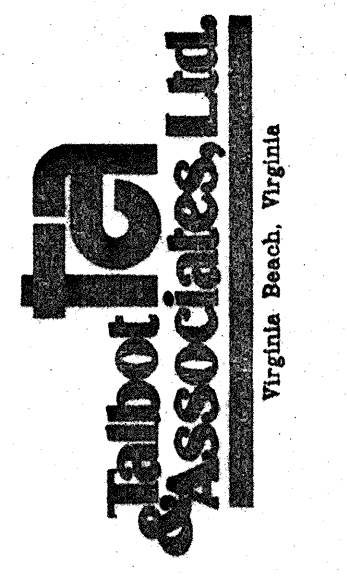


4 DETAIL @ WINDOW JAMB-NON-FURRED WALL  
A18 3'-1'-0"

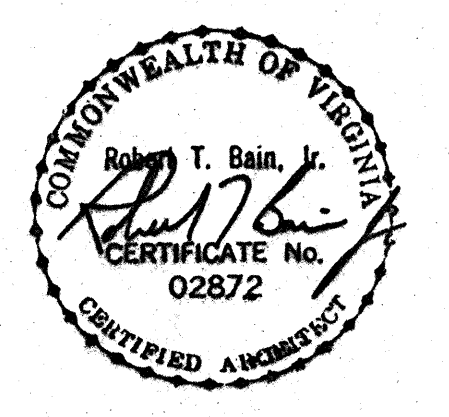
MATERIAL KEY LEGEND

- 2 - 5. NOT SHOWN
- 6: WOOD AND PLASTICS
- 06100A WOOD BEAM (2"x8") DOUBLE W/THRU BOLTS @ 1'-0" O.C.
- B WOOD BEAM (2"x12") DOUBLE
- C WOOD JOIST (2"x8")
- D WOOD LEDGER (2"x8")
- E WOOD PARTITION (2"x4")
- F 1"x6" COLLAR BOARD
- G BUILT-UP 2"x4" WOOD POST
- H JOIST HANGER FOR 4" THICK JOIST
- I JOIST HGR.-2" THICK JOIST
- J WOOD CANT
- K WOOD BLOCKING
- L EXTERIOR PLYWOOD SHEATHING
- 06200A WOOD KNEE WALL GAP
- B WOOD STAIR HANDRAIL
- C HANDRAIL MOUNTING BRACKET
- D CLOSET ROD AND SUPPORTS
- E NOT USED
- F PLYWOOD SHELVES (3/4") M.D.O.
- G PLYWOOD VERTICAL SUPPORT (3/4") M.D.O.
- H PLYWOOD SOFFIT FACE (1/2") M.D.O.
- I WOOD LEDGER (1"x3")
- J WOOD CHAIR RAIL (1"x4")
- K PLYWOOD ATTIC ACCESS DOOR (3/4") M.D.O.
- L PAN HEAD SCREW W/WASHER (3/16"x3/4")
- M WOOD VENEER STRIP
- N PLYWOOD (3/4")
- O NOT USED
- P WOOD TRIM (1 X CUT TO FIT)
- 06402A PLASTIC LAMINATE ON 3/4" PARTICLE BOARD
- B BASE CABINET
- C WALL CABINET
- D VENEER PLYWOOD
- E SOLID WOOD BLOCKING
- F SOLID WOOD FACE FRAME
- 7: THERMAL AND MOISTURE PROTECTION
- 07242A EXTERIOR FINISH SYSTEM/STUCCO
- B EXTERIOR FINISH SYSTEM/SMOOTH COAT
- C EXTERIOR FINISH SYSTEM/BRICK
- 07460A ALUMINUM FASCIA
- B VINYL SOFFIT W/"J" TRIM @ PERIMETER
- C ALUMINUM BREAK METAL TRIM
- 07530A SINGLE PLY MEMBRANE
- B MEMBRANE FLASHING
- C METAL GUTTER & DOWNSPOUT
- D E.P.D.M. RUBBER PIPE FLASHING W/ALUM. RING BASE (ATTACH W/ SST FASTENERS)
- E ADJUSTABLE SST CLAMP
- F GALVANIZED SHEET MTL. COVER W/ MTL. CLEAT
- G SCUPPER
- 07900A SEALANT
- B EXPANSION JOINT
- 8: DOORS AND WINDOWS
- 08110A STEEL DOOR FRAME
- B WALL ANCHORS (3 PER JAMB)
- C STEEL DOOR - SEE DOOR SCHEDULE
- D WOOD DOOR - SEE DOOR SCHEDULE
- 08390A SCREEN DOOR & FRAME
- 08520A ALUMINUM WINDOW (EQ. TO SERIES 400-U.S. ALUM. CO.)
- 08710A ALUMINUM THRESHOLD
- B CABINET HINGE
- C NOT USED
- D CABINET MAGNETIC CATCH
- E LOCK ASSEMBLY & STRIKE
- F PULL
- G EXPANSION ANCHOR
- 9: FINISHES
- 09250A GYPSUM WALLBOARD (1/2") MOISTURE RESISTANT
- B GYPSUM WALLBOARD (1/2") STANDARD
- C METAL HAT-FURRING (7/8") @ 16" O.C. MAX.
- D METAL FURRING (1 1/2") @ 16" O.C. MAX
- E EDGE TRIM, "J" MOLD
- F METAL STUD (2 1/2") @ 24" O.C. MAX
- G METAL STUD (3 5/8") @ 24" O.C. MAX
- H GYPSUM WALLBOARD (1/2") TYPE "X" FIRE CODE
- 09512A ACOUSTICAL CEILING SYSTEM-SEE FINISH SCHEDULE
- 09650A VINYL COMPOSITION TILE (3/32"x12"x12")
- B NOT USED
- C RESILIENT EDGE STRIP
- 10 - 15. NOT SHOWN

NOTE: FOR GENERAL NOTES SEE SHEET A1



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS NEWPORT NEWS, VA



Designed: CET  
 Drawn: TFN / RSJ  
 Checked: CMH  
 Scale: AS NOTED  
 Date: JANUARY 31, 1992  
 File No: 901003A-180T  
 Project No: 901003A

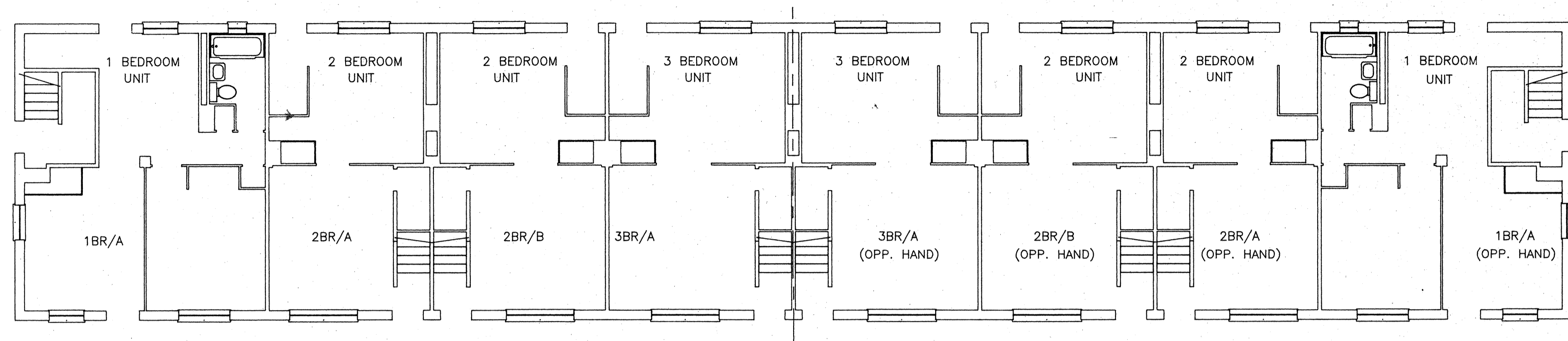
DOOR & WINDOW DETAILS

Sheet No: A18 of Sheets



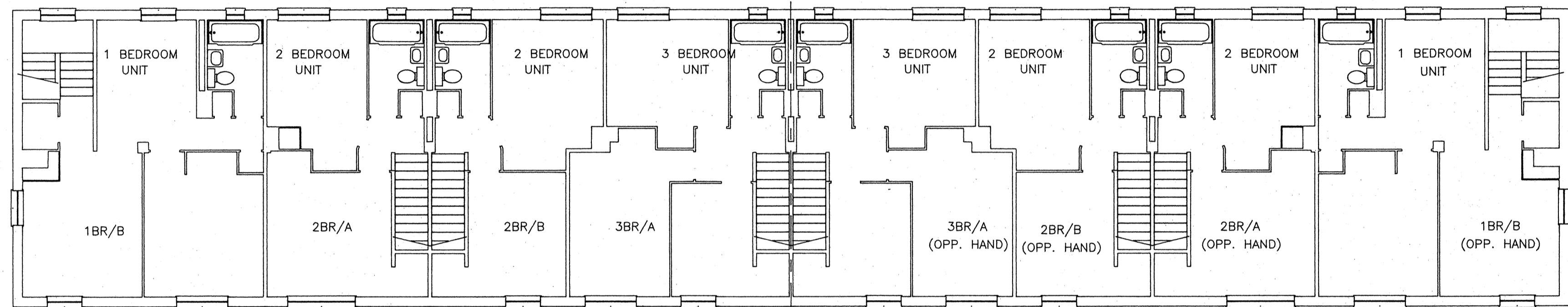






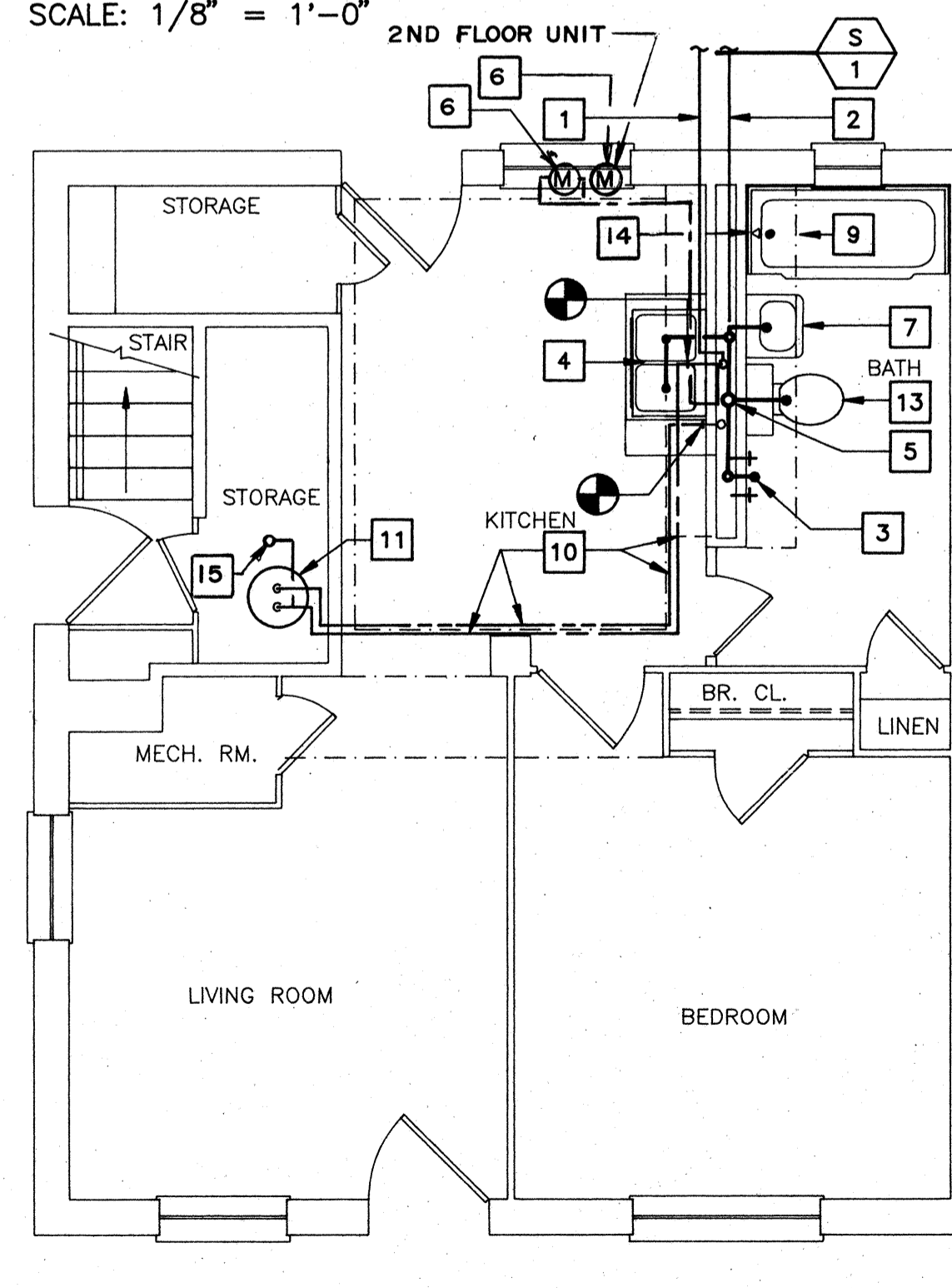
**FIRST FLOOR PLAN - BUILDING "B"**

SCALE: 1/8" = 1'-0"



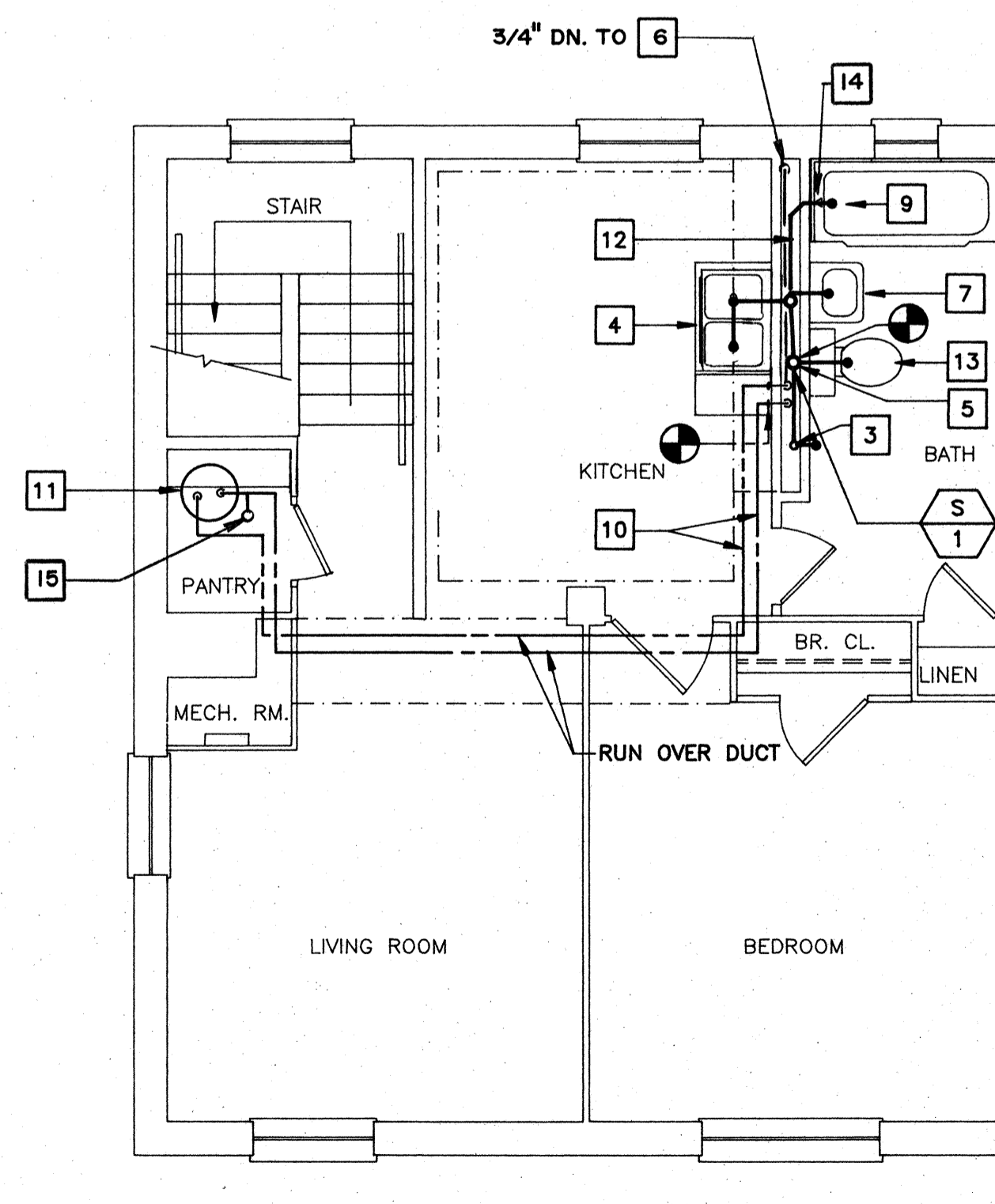
**SECOND FLOOR PLAN - BUILDING "B"**

SCALE: 1/8" = 1'-0"



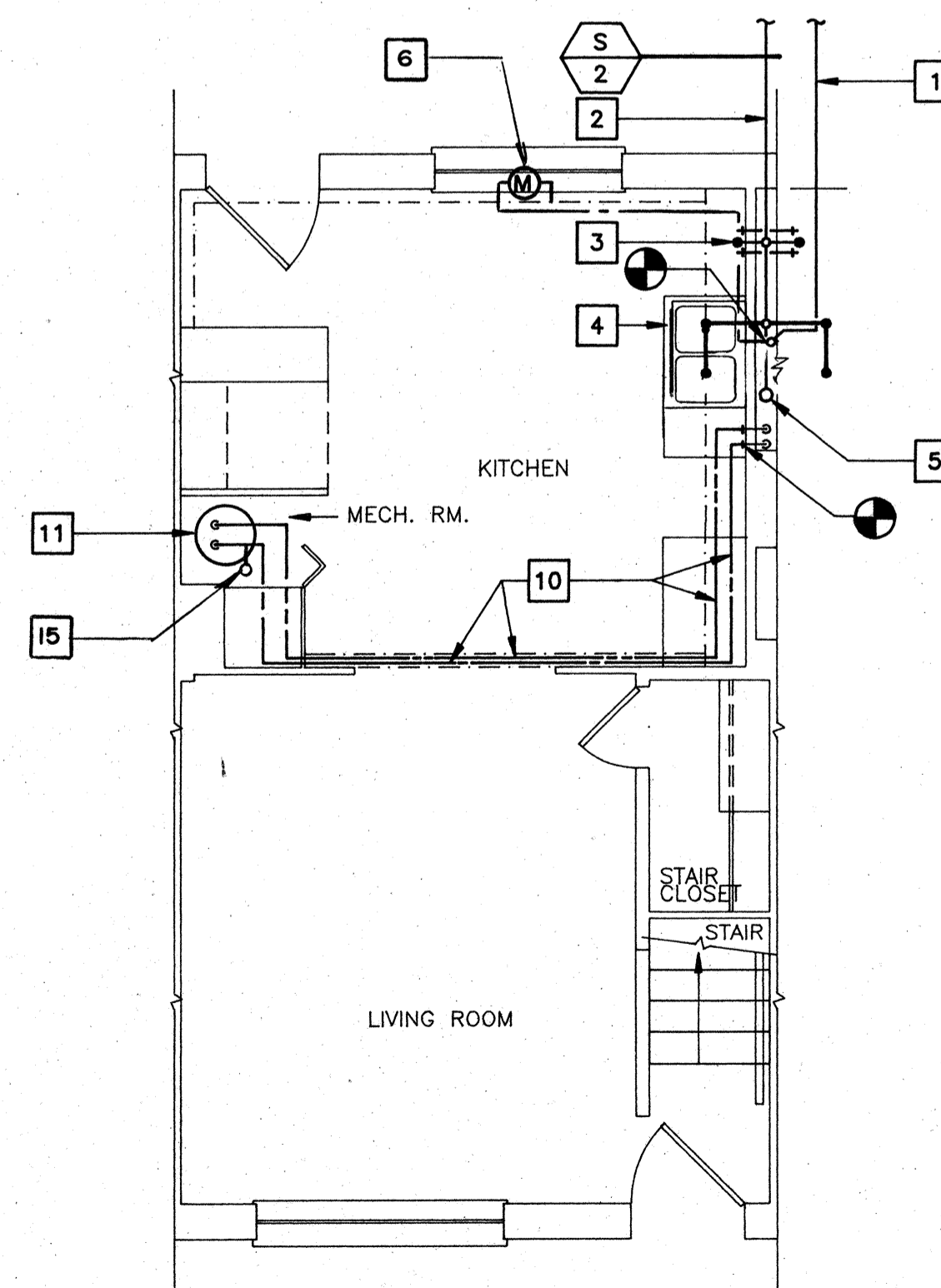
**1ST FL. - UNIT 1BR/A**

SCALE: 1/4" = 1'-0"



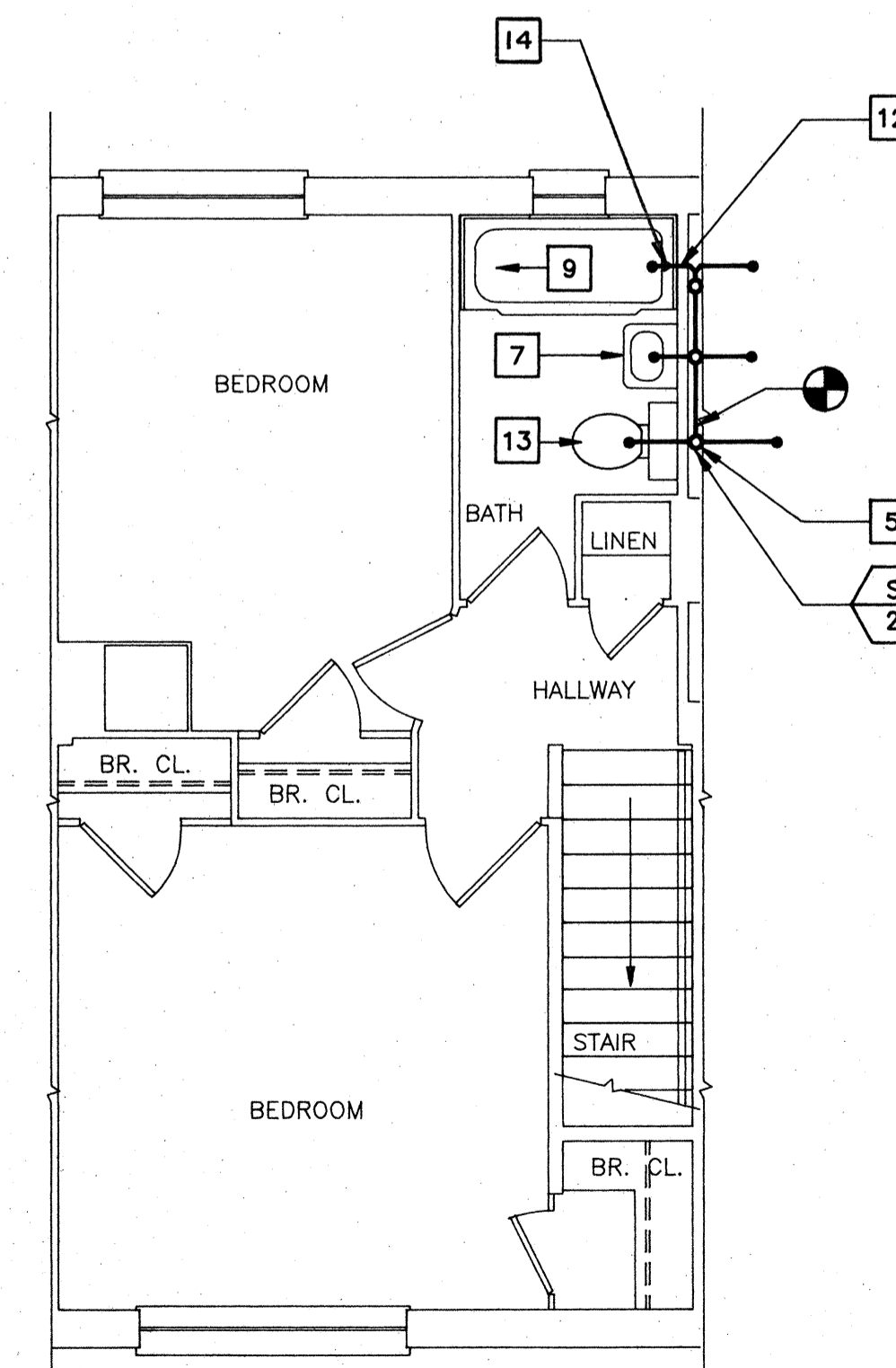
**2ND FL. - UNIT 1BR/B**

SCALE: 1/4" = 1'-0"



**1ST FL. - UNIT 2BR/A**

SCALE: 1/4" = 1'-0"



**2ND FL. - UNIT 2BR/A**

SCALE: 1/4" = 1'-0"

**NEW WORK NOTES**

1. EXISTING COLD WATER SERVICE.
2. EXISTING UNDERGROUND SANITARY SEWER.
3. PROVIDE RECESSED WASHER CONNECTION BOX. CONNECT 2" DRAIN ROUGH IN TO EXISTING PIPING IN CHASE. CONNECT HOT AND COLD WATER PIPING TO EXISTING PIPING IN CHASE. SEE WASTE RISER DIAGRAM, SHEET P6.
4. RE-INSTALL EXISTING 2-COMPARTMENT KITCHEN SINK TO NEW COUNTERTOP WITH NEW SCREW AND CLIPS. PROVIDE NEW P-TRAP, ANGLE SUPPLIES DRAIN ROUGH-IN AND MAKE ALL FINAL CONNECTIONS TO WATER AND DRAIN CONNECTIONS IN CHASE. SEE WASTE RISER DIAGRAM, SHEET P6.
5. EXISTING 3" WASTE STACK.
6. PROVIDE 3/4" METER IN ACCESS PANEL. SEE ARCHITECTURAL DRAWINGS FOR LOCATION. SEE WATER RISER DIAGRAM SHEET P-10. EXTEND PIPING FROM METER TO EXISTING PIPING AS INDICATED.
7. RE-INSTALL EXISTING WALL-HUNG LAVATORY AND HANGER BRACKET. PROVIDE P-TRAP, ANGLE SUPPLIES, DRAIN ROUGH-IN, AND MAKE FINAL CONNECTION TO EXISTING WASTE AND DRAIN CONNECTIONS IN CHASE. SEE WASTE RISER DIAGRAM, SHEET P6.
8. NOT USED.
9. EXISTING BATH TUB.
10. PROVIDE NEW 3/4" HOT WATER AND COLD WATER PIPING FROM WATER HEATER TO POINTS INDICATED. RUN PIPING IN NEW SOFFIT SPACE.
11. PROVIDE VALVES AND FINAL CONNECTIONS TO WATER HEATER/HEATING UNIT AS INDICATED ON MECHANICAL DRAWINGS.
12. PROVIDE ROUGH-IN PIPING AND CONNECT TO EXISTING TUB WASTE AND EXTEND PIPING AS INDICATED. SEE WASTE RISER DIAGRAM, SHEET P6.
13. RE-INSTALL WATER CLOSET AT COMPLETION OF NEW FLOOR FINISH WORK. PROVIDE WAX RING AND RE-SET TO EXISTING CLOSET FLANGE AND WATER SUPPLY.
14. PROVIDE TUB/SHOWER VALVE, FILL SPOUT, SHOWER ARM AND SHOWER HEAD. CONNECT TO EXISTING WATER ROUGH-IN. SEE FIXTURE CONNECTION SCHEDULE (P-11).
15. PROVIDE 1/2" UPRIGHT SPRINKLER HEAD, 3/4" CHECK VALVE AND 3/4" PIPING FROM SPRINKLER HEAD TO EXISTING COLD WATER PIPING. INSTALL IN ACCORDANCE WITH NFPA 13.

**NOTES THIS SHEET**

1. FOR LEGEND, SEE SHEET P4.
2. FOR GENERAL NOTES, SEE SHEET P4.
3. FOR FIXTURE CONNECTION SCHEDULE, SEE SHEET P6.
4. FOR WATER HEATER/HEATING UNIT DETAIL, SEE SHEET M19.
5. FOR WASTE RISER DIAGRAM AND WATER RISER DIAGRAMS, SEE SHEET P6.

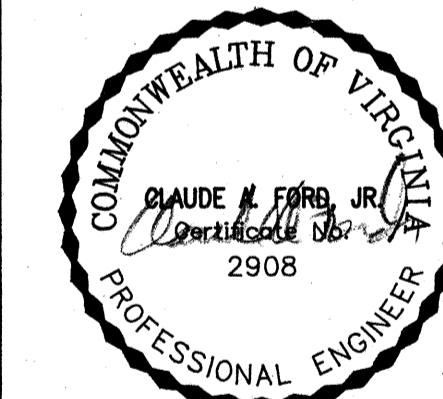


H.D. MANESH & ASSOC.  
Professional Engineers  
P.E. CONSULTING ENGINEERS



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

NEWPORT NEWS, VA

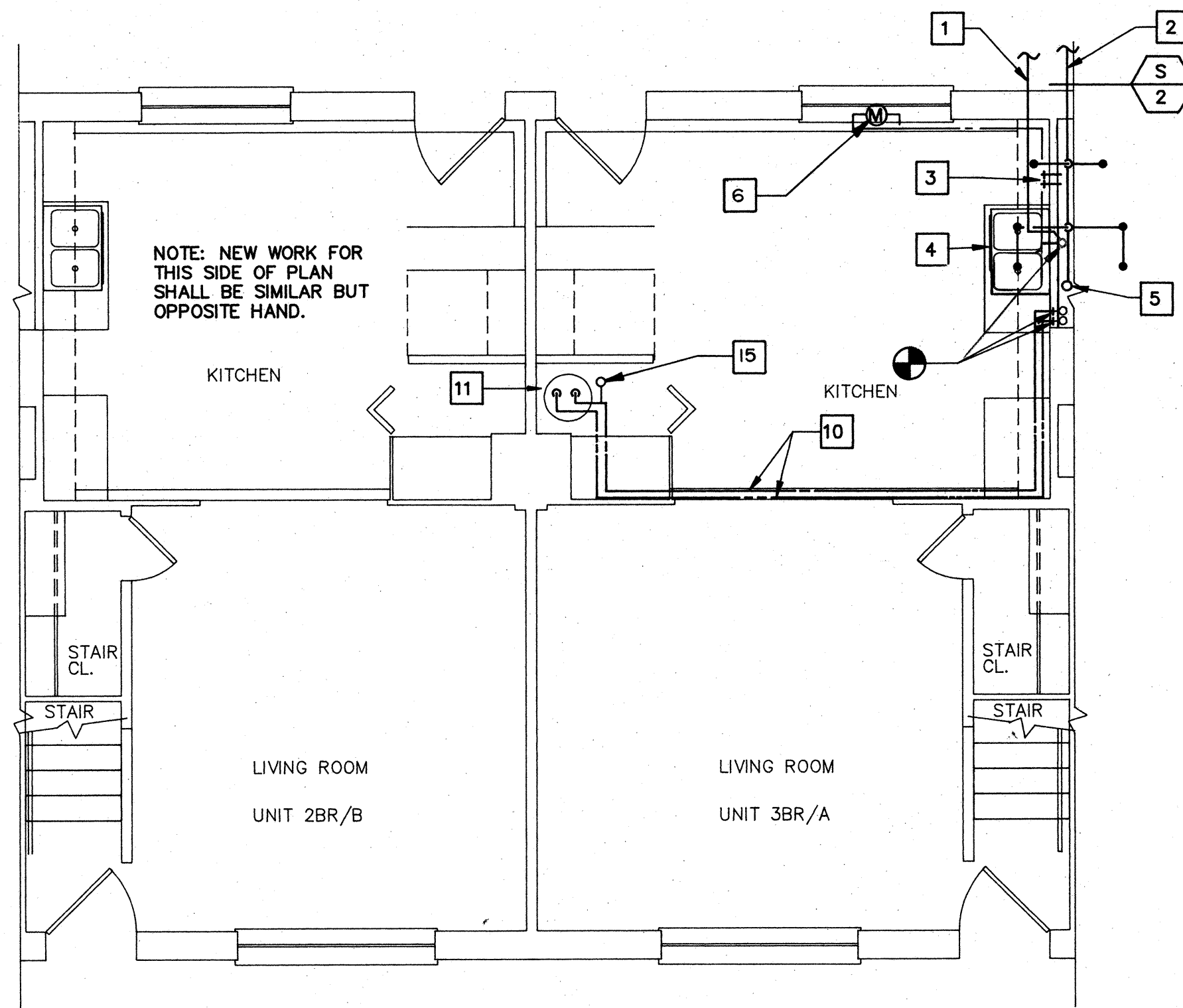


Designed: T.L.M.  
 Drawn: D.P.M.  
 Checked: C.A.F.  
 Scale: AS NOTED  
 Date: JANUARY 31, 1992  
 File No:  
 Project No: 90006

**BUILDING TYPE B - FLOOR PLANS (NEW WORK)**

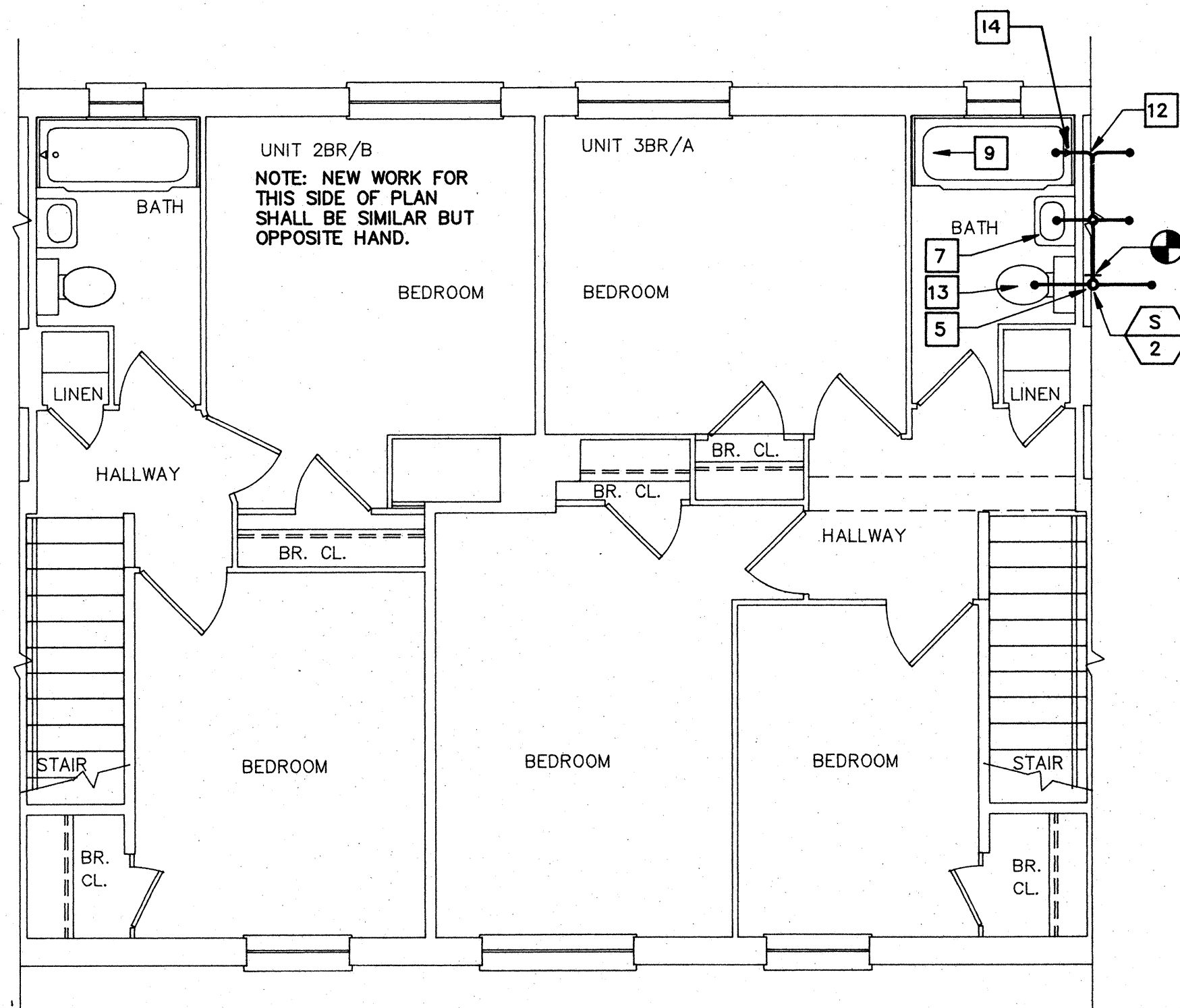
Sheet No: **P5**  
 of Sheets





**1ST FL. - UNIT 2BR/B & 3BR/A**

SCALE: 1/4" = 1'-0"



**2ND FL. - UNIT 2BR/B & 3BR/A**

SCALE: 1/4" = 1'-0"

| PLUMBING FIXTURE CONNECTION SCHEDULE |  |      |      |        |   |
|--------------------------------------|--|------|------|--------|---|
| MARK                                 | FIXTURE                                | H.W. | C.W. | W      | REMARKS   |
| P-1                                  | WATER CLOSET-18" HIGH SEE NOTE 3 BELOW | —    | 1/2" | 4"     | MANSFIELD 118-35; BENEKE 523 SEAT; BRIDGEPORT 2032 SUPPLY                             |
| P-2                                  | LAVATORY-WALL MOUNTED SEE NOTE 3 BELOW | 1/2" | 1/2" | 1 1/2" | SUPPLY MANSFIELD 1917C; DELTA 520 TPM FAUCET; BRIDGEPORT 2032 SUPPLIES; AND 59 P-TRAP |
| P-3                                  | BATHTUB - 5'-0"                        | 1/2" | 1/2" | 1 1/2" | MANSFIELD T-500; SWAN UB-58 TUBWALL DELTA 1693 SHOWER VALVE AND HANDSET               |
| P-4                                  | WASHER CONNECTION BOX                  | 1/2" | 1/2" | 2"     | CP INDUSTRIES 4312-P SEE NOTE 5 BELOW   |
| P-5                                  | WATER CLOSET-14" HIGH                  | —    | 1/2" | 4"     | MANSFIELD 128-B; BENEKE 523 SEAT; BRIDGEPORT 2032 SUPPLY                              |
| P-6                                  | URINAL                                 | —    | 3/4" | 2"     | MANSFIELD 403; SLOAN 186 FLUSH VALVE  |
| P-7                                  | LAVATORY-COUNTER MOUNTED               | 1/2" | 1/2" | 1 1/2" | MANSFIELD 0L-2017-SR; DELTA 523 HDF FAUCET; BRIDGEPORT 2032 SUPPLIES AND 59 P-TRAP    |
| P-8                                  | LAVATORY-COUNTER MOUNTED               | 1/2" | 1/2" | 1 1/2" | SAME AS P-7; SEE NOTE 3 BELOW   |
| P-9                                  | MOP RECEPTOR                           | 3/4" | 3/4" | 3"     | FIAT MSB-2424; FIAT 830AA FAUCET  |
| P-10                                 | WATER COOLER                           | —    | 1/2" | 1 1/2" | OASIS OCP3M IN STANDARD FINISH; SEE NOTE 3 BELOW                                      |
| P-11                                 | SHOWER VALVE                           | 1/2" | 1/2" | —      | DELTA 641 VALVE, DIVERTER TUB SPOUT, SHOWER ARM & SHOWER HEAD                         |

**NOTES:**

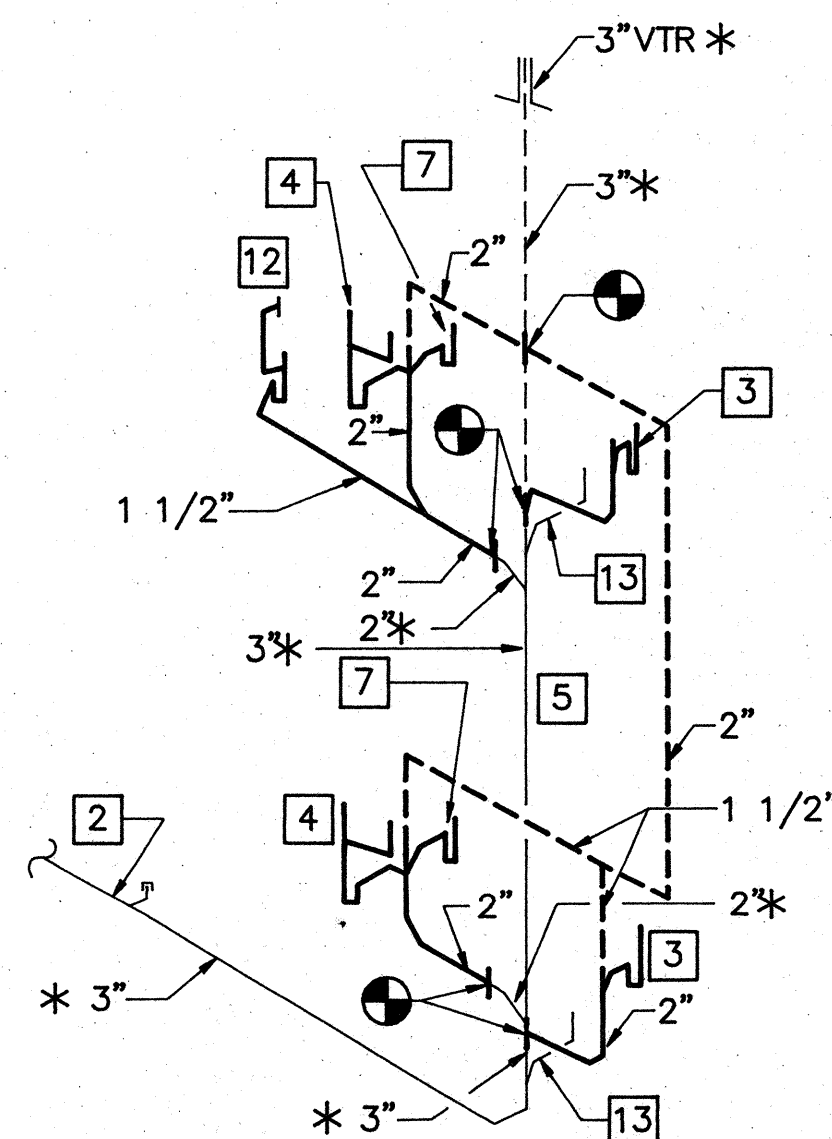
- COLOR OF FIXTURES TO BE WHITE UNLESS OTHERWISE NOTED.
- SUPPLIES AND TRAPS SHALL BE CHROMIUM PLATED. LAVATORY TAILPIECE SHALL BE 16 GA. BRASS.
- INSTALL FIXTURE IN ACCORDANCE WITH ANSI A117 HANDICAP ACCESSIBILITY REQUIREMENTS
- BATHTUB IN D2 UNITS SHALL BE OUTFITTED WITH SWAN WTK-1 FIBERGLASS WINDOW TRIM KIT. SEE SHEET P-11.
- PROVIDE 2" SANITARY TEE, CLEANOUT PLUG AND FLUSH STAINLESS STEEL COVER PLATE IN DRAIN PIPING BELOW SANITARY TEE CONNECTING WASHER CONNECTION BOX.

**NEW WORK NOTES**

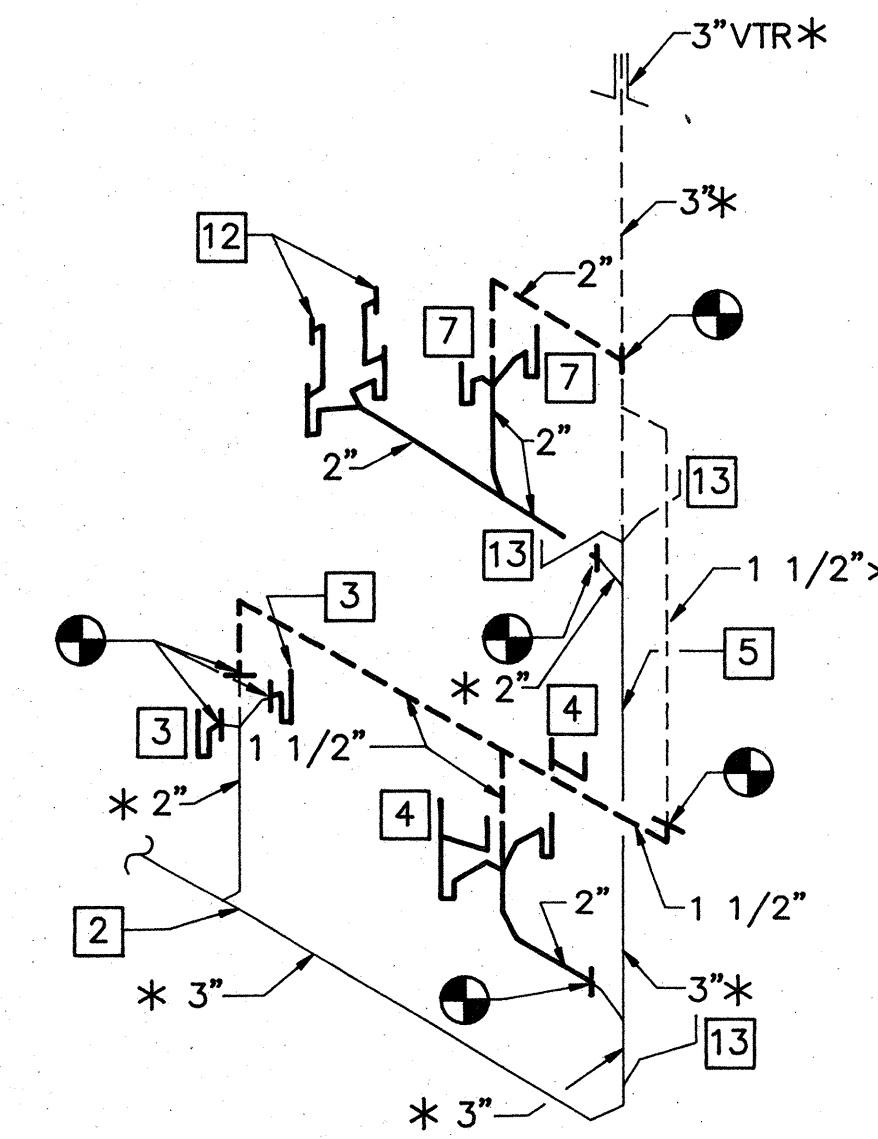
- EXISTING COLD WATER SERVICE.
- EXISTING UNDERGROUND SANITARY SEWER.
- PROVIDE RECESSED WASHER CONNECTION BOX. CONNECT 2" DRAIN ROUGH IN TO EXISTING PIPING IN CHASE. CONNECT HOT AND COLD WATER PIPING TO EXISTING PIPING IN CHASE. SEE WASTE RISER DIAGRAM, THIS SHEET.
- RE-INSTALL EXISTING 2-COMPARTMENT KITCHEN SINK TO NEW COUNTERTOP WITH NEW SCREW AND CLIPS. PROVIDE NEW P-TRAP, ANGLE SUPPLIES DRAIN ROUGH-IN AND MAKE ALL FINAL CONNECTIONS TO WATER AND DRAIN CONNECTIONS IN CHASE. SEE WASTE RISER DIAGRAM, SHEET P10.
- EXISTING 3" WASTE STACK.
- PROVIDE 3/4" METER IN ACCESS PANEL. SEE ARCHITECTURAL DRAWINGS FOR LOCATION. SEE WATER RISER DIAGRAM SHEET P-10. EXTEND PIPING FROM METER TO EXISTING PIPING AS INDICATED.
- RE-INSTALL EXISTING WALL-HUNG LAVATORY AND HANGER BRACKET. PROVIDE P-TRAP, ANGLE SUPPLIES, DRAIN ROUGH-IN, AND MAKE FINAL CONNECTION TO EXISTING WASTE AND DRAIN CONNECTIONS IN CHASE. SEE WASTE RISER DIAGRAM, THIS SHEET.
- NOT USED.
- EXISTING BATH TUB.
- PROVIDE NEW 3/4" HOT WATER AND COLD WATER PIPING FROM WATER HEATER TO POINTS INDICATED. RUN PIPING IN NEW SOFFIT SPACE.
- PROVIDE VALVES AND FINAL CONNECTIONS TO WATER HEATER/HEATING UNIT AS INDICATED ON MECHANICAL DRAWINGS.
- PROVIDE ROUGH-IN PIPING AND CONNECT TO EXISTING TUB WASTE AND EXTEND PIPING AS INDICATED. SEE WASTE RISER DIAGRAM, THIS SHEET.
- RE-INSTALL WATER CLOSET AT COMPLETION OF NEW FLOOR FINISH WORK. PROVIDE WAX RING AND RE-SET TO EXISTING CLOSET FLANGE AND WATER SUPPLY.
- PROVIDE TUB/SHOWER VALVE, FILL SPOUT, SHOWER ARM AND SHOWER HEAD. CONNECT TO EXISTING WATER ROUGH-IN. SEE FIXTURE CONNECTION SCHEDULE (P-11).
- PROVIDE 1/2" UPRIGHT SPRINKLER HEAD, 3/4" CHECK VALVE AND 3/4" PIPING FROM SPRINKLER HEAD TO EXISTING COLD WATER PIPING. INSTALL IN ACCORDANCE WITH NFPA 13.

**NOTES THIS SHEET**

- FOR LEGEND, SEE SHEET P4.
- FOR GENERAL NOTES, SEE SHEET P4.
- FOR WATER HEATER/HEATING UNIT DETAIL, SEE SHEET M19.



**WASTE RISER DIAGRAM**  
NOT TO SCALE

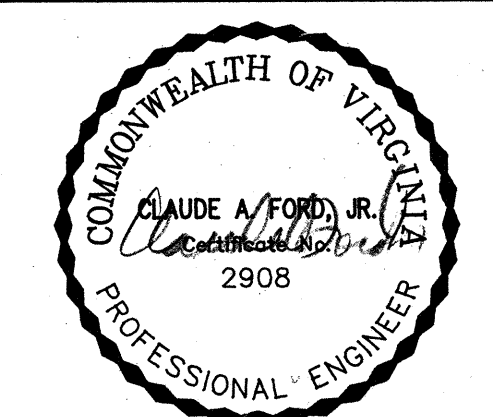


**WASTE RISER DIAGRAM**  
NOT TO SCALE



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

NEWPORT NEWS, VA

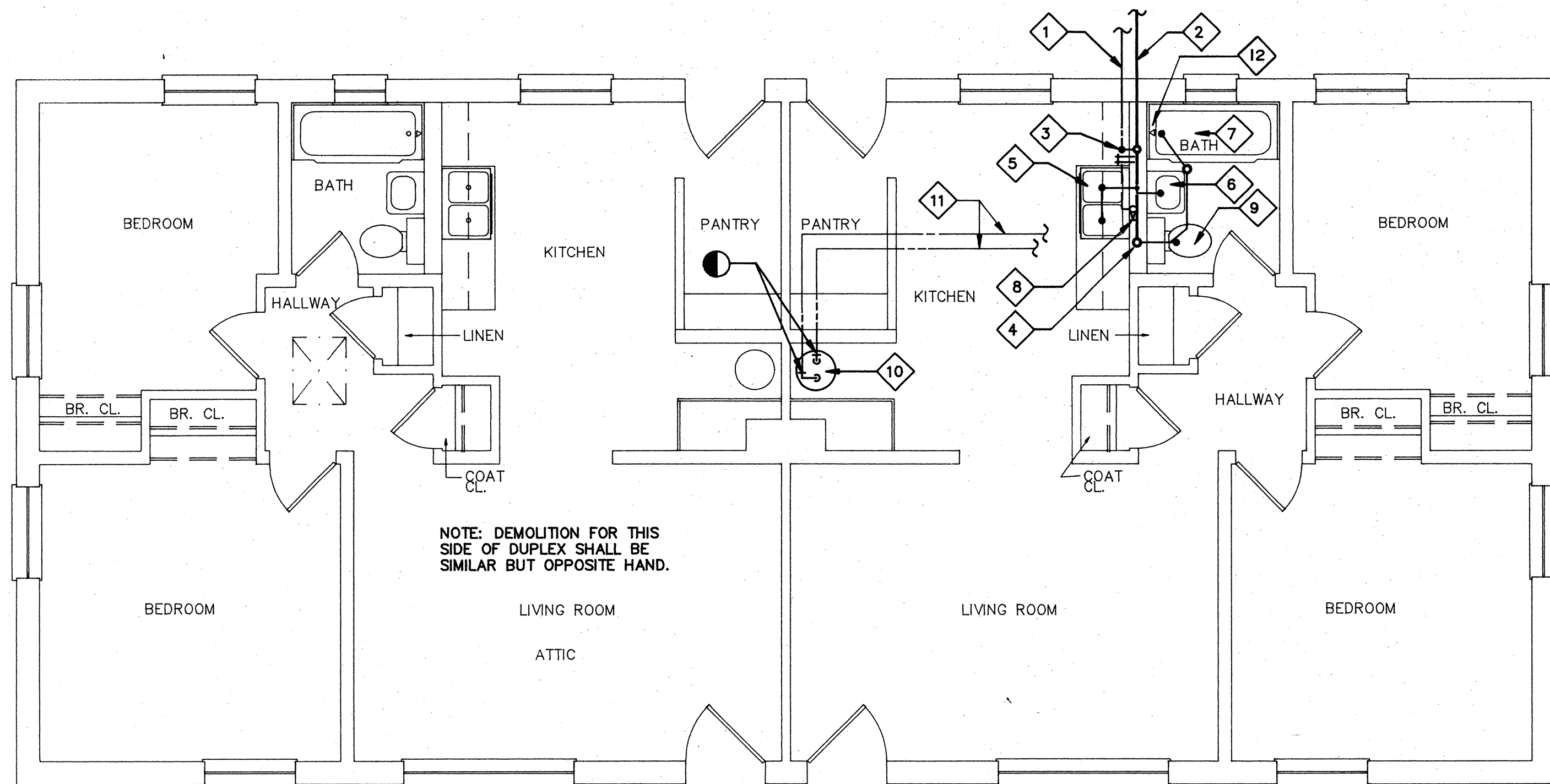


Designed: T.L.M.  
 Drawn: D.P.M.  
 Checked: C.A.F.  
 Scale: AS NOTED  
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 File No:  
 Project No: 90006

BUILDING TYPE B - FLOOR PLANS (NEW WORK)

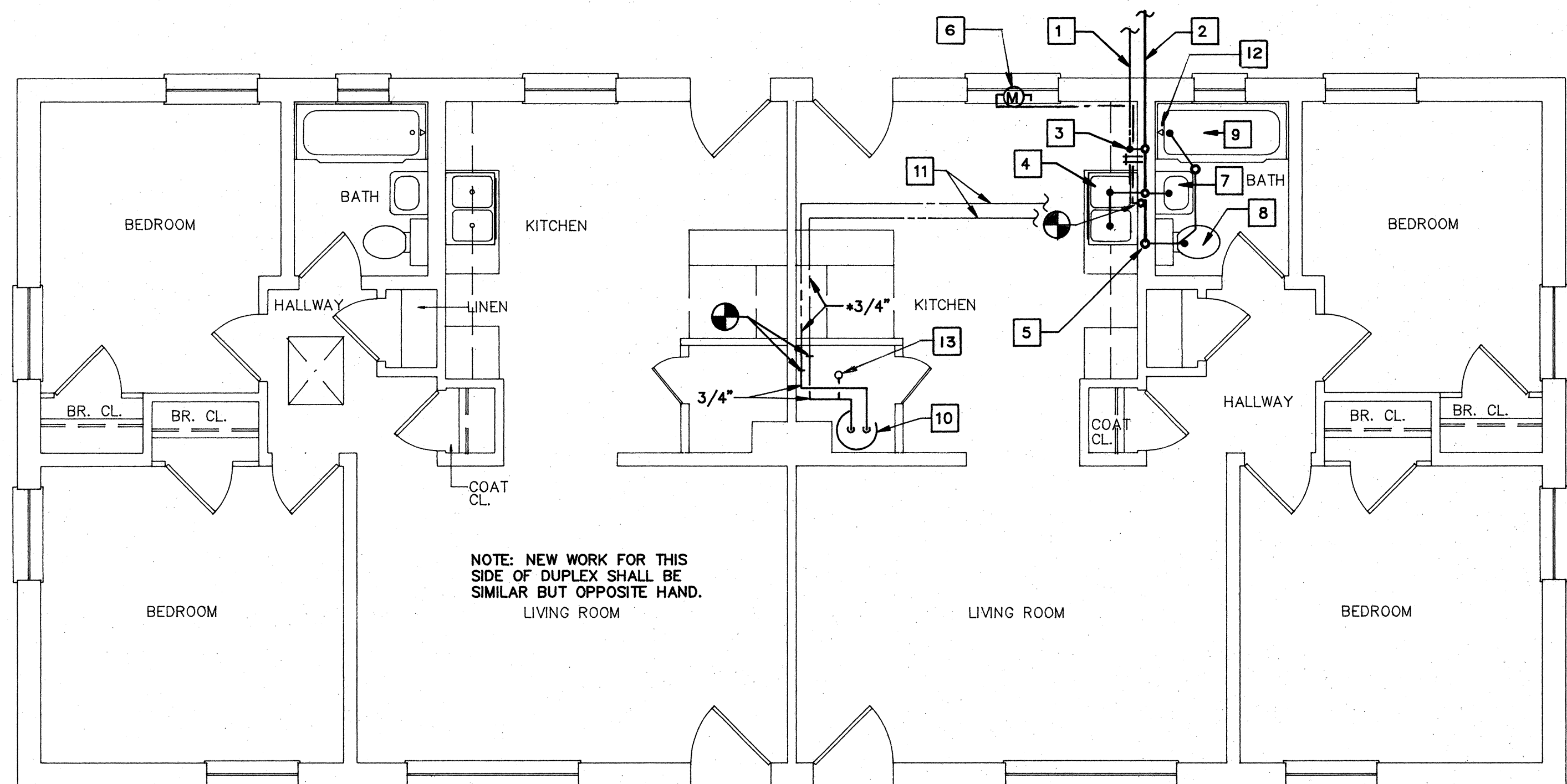
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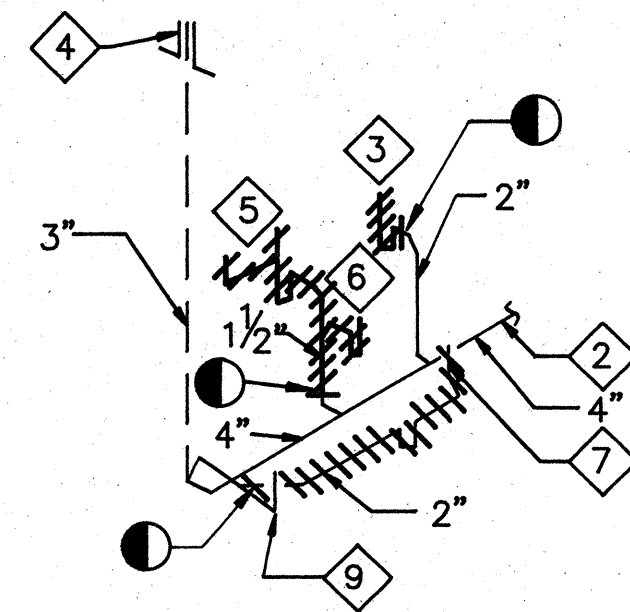
**FLOOR PLAN - BUILDING D2 (DEMOLITION)**

SCALE: 1/4" = 1'-0"



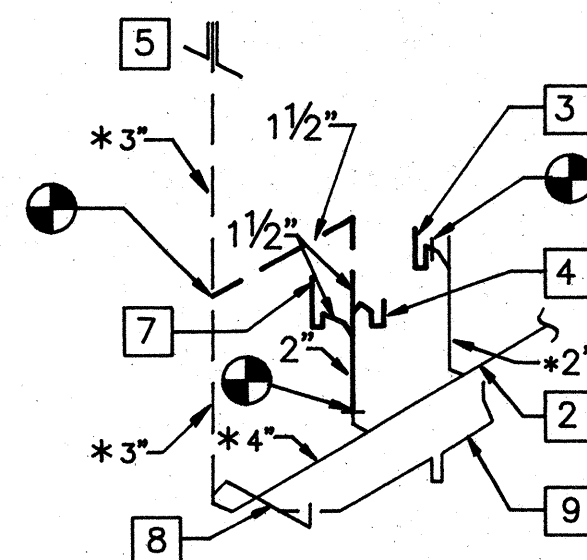
**FLOOR PLAN - BUILDING D2 (NEW WORK)**

SCALE: 1/4" = 1'-0"



**DEMOLITION WASTE RISER DIAGRAM**

NOT TO SCALE (APPLIES TO D2 & D3 PLANS)



**WASTE RISER DIAGRAM**

NOT TO SCALE (APPLIES TO D2 & D3 PLANS)

**DEMOLITION NOTES**

1. 3/4" COLD WATER SERVICE TO REMAIN.
2. 4" UNDERGROUND SANITARY SEWER TO REMAIN.
3. REMOVE HOT AND COLD WATER HOSE BIBBS AND STANDPIPE SERVING CLOTHES WASHER. TEMPORARILY CAP WATER AND DRAIN PIPING INSIDE WALL.
4. 3" VENT STACK TO REMAIN.
5. REMOVE 2-COMPARTMENT KITCHEN SINK FROM CABINET. STORE FOR RE-USE. REMOVE WASTE, P-TRAP, SUPPLIES, SHUT-OFF AND GALVANIZED STEEL DRAIN ROUGH-IN PIPING TO CAST IRON. SEE WASTE DEMOLITION DIAGRAM THIS SHEET.
6. REMOVE WALL-MOUNTED LAVATORY, HANGER BRACKET, TRAP, SUPPLIES AND GALVANIZED STEEL DRAIN ROUGH-IN PIPING TO CAST IRON. SEE WASTE DEMOLITION DIAGRAM THIS SHEET. STORE LAVATORY FOR RE-USE.
7. PLUMBING FIXTURE SHALL REMAIN.
8. REMOVE 3/4" VALVE IN RISER UNDER SINK AND CAP TEMPORARILY. SEE NEW WORK PLAN FOR ADDITIONAL WORK.
9. REMOVE FLOOR MOUNTED FLUSH TANK WATER CLOSET TO ALLOW FOR NEW ARCHITECTURAL FLOOR FINISH. STORE FIXTURE FOR RE-USE. CLEAN WAX FROM FLOOR FLANGE. CAP WASTE PIPE TEMPORARILY.
10. REMOVE GAS FIRED WATER HEATER. SEE MECHANICAL DRAWINGS FOR GAS PIPE DEMOLITION. CAP HOT WATER AND COLD WATER PIPING TEMPORARILY FOR CONNECTION OF NEW WORK.
11. REMOVE ASBESTOS PIPE INSULATION FROM EXISTING WATER SUPPLY PIPING IN ATTIC AND KITCHEN PER SPECIFICATION SECTION 02080.
12. REMOVE TUB VALVE, SPOUT, SHOWER ARM AND SHOWER HEAD.

**NEW WORK NOTES**

1. EXISTING 3/4" COLD WATER SERVICE.
2. EXISTING UNDERGROUND SANITARY SEWER.
3. PROVIDE RECESSED WASHER CONNECTION BOX. CONNECT 2" DRAIN TO EXISTING CONNECTION IN WALL. CONNECT HOT AND COLD WATER PIPING TO EXISTING CONNECTIONS IN WALL. SEE FIXTURE CONNECTION SCHEDULE (P-4).
4. RE-INSTALL EXISTING 2-COMPARTMENT KITCHEN SINK TO NEW COUNTERTOP WITH NEW SCREWS AND CLIPS. PROVIDE P-TRAP, ANGLE SUPPLIES, DRAIN ROUGH-IN AND MAKE FINAL CONNECTIONS TO EXISTING WATER AND DRAIN CONNECTIONS IN CHASE. SEE WASTE RISER DIAGRAM THIS SHEET.
5. EXISTING 3" VENT THRU ROOF.
6. PROVIDE 3/4" METER IN ACCESS PANEL. SEE ARCHITECTURAL DRAWINGS FOR LOCATION. SEE WATER RISER DIAGRAM SHEET P-10. EXTEND PIPING FROM METER TO EXISTING PIPING AS INDICATED.
7. RE-INSTALL EXISTING WALL-HUNG LAVATORY AND HANGER BRACKET. PROVIDE P-TRAP, ANGLE SUPPLIES, DRAIN ROUGH-IN, AND MAKE FINAL CONNECTIONS TO EXISTING WATER AND DRAIN CONNECTIONS IN CHASE. SEE WASTE RISER DIAGRAM THIS SHEET.
8. RE-INSTALL WATER CLOSET AT COMPLETION OF NEW FLOOR FINISH WORK. PROVIDE WAX RING AND RE-SET TO EXISTING CLOSET FLANGE AND WATER SUPPLY.
9. EXISTING BATHTUB.
10. PROVIDE VALVES AND FINAL CONNECTIONS TO WATER HEATER/HEATING UNIT AS INDICATED ON MECHANICAL DRAWINGS.
11. PROVIDE PIPE INSULATION FROM WATER HEATER CONNECTION TO KITCHEN AND BATH FIXTURE CONNECTIONS.
12. PROVIDE TUB/SHOWER VALVE, FILL SPOUT, SHOWER ARM AND SHOWER HEAD. CONNECT TO EXISTING WATER ROUGH-IN. SEE FIXTURE CONNECTION SCHEDULE (P-11).
13. PROVIDE 1/2" UPRIGHT SPRINKLER HEAD, 3/4" CHECK VALVE AND 3/4" PIPING FROM SPRINKLER HEAD TO EXISTING COLD WATER PIPING. INSTALL IN ACCORDANCE WITH NFPA 13.

**NOTES THIS SHEET**

1. FOR LEGEND, SEE SHEET P4.
2. FOR GENERAL NOTES, SEE SHEET P4.
3. FOR FIXTURE CONNECTION SCHEDULE, SEE SHEET P6.
4. FOR WATER HEATER/HEATING UNIT DETAIL, SEE SHEET M19.

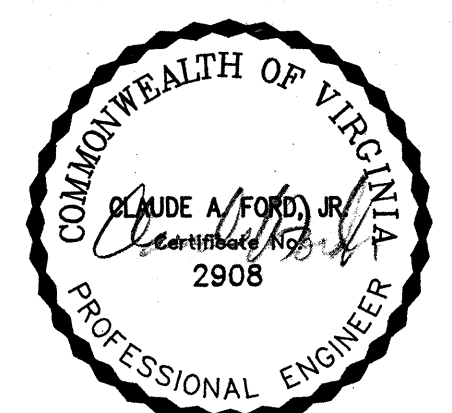
**ABATEMENT NOTE**

PLUMBING PIPE INSULATION HAS BEEN TESTED AND IS KNOWN TO CONTAIN ASBESTOS MATERIALS. ALL PIPES INDICATED FOR REMOVAL SHALL BE ABATED OF ASBESTOS MATERIAL IN ACCORDANCE WITH SPECIFICATION SECTION 02080 BY THE ABATEMENT CONTRACTOR.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

NEWPORT NEWS, VA



Designed: T.L.M.

Drawn: D.P.M.

Checked: C.A.F.

Scale: AS NOTED

Date: JANUARY 31, 1992

File No:

Project No: 90006

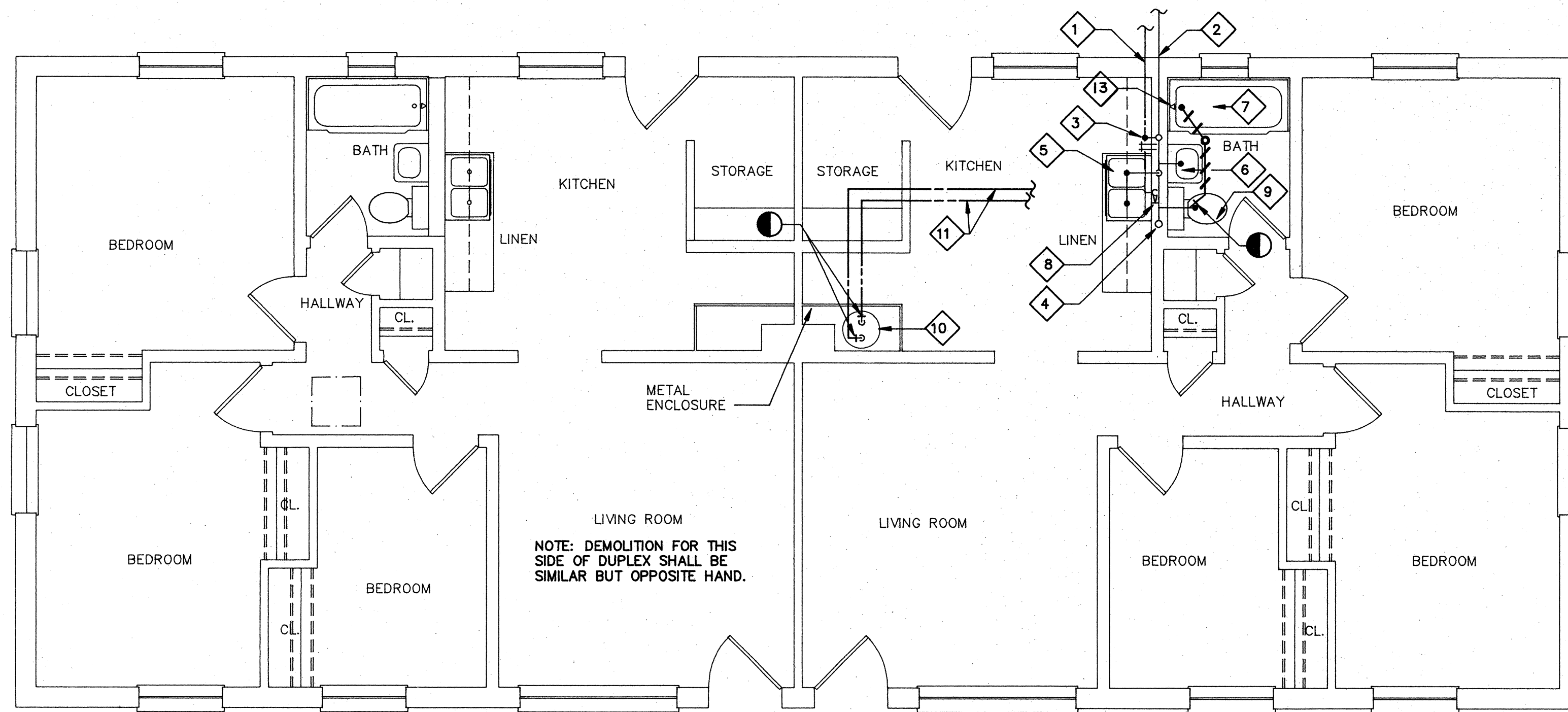
BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK)

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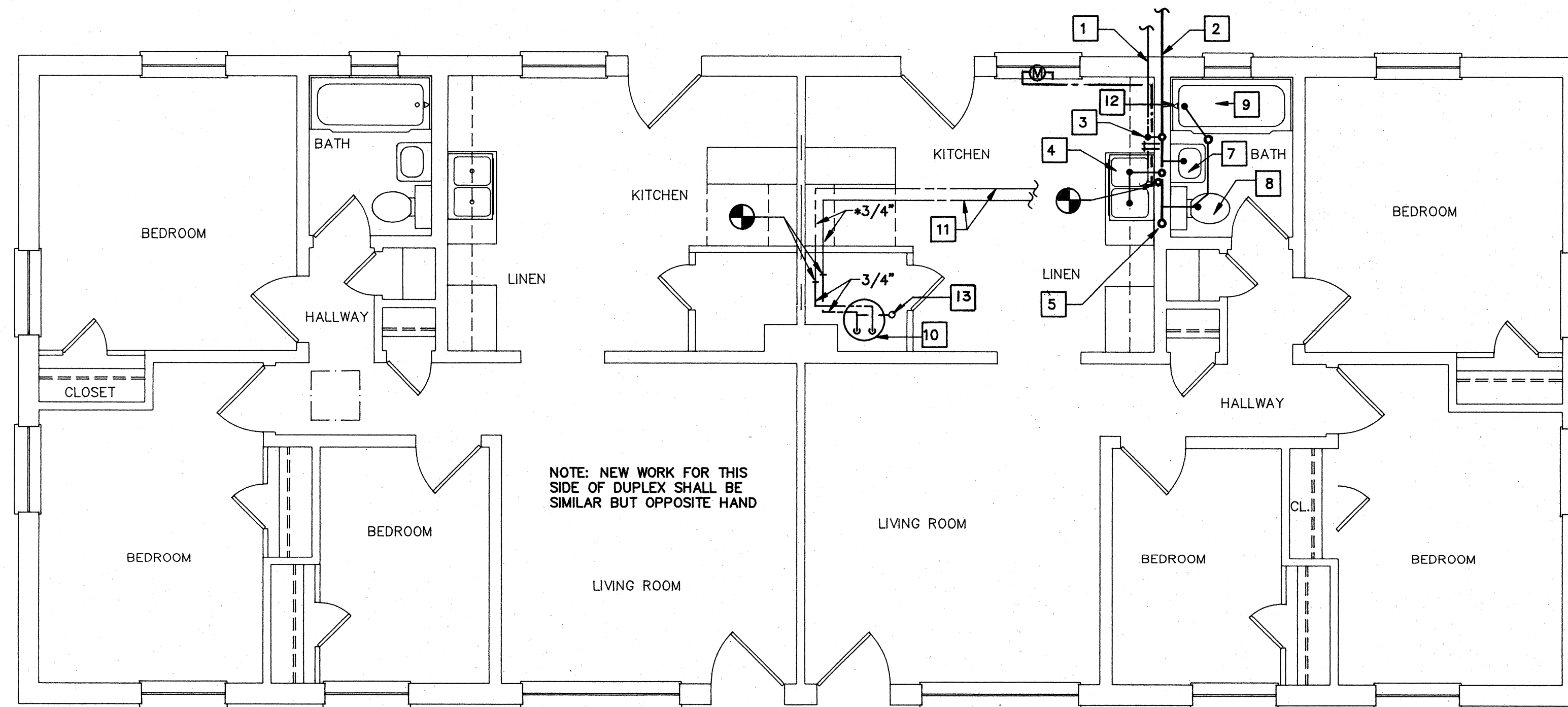
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### FLOOR PLAN - BUILDING D3 (DEMOLITION)

SCALE: 1/4" = 1'-0"



### FLOOR PLAN - BUILDING D3 (NEW WORK)

SCALE: 1/4" = 1'-0"

### DEMOLITION NOTES

1. 3/4" COLD WATER SERVICE TO REMAIN.
2. 4" UNDERGROUND SANITARY SEWER TO REMAIN.
3. REMOVE HOT AND COLD WATER HOSE BIBBS AND STANDPIPE SERVING CLOTHES WASHER. TEMPORARILY CAP WATER AND DRAIN PIPING INSIDE WALL.
4. 3" VENT STACK TO REMAIN.
5. REMOVE 2-COMPARTMENT KITCHEN SINK FROM CABINET. STORE FOR RE-USE. REMOVE WASTE, P-TRAP, SUPPLIES, SHUT-OFF AND GALVANIZED STEEL DRAIN ROUGH-IN PIPING TO CAST IRON. SEE WASTE DEMOLITION DIAGRAM, SHEET P7.
6. REMOVE WALL-MOUNTED LAVATORY, HANGER BRACKET, TRAP, SUPPLIES AND GALVANIZED STEEL DRAIN ROUGH-IN PIPING TO CAST IRON. SEE WASTE DEMOLITION DIAGRAM, SHEET P7. STORE LAVATORY FOR RE-USE.
7. PLUMBING FIXTURE SHALL REMAIN.
8. REMOVE 3/4" VALVE IN RISER UNDER SINK AND CAP TEMPORARILY. SEE NEW WORK PLAN FOR ADDITIONAL WORK.
9. REMOVE FLOOR MOUNTED FLUSH TANK WATER CLOSET TO ALLOW FOR NEW ARCHITECTURAL FLOOR FINISH. STORE FIXTURE FOR RE-USE. CLEAN WAX FROM FLOOR FLANGE. CAP WASTE PIPE TEMPORARILY.
10. REMOVE GAS FIRED WATER HEATER. SEE MECHANICAL DRAWINGS FOR GAS PIPE DEMOLITION. CAP HOT WATER AND COLD WATER PIPING TEMPORARILY FOR CONNECTION OF NEW WORK.
11. REMOVE ASBESTOS PIPE INSULATION FROM EXISTING WATER SUPPLY PIPING IN ATTIC AND KITCHEN PER SPECIFICATION SECTION 02080.
12. REMOVE CAST IRON BATHTUB, FAUCET, SHOWER HEAD, TUB WASTE, AND WATER AND DRAIN ROUGH-IN PIPING TO EXTENT SHOWN.
13. REMOVE TUB VALVE, SPOUT, SHOWER ARM AND SHOWER HEAD.

### NEW WORK NOTES

1. EXISTING 3/4" COLD WATER SERVICE.
2. EXISTING UNDERGROUND SANITARY SEWER.
3. PROVIDE RECESSED WASHER CONNECTION BOX. CONNECT 2" DRAIN TO EXISTING CONNECTION IN WALL. CONNECT HOT AND COLD WATER PIPING TO EXISTING CONNECTIONS IN WALL. SEE FIXTURE CONNECTION SCHEDULE (P-4).
4. RE-INSTALL EXISTING 2-COMPARTMENT KITCHEN SINK TO NEW COUNTERTOP WITH NEW SCREWS AND CLIPS. PROVIDE P-TRAP, ANGLE SUPPLIES, DRAIN ROUGH-IN AND MAKE FINAL CONNECTIONS TO EXISTING WATER AND DRAIN CONNECTIONS IN CHASE. SEE WASTE RISER DIAGRAM THIS SHEET.
5. EXISTING 3" VENT THRU ROOF.
6. PROVIDE 3/4" METER IN ACCESS PANEL. SEE ARCHITECTURAL DRAWINGS FOR LOCATION. SEE WATER RISER DIAGRAM SHEET P-10. EXTEND PIPING FROM METER TO EXISTING PIPING AS INDICATED.
7. RE-INSTALL EXISTING WALL-HUNG LAVATORY AND HANGER BRACKET. PROVIDE P-TRAP, ANGLE SUPPLIES, DRAIN ROUGH-IN, AND MAKE FINAL CONNECTIONS TO EXISTING WATER AND DRAIN CONNECTIONS IN WALL. SEE WASTE RISER DIAGRAM, SHEET P7.
8. RE-INSTALL WATER CLOSET AT COMPLETION OF NEW FLOOR FINISH WORK. PROVIDE WAX RING AND RE-SET TO EXISTING CLOSET FLANGE AND WATER SUPPLY.
9. EXISTING BATHTUB.
10. PROVIDE VALVES AND FINAL CONNECTIONS TO WATER HEATER/HEATING UNIT AS INDICATED ON MECHANICAL DRAWINGS.
11. PROVIDE PIPE INSULATION FROM WATER HEATER CONNECTION TO KITCHEN AND BATH FIXTURE CONNECTIONS.
12. PROVIDE TUB/SHOWER VALVE, FILL SPOUT, SHOWER ARM AND SHOWER HEAD. CONNECT TO EXISTING WATER ROUGH-IN. SEE FIXTURE CONNECTION SCHEDULE (P-11).
13. PROVIDE 1/2" UPRIGHT SPRINKLER HEAD, 3/4" CHECK VALVE AND 3/4" PIPING FROM SPRINKLER HEAD TO EXISTING COLD WATER PIPING. INSTALL IN ACCORDANCE WITH NFPA 13.

### NOTES THIS SHEET

1. FOR LEGEND, SEE SHEET P4.
2. FOR GENERAL NOTES, SEE SHEET P4.
3. FOR FIXTURE CONNECTION SCHEDULE, SEE SHEET P6.
4. FOR WATER HEATER/HEATING UNIT DETAIL, SEE SHEET M19.
5. FOR WASTE RISER DIAGRAMS, SEE SHEET P7.

### ABATEMENT NOTE

PLUMBING PIPE INSULATION HAS BEEN TESTED AND IS KNOWN TO CONTAIN ASBESTOS MATERIALS. ALL PIPES INDICATED FOR REMOVAL SHALL BE ABATED OF ASBESTOS MATERIAL IN ACCORDANCE WITH SPECIFICATION SECTION 02080 BY THE ABATEMENT CONTRACTOR.



H.D. MANESH & ASSOC.  
A Professional Corporation  
P.E. D.M.  
CONSULTING ENGINEERS



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS  
NEWPORT NEWS, VA



Designed: T.L.M.

Drawn: DPM

Checked: C.A.F.

Scale: AS NOTED

Date: JANUARY 31, 1992

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Project No: 90006

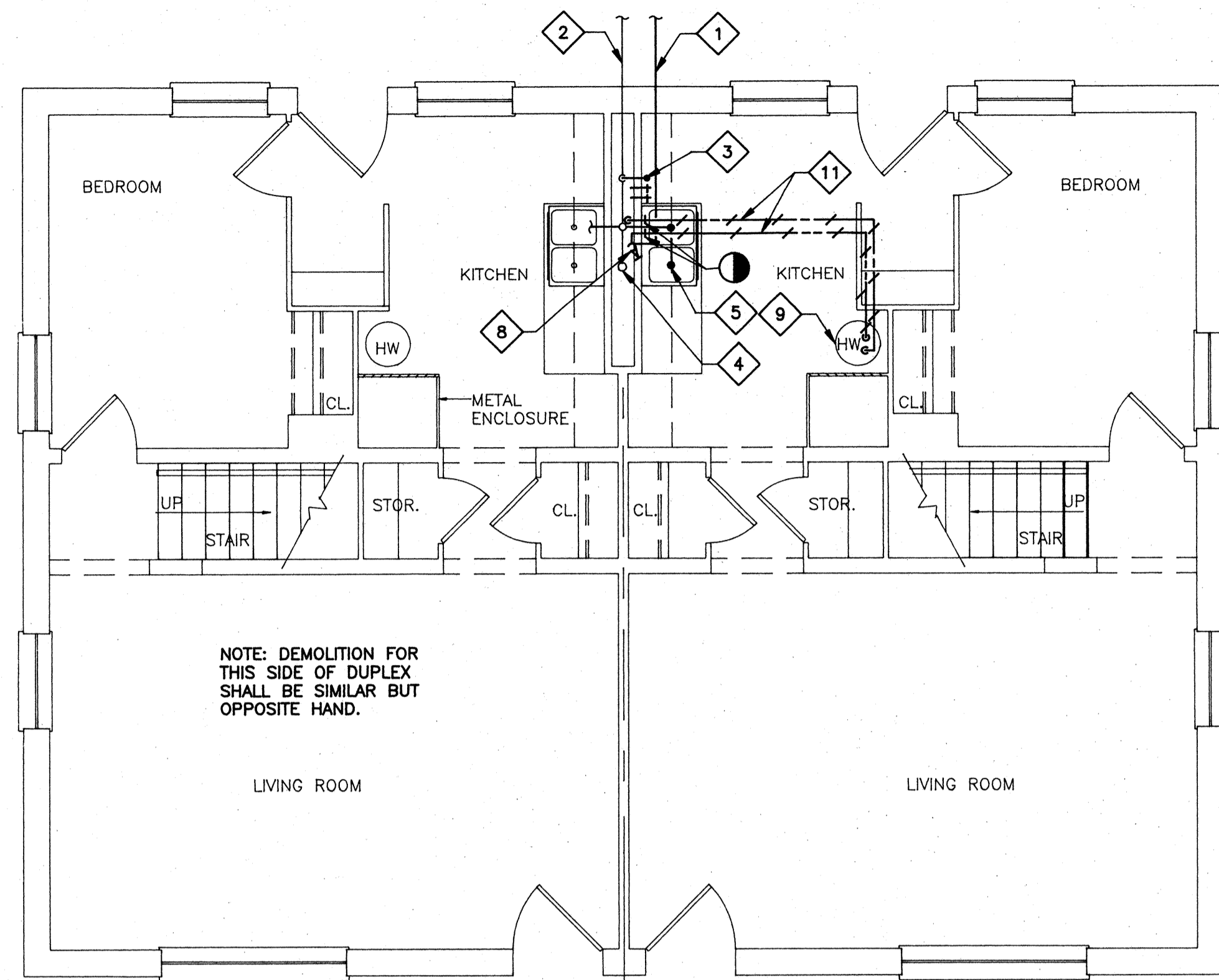
BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK)

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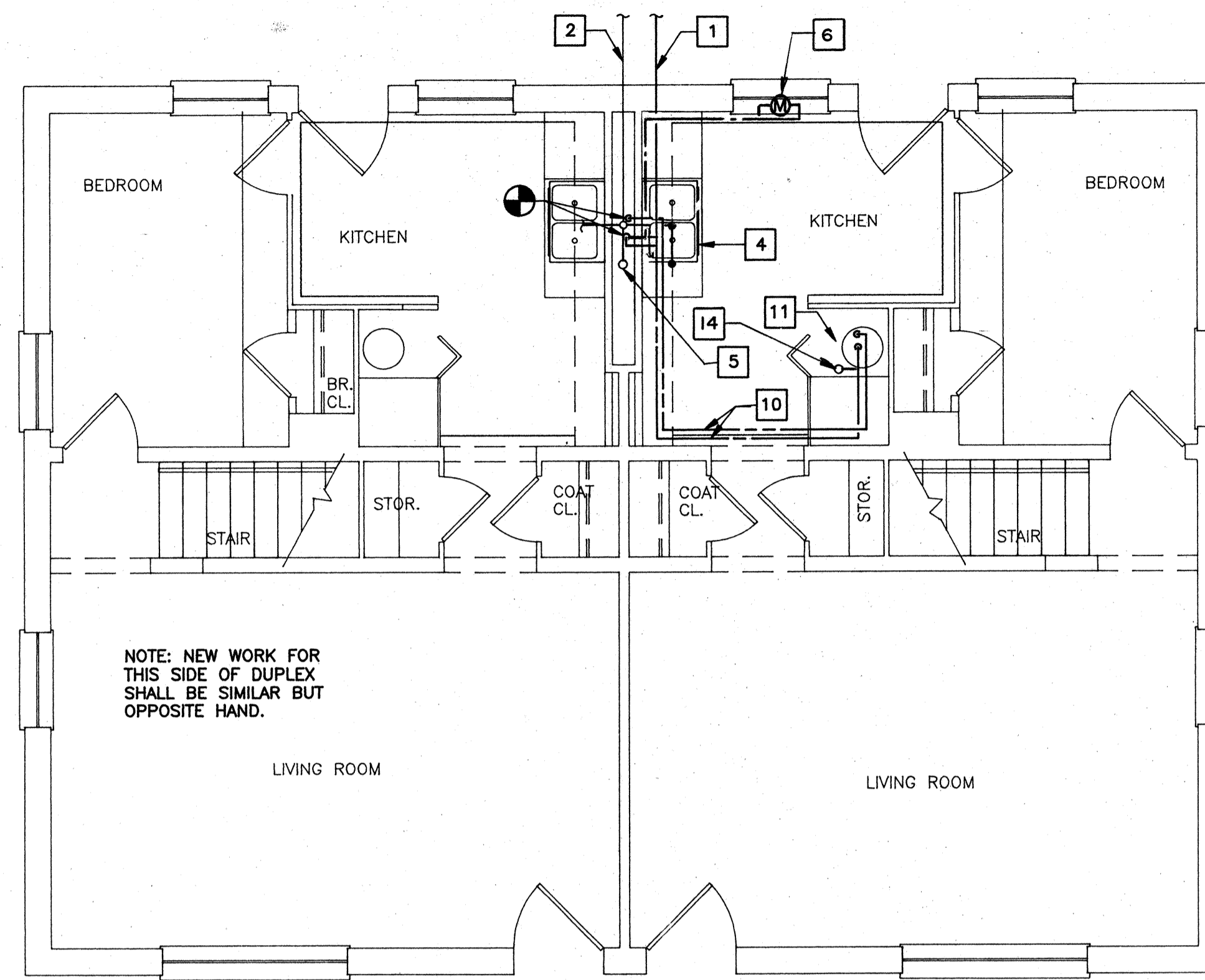
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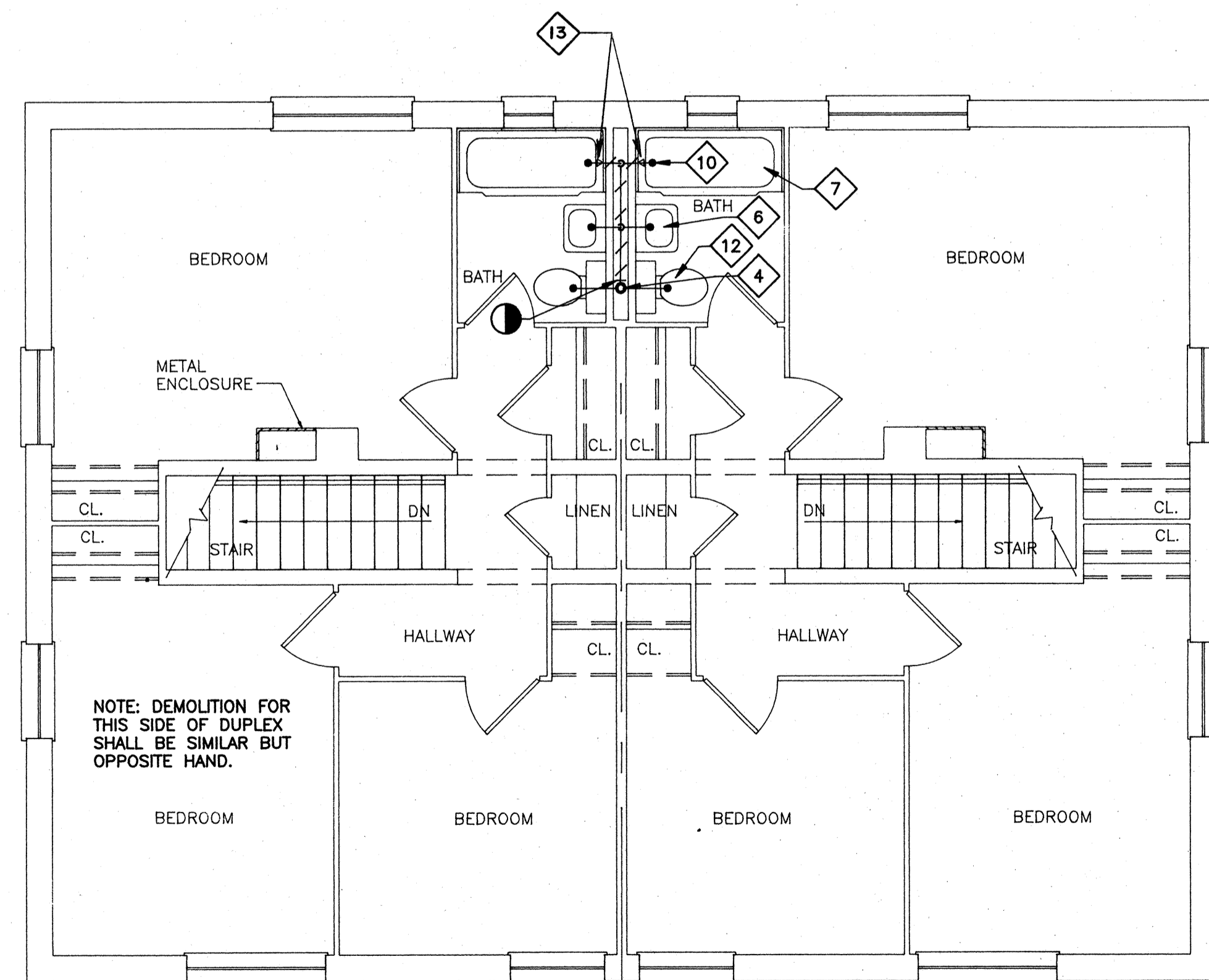
FIRST FLOOR PLAN - BLDG. D4 (DEMOLITION)

SCALE: 1/4" = 1'-0"



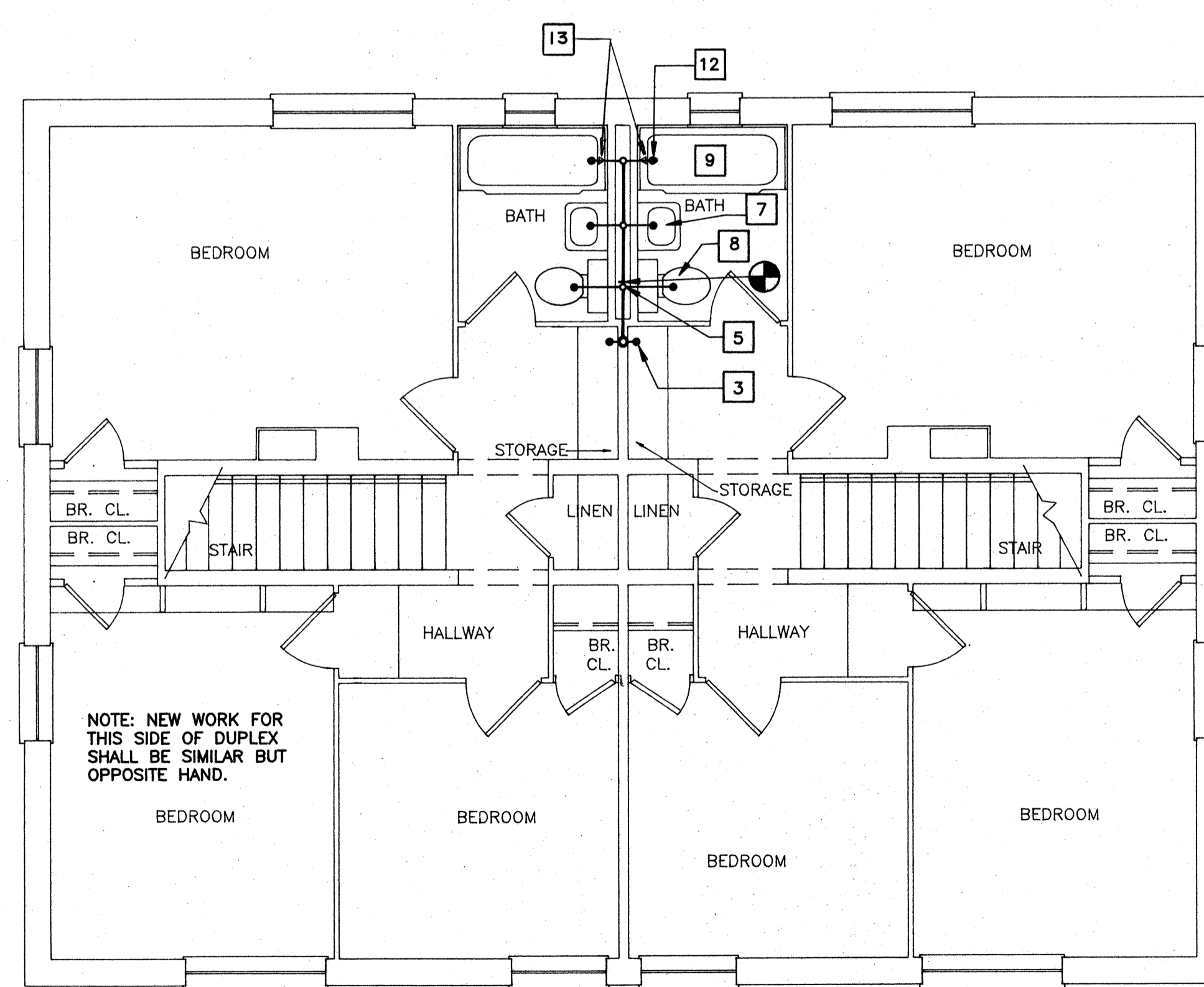
FIRST FLOOR PLAN - BLDG. D4 (NEW WORK)

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN - BLDG. D4 (DEMOLITION)

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN - BLDG. D4 (NEW WORK)

SCALE: 1/4" = 1'-0"

◆ DEMOLITION NOTES

1. 3/4" COLD WATER SERVICE TO REMAIN.
2. 4" UNDERGROUND SANITARY SEWER TO REMAIN.
3. REMOVE HOT AND COLD WATER HOSE BIBBS AND STANDPIPE SERVING CLOTHES WASHER. CAP WATER AND DRAIN PIPING INSIDE WALL.
4. 3" WASTE STACK TO REMAIN.
5. REMOVE 2-COMPARTMENT KITCHEN SINK FROM CABINET. STORE FOR RE-USE. REMOVE WASTE, P-TRAP, SUPPLIES, SHUT-OFF AND GALVANIZED STEEL DRAIN ROUGH-IN PIPING TO CAST IRON. SEE WASTE DEMOLITION DIAGRAM SHEET, P14.
6. REMOVE WALL-MOUNTED LAVATORY, HANGER BRACKET, TRAP, SUPPLIES AND GALVANIZED STEEL DRAIN ROUGH-IN PIPING TO CAST IRON. SEE WASTE DEMOLITION DIAGRAM SHEET, P14. STORE LAVATORY FOR RE-USE.
7. PLUMBING FIXTURE SHALL REMAIN.
8. REMOVE 3/4" VALVE IN RISER UNDER SINK AND CAP TEMPORARILY. SEE NEW WORK PLAN FOR ADDITIONAL WORK.
9. REMOVE GAS FIRED WATER HEATER. SEE MECHANICAL DRAWINGS FOR GAS PIPE DEMOLITION.
10. REMOVE TRAP AND GALVANIZED STEEL DRAIN PIPING FOR TUB WASTE TO WASTE STACK. TUB WASTE AND OVERFLOW TO REMAIN, SEE WASTE DEMOLITION DIAGRAM SHEET P14.
11. REMOVE WATER PIPING AND ASBESTOS PIPE INSULATION AT CEILING TO POINTS INDICATED.
12. REMOVE FLOOR MOUNTED FLUSH TANK WATER CLOSET TO ALLOW FOR NEW ARCHITECTURAL FLOOR FINISH. STORE FIXTURE FOR RE-USE. CLEAN WAX FROM FLOOR FLANGE. CAP WASTE PIPE TEMPORARILY.
13. REMOVE TUB VALVE, SPOUT, SHOWER ARM AND SHOWER HEAD.

□ NEW WORK NOTES

1. EXISTING 3/4" COLD WATER SERVICE.
2. EXISTING 4" UNDERGROUND SANITARY SEWER.
3. PROVIDE RECESSED WASHER CONNECTION BOX. CONNECT 2" DRAIN TO PIPING IN CHASE. CONNECT HOT AND COLD WATER PIPING TO EXISTING CONNECTIONS IN CHASE. SEE FIXTURE CONNECTION SCHEDULE (P4). SEE WASTE RISER DIAGRAM SHEET, P14.
4. RE-INSTALL EXISTING 2-COMPARTMENT KITCHEN SINK TO NEW COUNTERTOP WITH NEW SCREWS AND CLIPS. PROVIDE P-TRAP, ANGLE SUPPLIES, DRAIN ROUGH-IN AND MAKE FINAL CONNECTIONS TO EXISTING WATER AND DRAIN CONNECTIONS IN CHASE. SEE WASTE RISER DIAGRAM SHEET, P14.
5. EXISTING 3" WASTE STACK.
6. PROVIDE 3/4" METER IN ACCESS PANEL. SEE ARCHITECTURAL DRAWINGS FOR LOCATION. SEE WATER RISER DIAGRAM SHEET P-10. EXTEND PIPING FROM METER TO EXISTING PIPING AS INDICATED.
7. RE-INSTALL EXISTING WALL-HUNG LAVATORY AND HANGER BRACKET. PROVIDE P-TRAP, ANGLE SUPPLIES, DRAIN ROUGH-IN, AND MAKE FINAL CONNECTION TO EXISTING WATER AND DRAIN CONNECTIONS IN CHASE. SEE WASTE RISER DIAGRAM SHEET P14.
8. RE-INSTALL WATER CLOSET AT COMPLETION OF FLOOR FINISH WORK. PROVIDE WAX RING AND RE-SET TO EXISTING CLOSET FLANGE AND WATER SUPPLY.
9. EXISTING BATHTUB.
10. PROVIDE 3/4" HOT WATER AND COLD WATER PIPING FROM WATER HEATER TO POINTS INDICATED. RUN PIPING IN NEW SOFFIT SPACE.
11. PROVIDE VALVES AND FINAL CONNECTIONS TO WATER HEATER/HEATING UNIT AS INDICATED ON MECHANICAL DRAWINGS.
12. PROVIDE ROUGH-IN PIPING AND CONNECT TO EXISTING TUBWASTE AND EXTEND PIPING AS INDICATED. SEE WASTE RISER DIAGRAM, SHEET P14.
13. PROVIDE TUB/SHOWER VALVE, FILL SPOUT, SHOWER ARM AND SHOWER HEAD. CONNECT TO EXISTING WATER ROUGH-IN. SEE FIXTURE CONNECTION SCHEDULE (P-11).
14. PROVIDE 1/2" UPRIGHT SPRINKLER HEAD, 3/4" CHECK VALVE AND 3/4" PIPING FROM SPRINKLER HEAD TO EXISTING COLD WATER PIPING. INSTALL IN ACCORDANCE WITH NFPA 13.

NOTES THIS SHEET

1. FOR LEGEND, SEE SHEET P4.
2. FOR GENERAL NOTES, SEE SHEET P4.
3. FOR FIXTURE CONNECTION SCHEDULE, SEE SHEET P6.
4. FOR WATER HEATER/HEATING UNIT DETAIL, SEE SHEET M19.
5. FOR WASTE RISER DIAGRAMS, SEE SHEET P14.

ABATEMENT NOTE

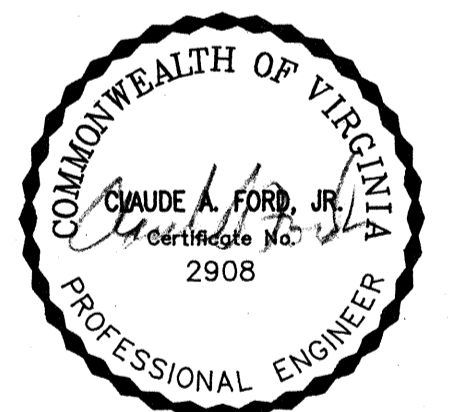
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H.D. MANESH & ASSOC.  
A Professional Corporation  
CONSULTING ENGINEERS



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS NEWPORT NEWS, VA



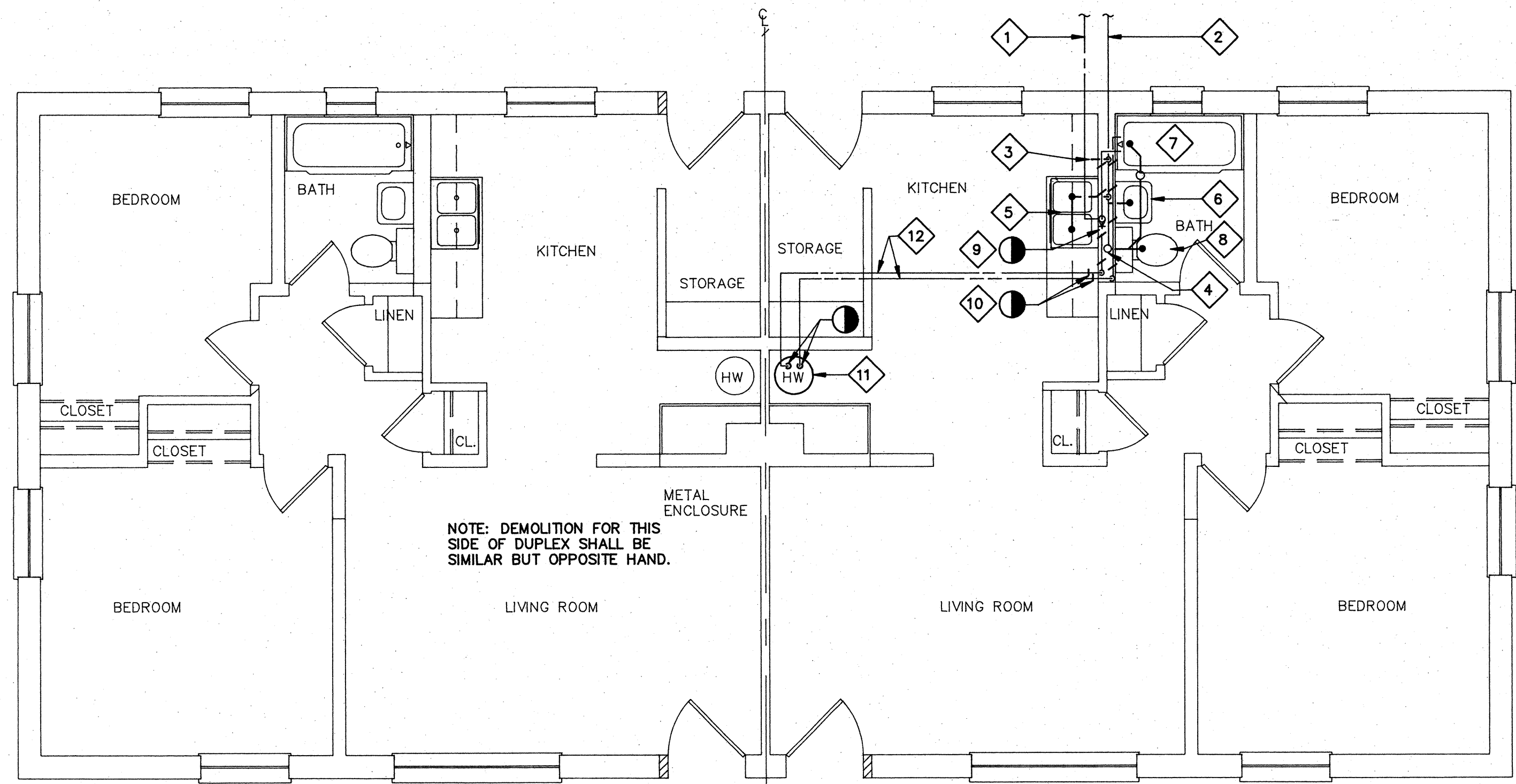
Designed: T.L.M.  
Drawn: D.P.M.  
Checked: C.A.F.  
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File No:

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BUILDING TYPE D4 - FLOOR PLANS (DEMOLITION & NEW WORK)

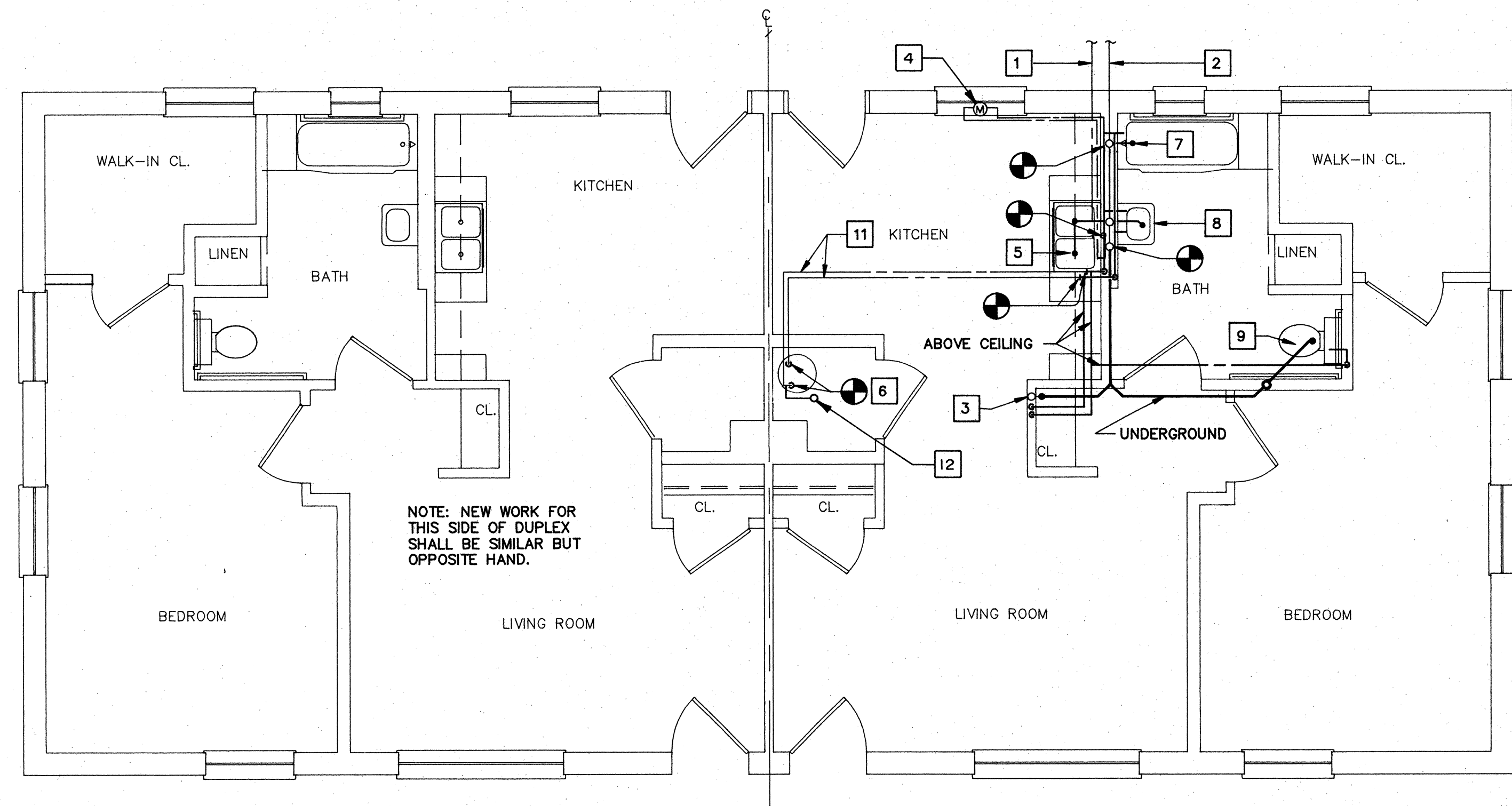
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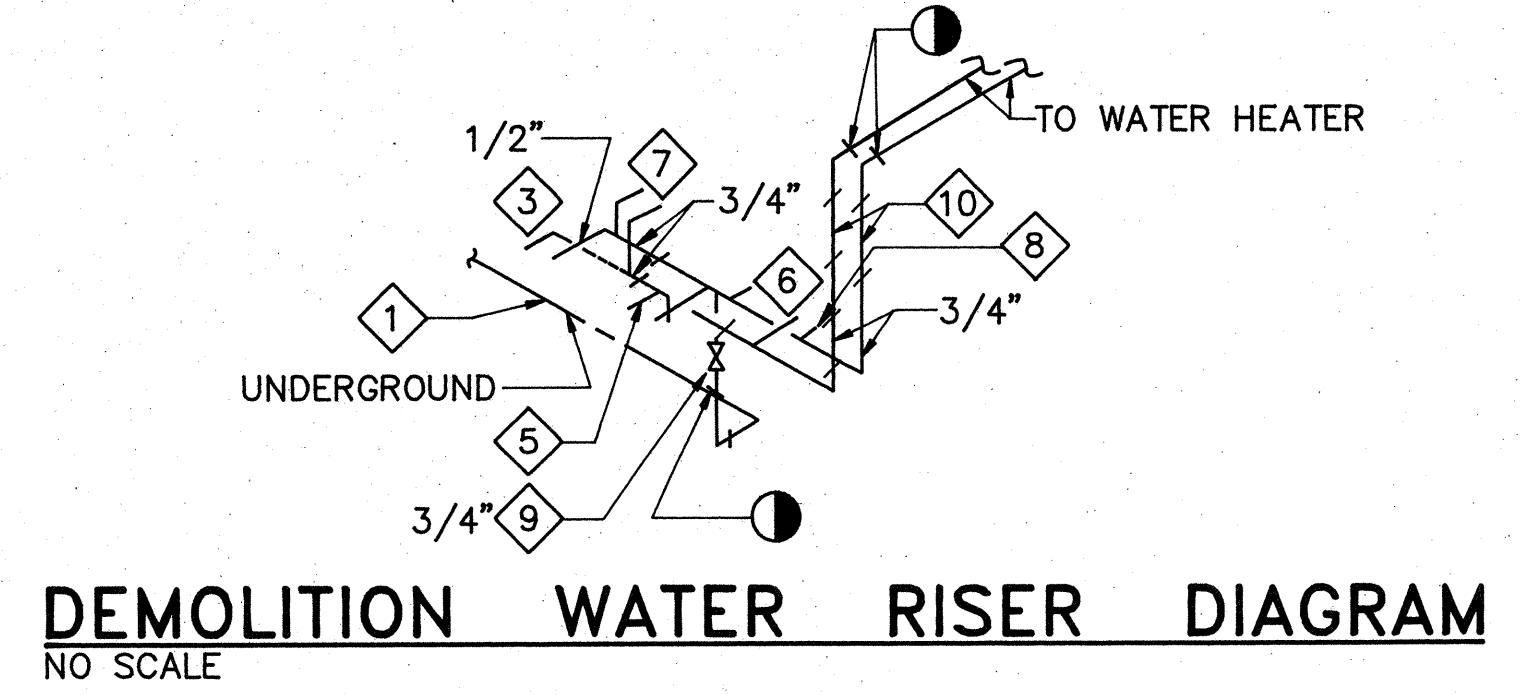
**FLOOR PLAN - BUILDING D2 / 1BR HANDICAPPED CONVERSION (DEMOLITION)**

SCALE: 1/4" = 1'-0"

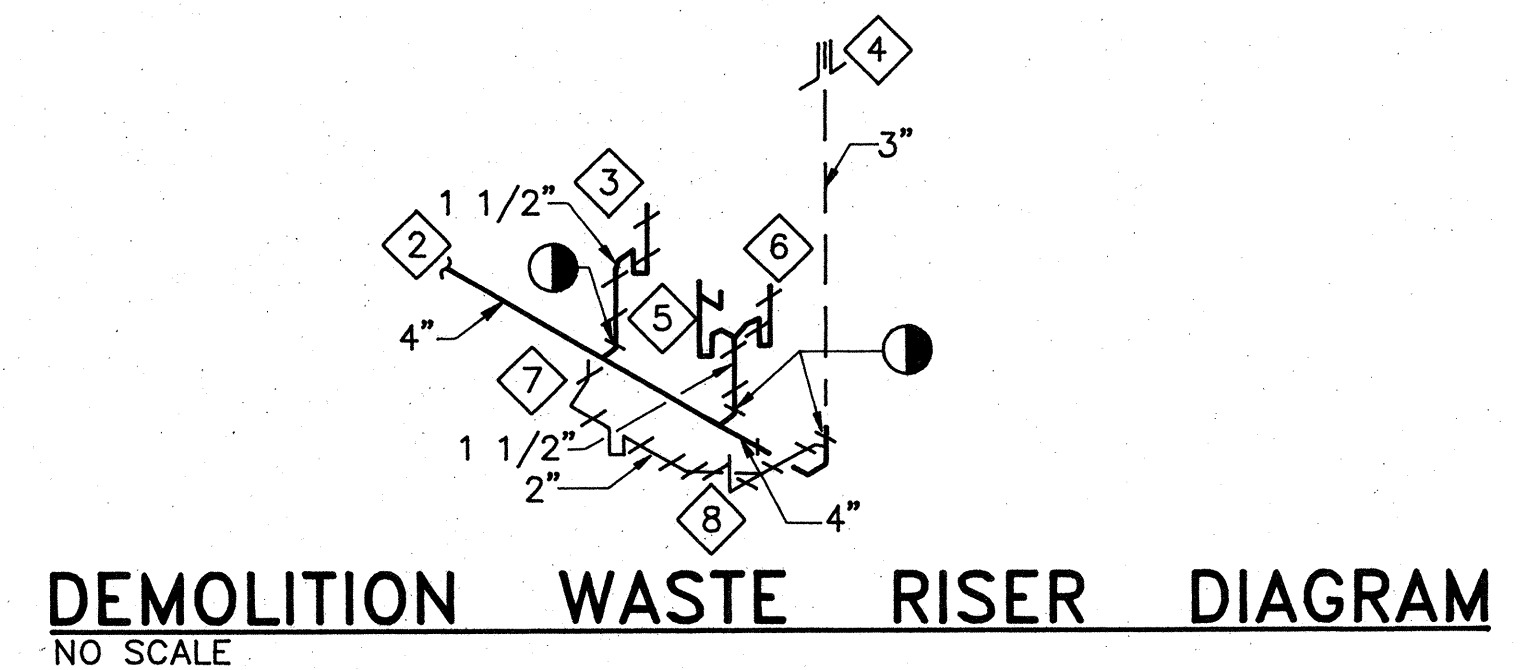


**FLOOR PLAN - BUILDING D2 / 1BR HANDICAPPED CONVERSION (NEW WORK)**

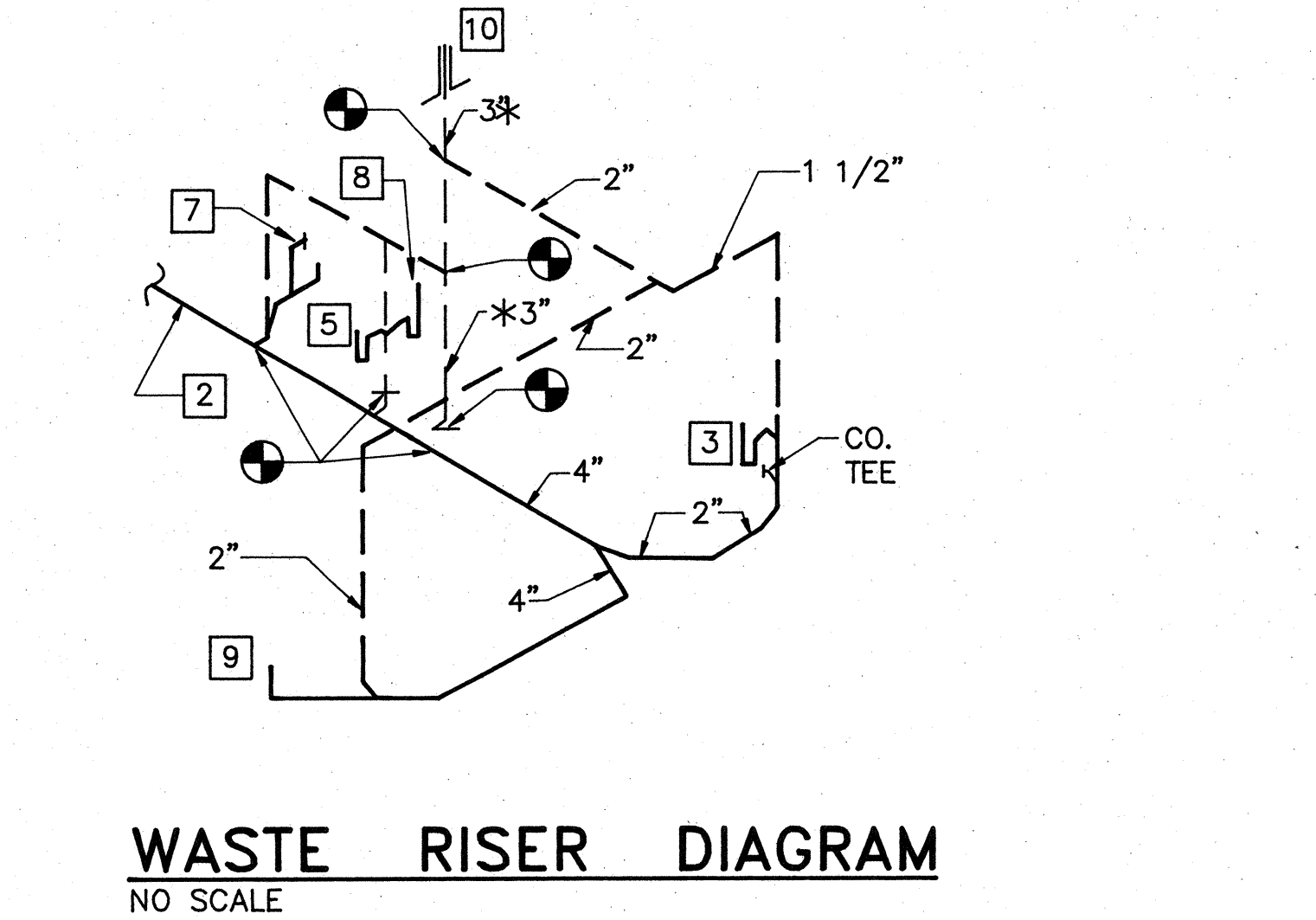
SCALE: 1/4" = 1'-0"



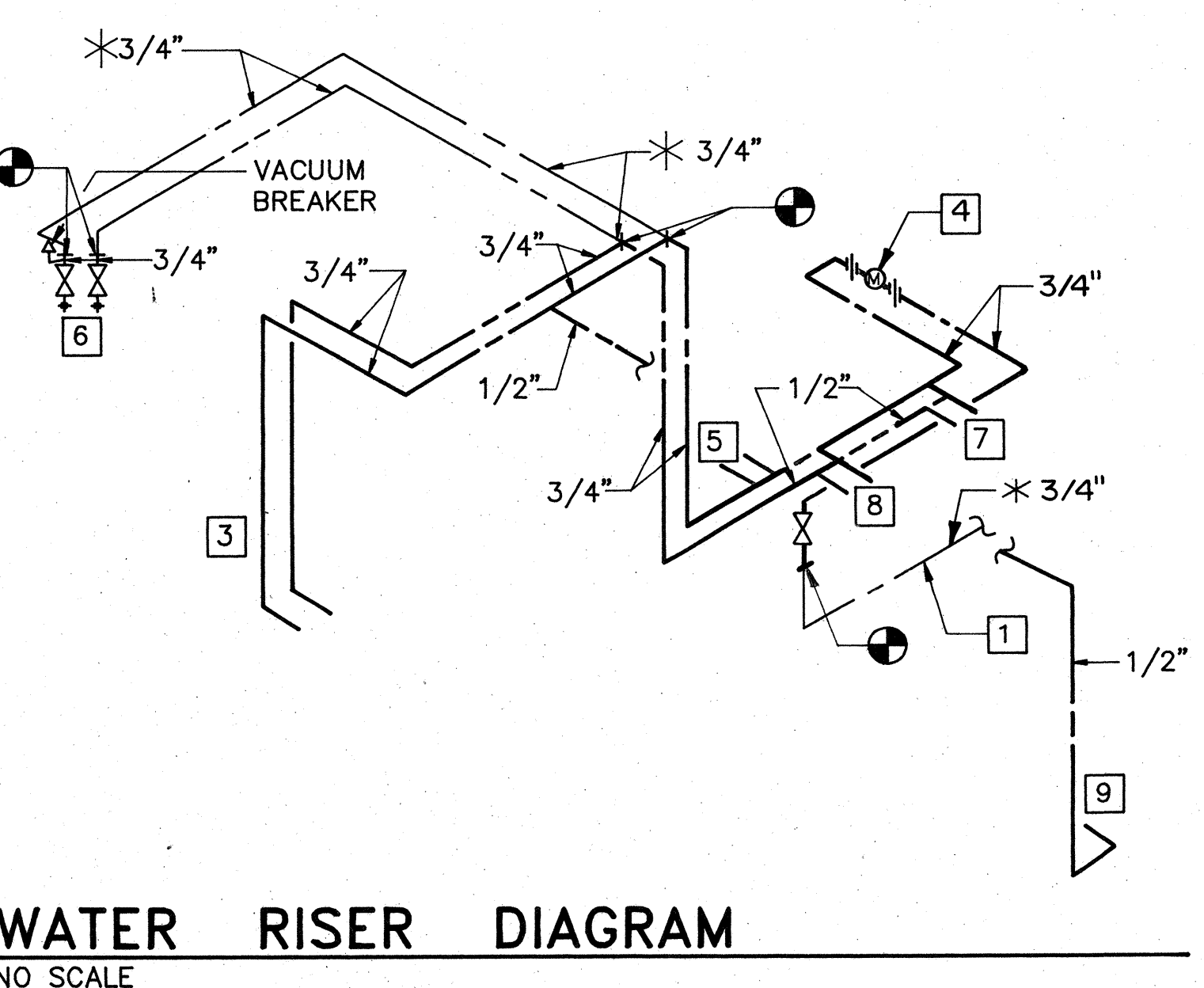
**DEMOLITION WATER RISER DIAGRAM**  
NO SCALE



**DEMOLITION WASTE RISER DIAGRAM**  
NO SCALE



**WASTE RISER DIAGRAM**  
NO SCALE



**WATER RISER DIAGRAM**  
NO SCALE

**DEMOLITION NOTES**

- 3/4" COLD WATER SERVICE TO REMAIN.
- 4" UNDERGROUND SANITARY SEWER TO REMAIN.
- REMOVE HOT AND COLD WATER HOSE BIBBS, WATER AND DRAIN ROUGH-IN PIPING, AND STANDPIPE SERVING CLOTHES WASHER.
- 3" VENT STACK TO REMAIN.
- REMOVE 2-COMPARTMENT KITCHEN SINK FROM CABINET. STORE FOR RE-USE. REMOVE P-TRAP, SUPPLIES, AND WATER AND DRAIN ROUGH-IN PIPING IN WALL TO EXTENT SHOWN.
- REMOVE WALL-MOUNTED LAVATORY, HANGER BRACKET AND WATER AND DRAIN ROUGH-IN PIPING IN WALL TO EXTENT SHOWN.
- REMOVE CAST IRON BATHTUB, FAUCET, SHOWER HEAD, TUB WASTE, AND WATER AND DRAIN ROUGH-IN PIPING TO EXTENT SHOWN.
- REMOVE FLUSH TANK WATER CLOSET AND WATER SUPPLY PIPING IN WALL TO EXTENT SHOWN. REMOVE CLOSET FLANGE AND CAP WASTE PIPING BELOW FLOOR. PATCH FLOOR TO MATCH SURROUNDING FINISH.
- REMOVE 3/4" VALVE IN RISER BELOW SINK. CAP WATER SERVICE TEMPORARILY FOR CONNECTION OF NEW WORK.
- REMOVE HOT AND COLD WATER PIPING IN WALL FROM FIXTURES TO EXTENT SHOWN.
- REMOVE GAS FIRED WATER HEATER. SEE MECHANICAL DRAWINGS FOR GAS PIPE DEMOLITION. CAP HOT AND COLD WATER PIPING TEMPORARILY FOR CONNECTION OF NEW WORK.
- REMOVE ASBESTOS PIPE INSULATION FROM EXISTING WATER SUPPLY PIPING IN ATTIC AND KITCHEN PER SPECIFICATION SECTION 02080.

**NEW WORK NOTES**

- EXISTING 3/4" COLD WATER SERVICE.
- EXISTING 4" UNDERGROUND SANITARY SEWER.
- PROVIDE RECESSED WASHER CONNECTION BOX AND HOT WATER, COLD WATER AND DRAIN ROUGH-IN PIPING AS INDICATED. SEE FIXTURE CONNECTION SCHEDULE (P-4).
- PROVIDE 3/4" METER IN ACCESS PANEL. SEE ARCHITECTURAL DRAWINGS FOR LOCATION. SEE WATER RISER DIAGRAM SHEET P-10. EXTEND PIPING FROM METER TO EXISTING PIPING AS INDICATED.
- RE-INSTALL EXISTING 2-COMPARTMENT KITCHEN SINK TO NEW COUNTERTOP WITH NEW SCREWS AND CLIPS. PROVIDE P-TRAP, ANGLE SUPPLIES, HOT AND COLD WATER ROUGH-IN, DRAIN ROUGH-IN AND MAKE FINAL CONNECTION TO SINK.
- PROVIDE VALVES AND FINAL CONNECTIONS TO WATER HEATER/HEATING UNIT AS INDICATED ON MECHANICAL DRAWINGS.
- PROVIDE 5'-0" LONG BATHTUB, SHOWER FAUCET, TUB WASTE, AND HOT WATER AND COLD WATER ROUGH-IN PIPING. SEE FIXTURE CONNECTION SCHEDULE (P-3).
- PROVIDE WALL MOUNTED LAVATORY, FAUCET P-TRAP, ANGLE SUPPLIES, HOT WATER AND COLD WATER ROUGH-IN PIPING AND DRAIN ROUGH-IN PIPING. SEE FIXTURE CONNECTION SCHEDULE (P-2).
- PROVIDE 18" HIGH FLOOR MOUNTED, FLUSH TANK WATER CLOSET, SEAT, ANGLE SUPPLY, COLD WATER ROUGH-IN AND DRAIN ROUGH-IN PIPING. SEE FIXTURE CONNECTION SCHEDULE (P-1).
- EXISTING 3" VENT THRU ROOF.
- PROVIDE PIPE INSULATION FROM WATER HEATER CONNECTION TO KITCHEN AND BATH FIXTURE CONNECTIONS.
- PROVIDE 1/2" UPRIGHT SPRINKLER HEAD, 3/4" CHECK VALVE AND 3/4" PIPING FROM SPRINKLER HEAD TO EXISTING COLD WATER PIPING. INSTALL IN ACCORDANCE WITH NFPA 13.

**NOTES THIS SHEET**

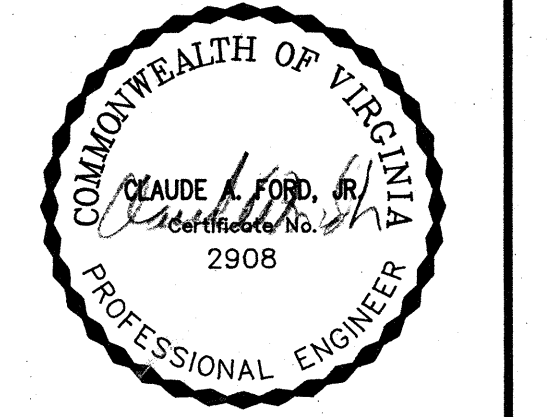
- FOR LEGEND, SEE SHEET P4.
- FOR GENERAL NOTES, SEE SHEET P4.
- FOR FIXTURE CONNECTION SCHEDULE, SEE SHEET P6.
- FOR WATER HEATER/HEATING UNIT DETAIL, SEE SHEET M19.

**ABATEMENT NOTE**

PLUMBING PIPE INSULATION HAS BEEN TESTED AND IS KNOWN TO CONTAIN ASBESTOS MATERIALS. ALL PIPES INDICATED FOR REMOVAL SHALL BE ABATED OF ASBESTOS MATERIAL IN ACCORDANCE WITH SPECIFICATION SECTION 02080 BY THE ABATEMENT CONTRACTOR.

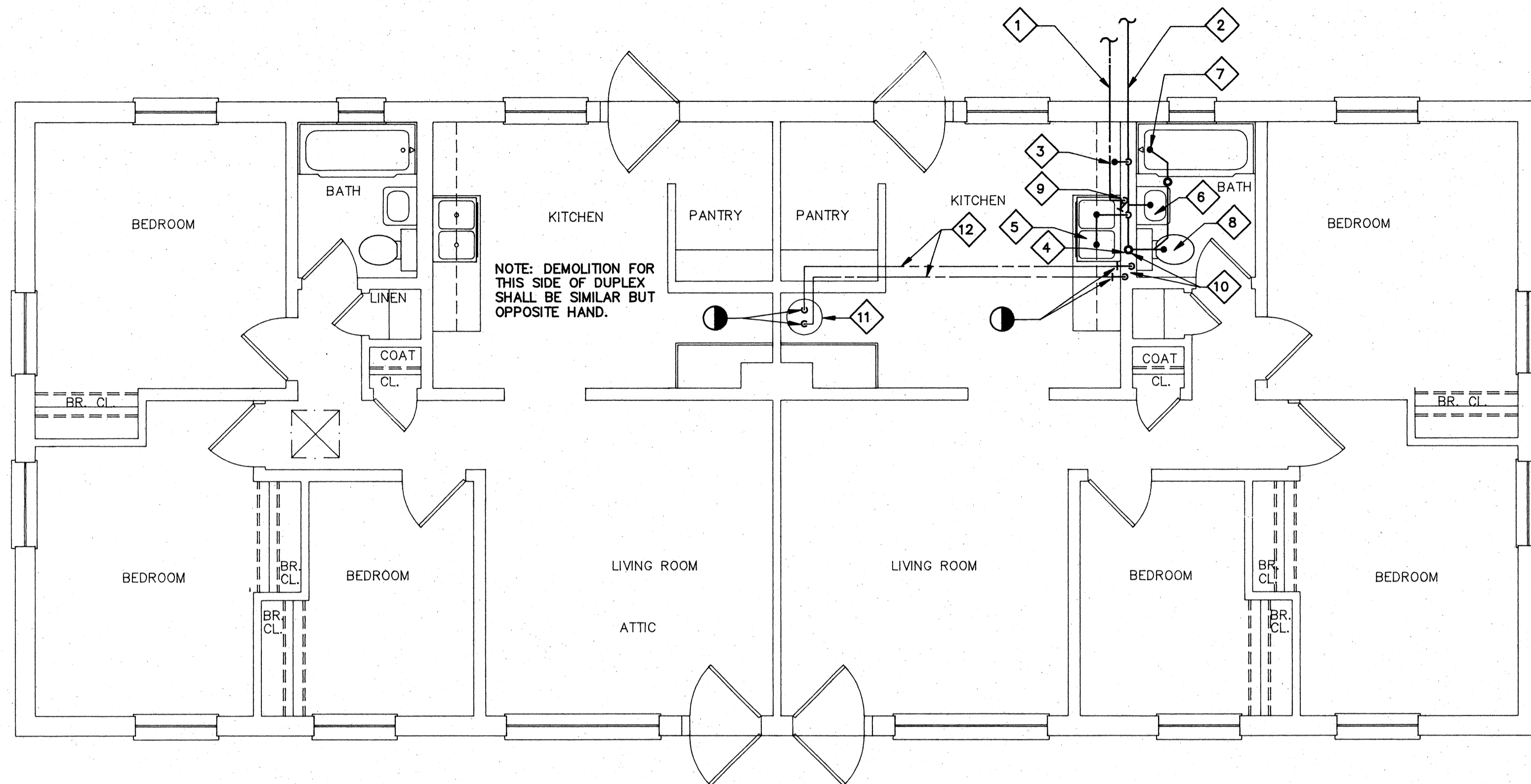


COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS  
NEWPORT NEWS, VA



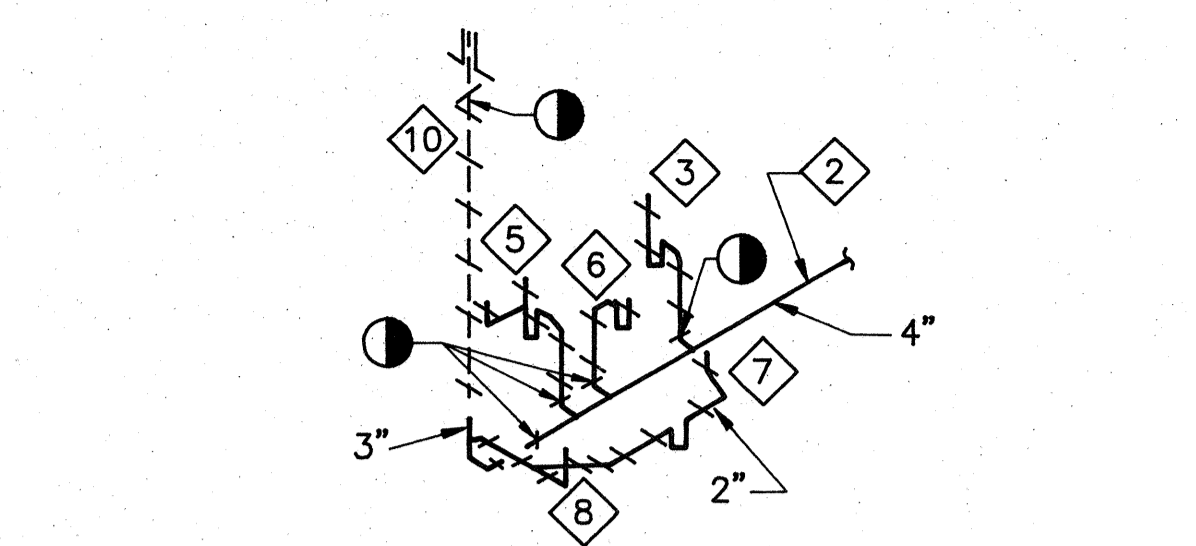
Designed: T.L.M.  
 Drawn: D.P.M.  
 Checked: C.A.F.  
 Scale: AS NOTED  
 Date: JANUARY 31, 1992  
 File No:  
 Project No: 90006  
 BUILDING TYPE D2 - FLOOR PLANS AND DIAGRAMS (DEMOLITION & NEW WORK / HANDICAPPED CONVERSION)  
 Sheet No: **P11**  
 of Sheets





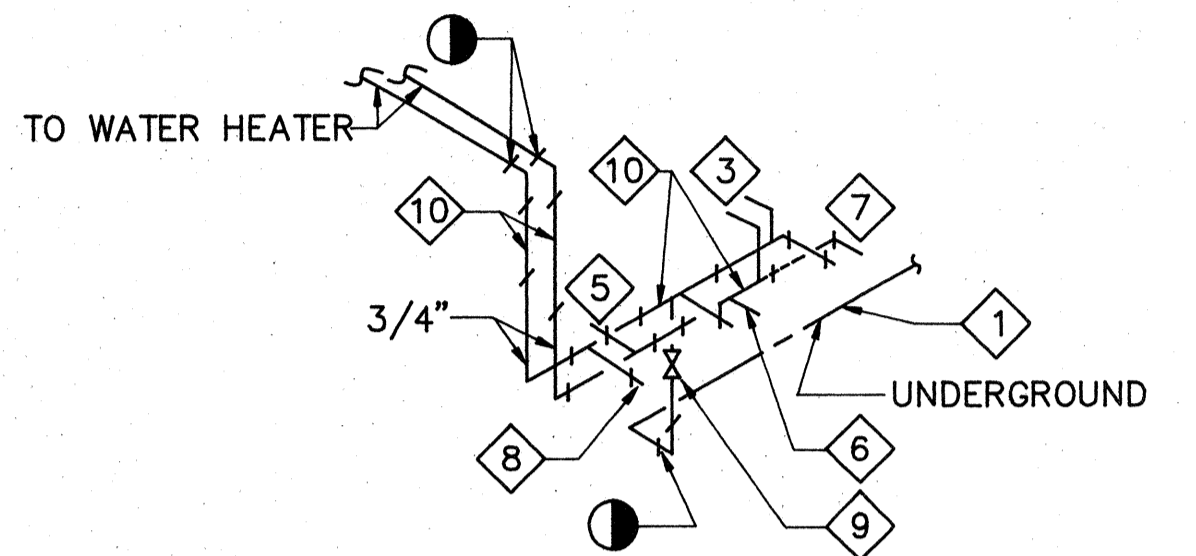
**FLOOR PLAN - BUILDING D3 - HANDICAPPED CONVERSION (DEMOLITION)**

SCALE: 1/4" = 1'-0"



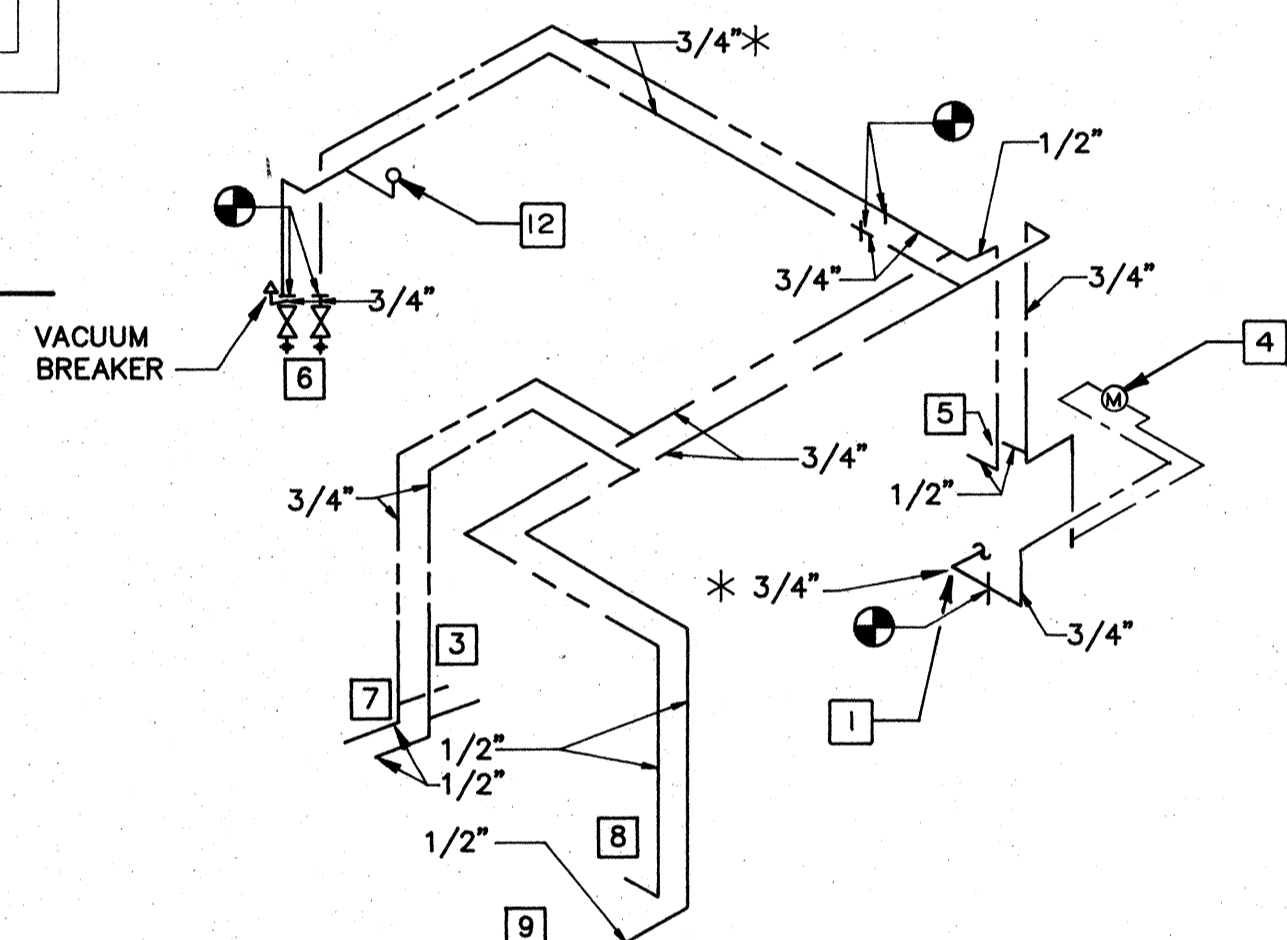
**DEMOLITION WASTE RISER DIAGRAM**

NO SCALE



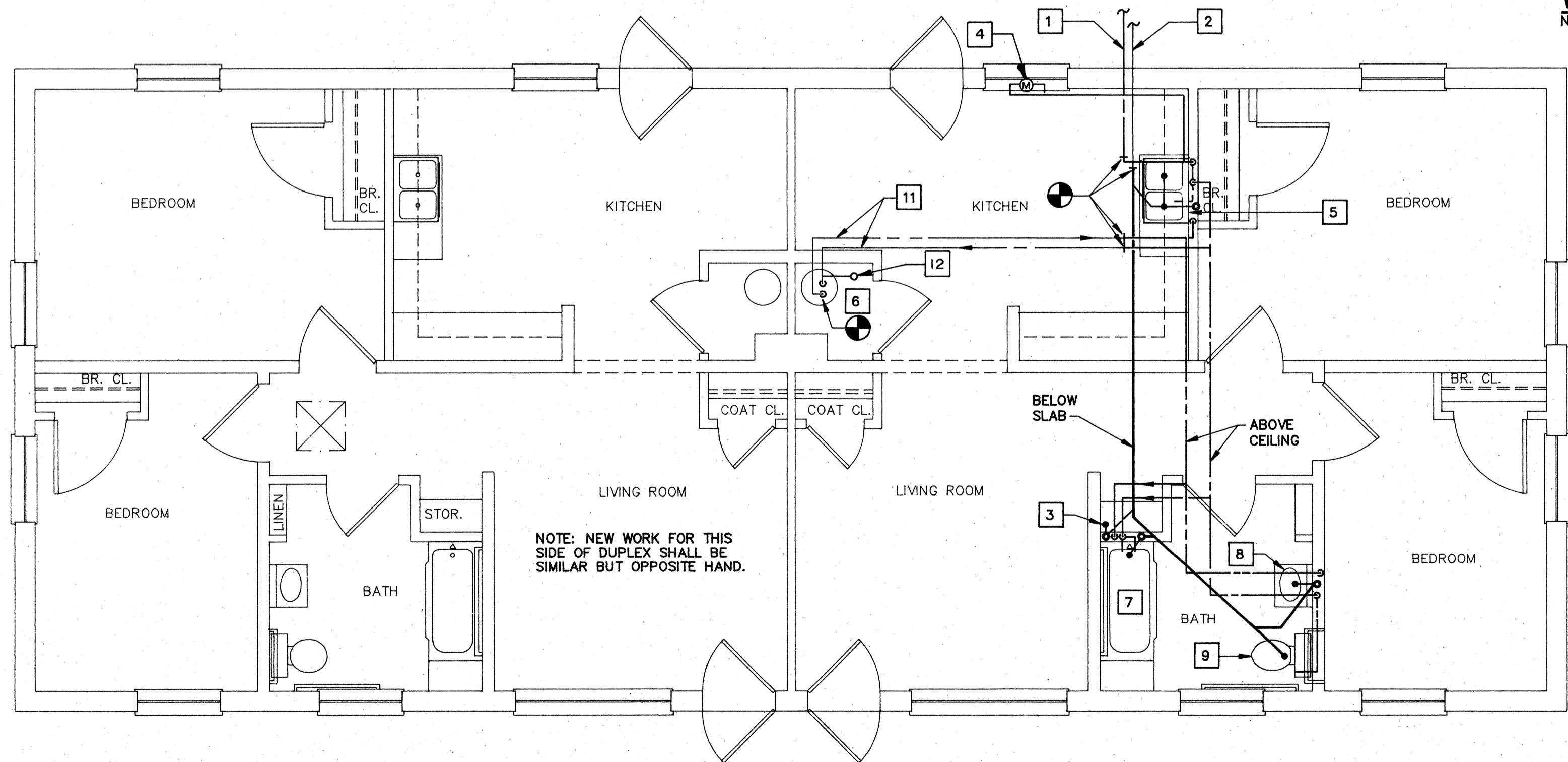
**DEMOLITION WATER RISER DIAGRAM**

NO SCALE



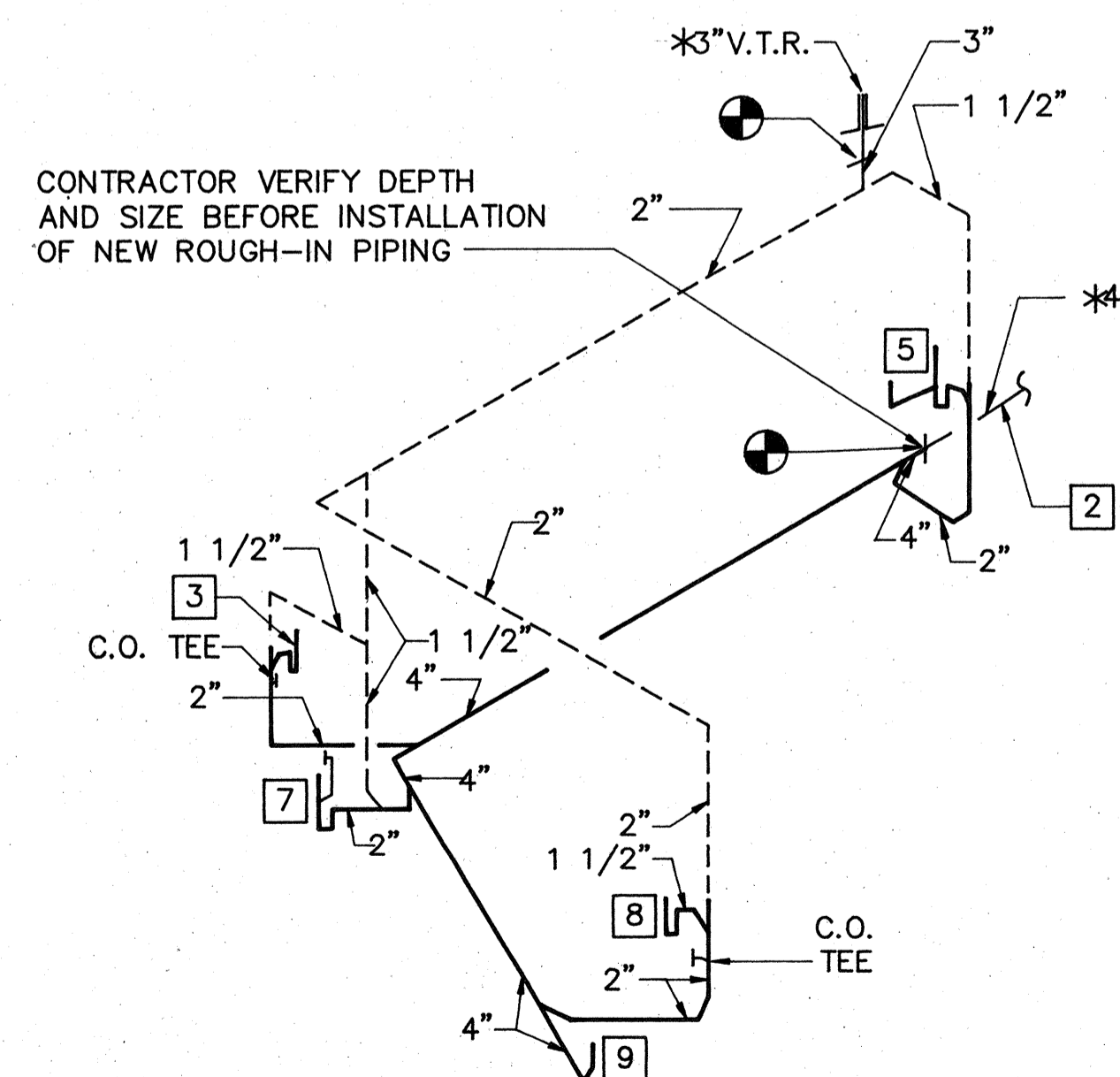
**WATER RISER DIAGRAM**

NO SCALE



**FLOOR PLAN - BUILDING D3 - HANDICAPPED CONVERSION (NEW WORK)**

SCALE: 1/4" = 1'-0"



**WASTE RISER DIAGRAM**

NO SCALE

**DEMOLITION NOTES**

1. 3/4" COLD WATER SERVICE TO REMAIN.
2. 4" UNDERGROUND SANITARY SEWER TO REMAIN.
3. REMOVE HOT AND COLD WATER HOSE BIBBS, WATER AND DRAIN ROUGH-IN PIPING, AND STANDPIPE SERVING CLOTHES WASHER.
4. 3" VENT STACK TO REMAIN.
5. REMOVE 2-COMPARTMENT KITCHEN SINK FROM CABINET. STORE FOR RE-USE. REMOVE P-TRAP, SUPPLIES, AND WATER AND DRAIN ROUGH-IN PIPING IN WALL TO EXTENT SHOWN.
6. REMOVE WALL-MOUNTED LAVATORY, HANGER BRACKET AND WATER AND DRAIN ROUGH-IN PIPING IN WALL TO EXTENT SHOWN.
7. REMOVE CAST IRON BATHTUB, FAUCET, SHOWER HEAD, TUB WASTE, AND WATER AND DRAIN ROUGH-IN PIPING TO EXTENT SHOWN.
8. REMOVE FLUSH TANK WATER CLOSET AND WATER SUPPLY PIPING IN WALL TO EXTENT SHOWN. REMOVE CLOSET FLANGE AND CAP WASTE PIPING BELOW FLOOR. PATCH FLOOR TO MATCH SURROUNDING FINISH.
9. REMOVE 3/4" VALVE IN RISER BELOW SINK. CAP WATER SERVICE TEMPORARILY FOR CONNECTION OF NEW WORK.
10. REMOVE HOT AND COLD WATER PIPING IN WALL FROM FIXTURES TO EXTENT SHOWN.
11. REMOVE GAS FIRED WATER HEATER. SEE MECHANICAL DRAWINGS FOR GAS PIPE DEMOLITION. CAP HOT AND COLD WATER PIPING TEMPORARILY FOR CONNECTION OF NEW WORK.
12. REMOVE ASBESTOS PIPE INSULATION FROM EXISTING WATER SUPPLY PIPING IN ATTIC AND KITCHEN PER SPECIFICATION SECTION 02080.

**NEW WORK NOTES**

1. EXISTING 3/4" COLD WATER SERVICE.
2. EXISTING 4" UNDERGROUND SANITARY SEWER.
3. PROVIDE RECESSED WASHER CONNECTION BOX AND HOT WATER, COLD WATER AND DRAIN ROUGH-IN PIPING AS INDICATED. SEE FIXTURE CONNECTION SCHEDULE (P-4).
4. PROVIDE 3/4" METER IN ACCESS PANEL. SEE ARCHITECTURAL DRAWINGS FOR LOCATION. SEE WATER RISER DIAGRAM SHEET P-10. EXTEND PIPING FROM METER TO EXISTING PIPING AS INDICATED.
5. RE-INSTALL EXISTING 2-COMPARTMENT KITCHEN SINK TO NEW COUNTERTOP WITH NEW SCREWS AND CLIPS. PROVIDE P-TRAP, ANGLE SUPPLIES, HOT AND COLD WATER ROUGH-IN, DRAIN ROUGH-IN AND MAKE FINAL CONNECTION TO SINK.
6. PROVIDE VALVES AND FINAL CONNECTIONS TO WATER HEATER/HEATING UNIT AS INDICATED ON MECHANICAL DRAWINGS. MODIFY EXISTING PIPING AS NECESSARY TO SUIT ROUGH-IN REQUIREMENTS OF NEW UNIT.
7. PROVIDE 5'-0" LONG BATHTUB, SHOWER FAUCET, TUB WASTE, AND HOT WATER AND COLD WATER ROUGH-IN PIPING. SEE FIXTURE CONNECTION SCHEDULE (P-3).
8. PROVIDE WALL-MOUNTED LAVATORY, FAUCET, P-TRAP, ANGLE SUPPLIES, HOT WATER AND COLD WATER ROUGH-IN PIPING AND DRAIN ROUGH-IN PIPING. SEE FIXTURE CONNECTION SCHEDULE (P-2).
9. PROVIDE 18" HIGH FLOOR MOUNTED, FLUSH TANK WATER CLOSET, SEAT ANGLE SUPPLY, COLD WATER ROUGH-IN AND DRAIN ROUGH-IN PIPING. SEE FIXTURE CONNECTION SCHEDULE (P-11).
10. EXISTING 3" VENT THRU ROOF.
11. PROVIDE PIPE INSULATION FROM WATER HEATER CONNECTION TO KITCHEN AND BATH FIXTURE CONNECTIONS.
12. PROVIDE 1/2" UPRIGHT SPRINKLER HEAD, 3/4" CHECK VALVE AND 3/4" PIPING FROM SPRINKLER HEAD TO EXISTING COLD WATER PIPING. INSTALL IN ACCORDANCE WITH NFPA 13.

**NOTES THIS SHEET**

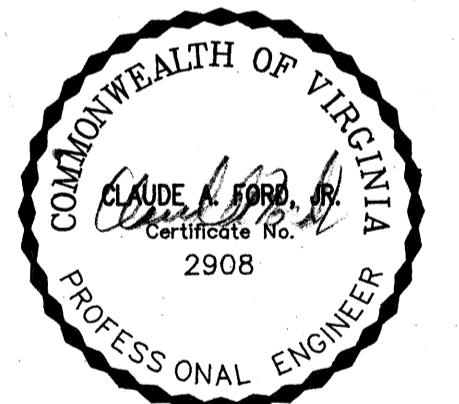
1. FOR LEGEND SEE SHEET P4.
2. FOR GENERAL NOTES, SEE SHEET P4.
3. FOR FIXTURE CONNECTION SCHEDULE, SEE SHEET P6.
4. FOR WATER HEATER/HEATING UNIT DETAIL, SEE SHEET M19.

**ABATEMENT NOTE**

PLUMBING PIPE INSULATION HAS BEEN TESTED AND IS KNOWN TO CONTAIN ASBESTOS MATERIALS. ALL PIPES INDICATED FOR REMOVAL SHALL BE ABATED OF ASBESTOS MATERIAL IN ACCORDANCE WITH SPECIFICATION SECTION 02080 BY THE ABATEMENT CONTRACTOR.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS NEWPORT NEWS, VA

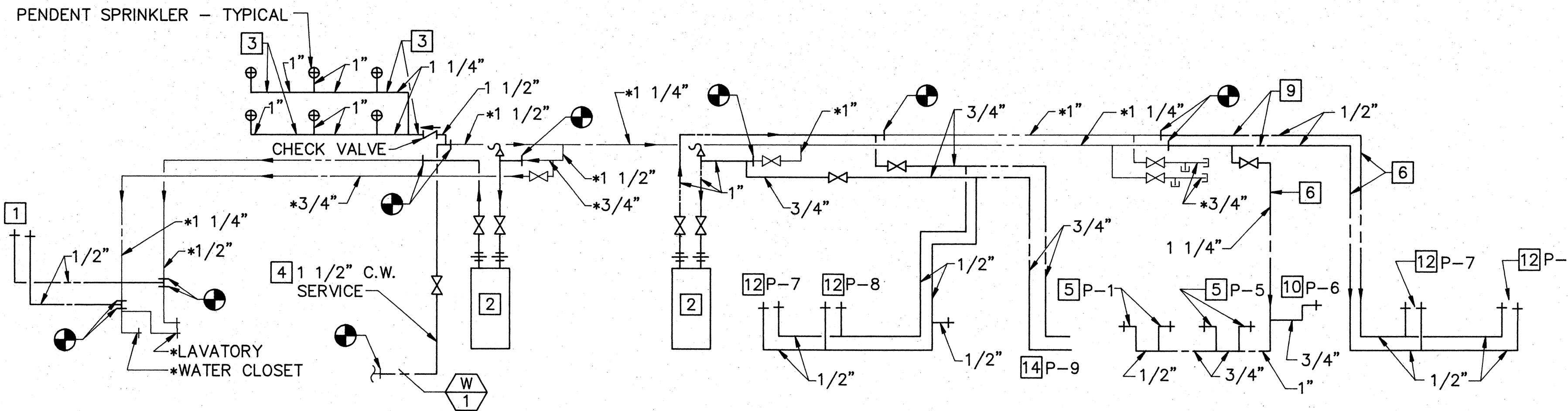


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|---|------------------|
| Designed:   | T.L.M.           |
| Drawn:  | D.P.M.           |
| Checked:  | C.A.F.           |
| Scale:  | AS NOTED         |
| Date:   | JANUARY 31, 1992 |
| File No:  |                  |
| Project No:   | 90006            |
| BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK / HANDICAPPED CONVERSION) |                  |
| Sheet No:   | P12              |
| of  | Sheets           |

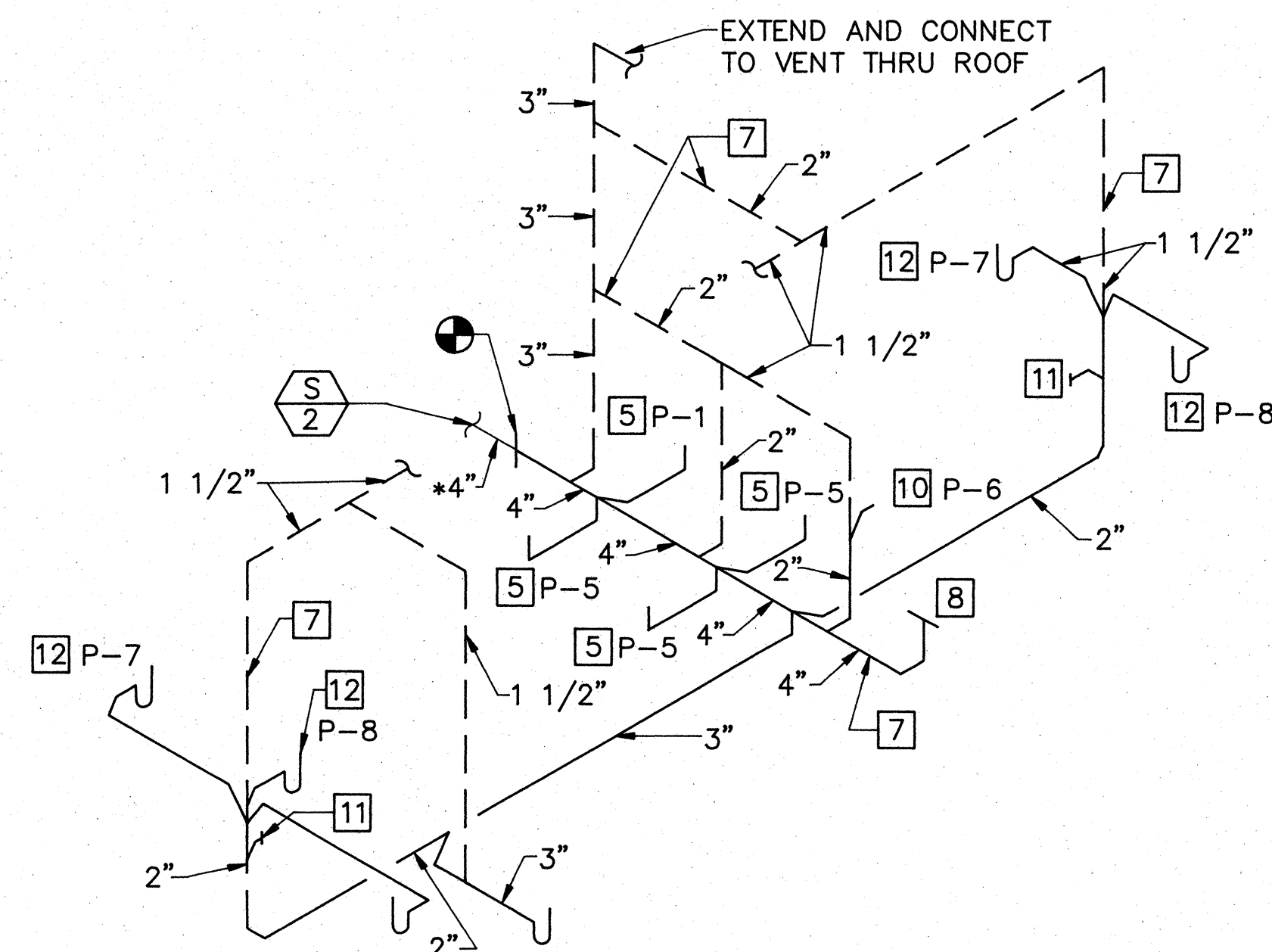


**NOTES THIS SHEET**

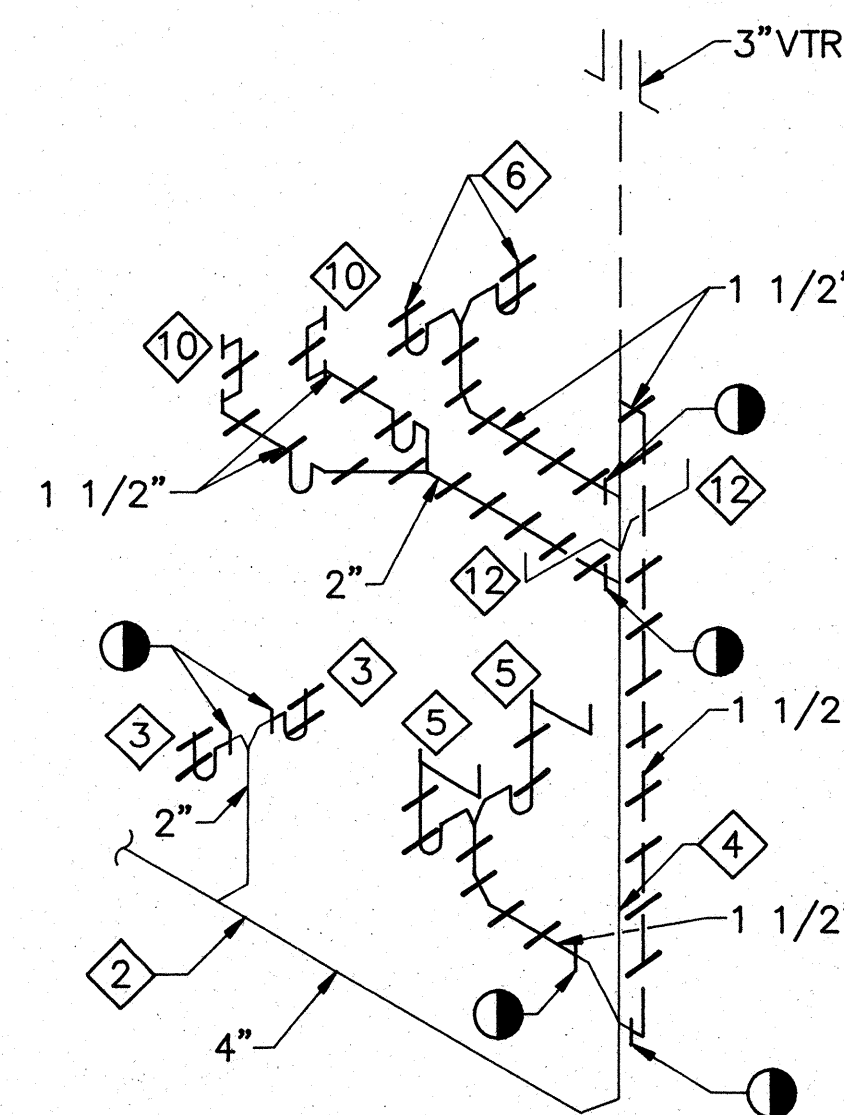
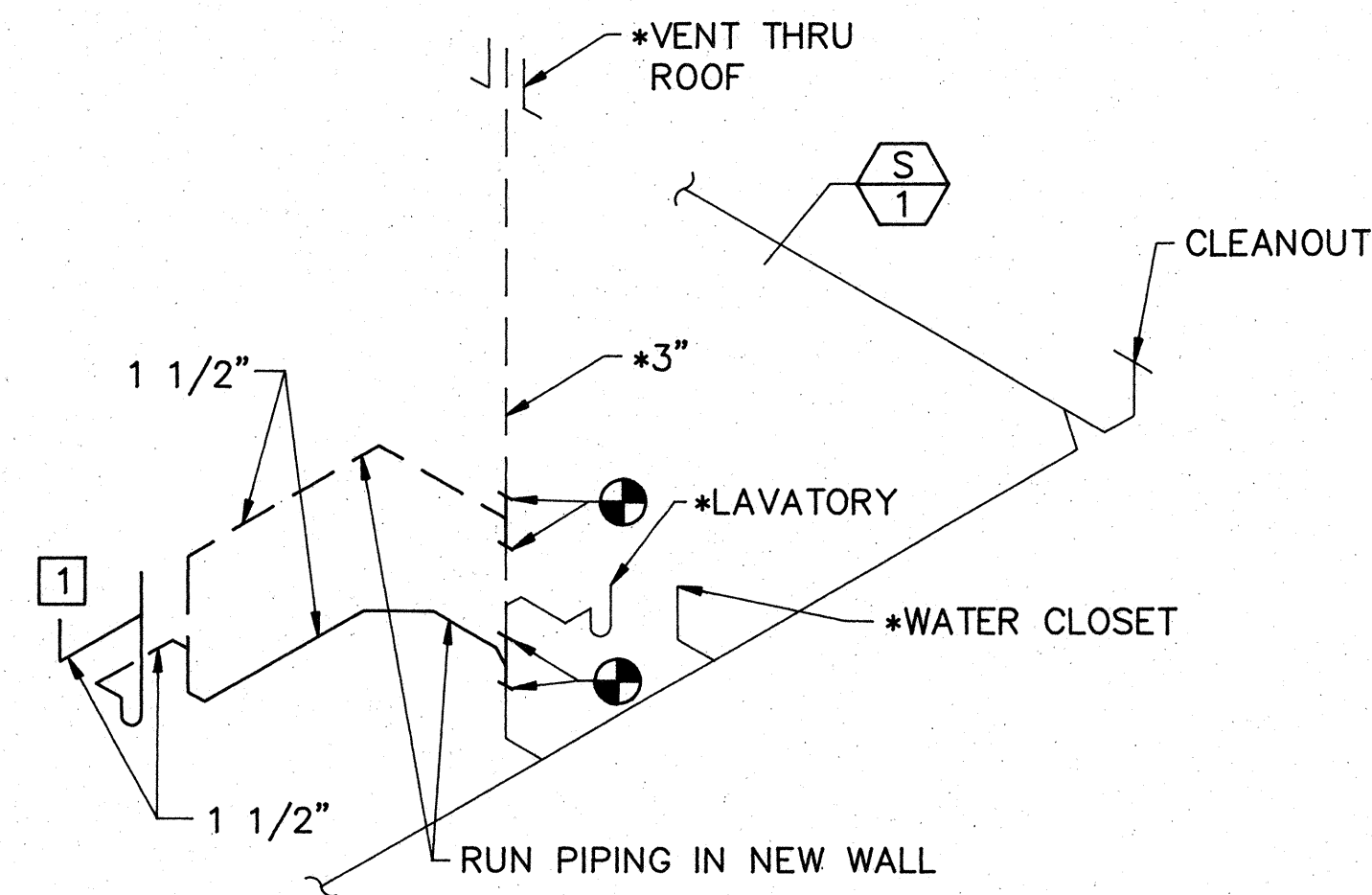
1. FOR LEGEND, SEE SHEET P4.
2. FOR GENERAL NOTES, SEE SHEET P4.
3. FOR FIXTURE CONNECTION SCHEDULE, SEE SHEET P6.
4. FOR WATER HEATER/HEATING UNIT SCHEDULE, SEE SHEET M19.
5. SEE SHEET P13 FOR PLUMBING FLOOR PLAN, RECREATION BUILDING.
6. SEE SHEETS P9 & P20 FOR PLUMBING FLOOR PLAN - BUILDING D4.



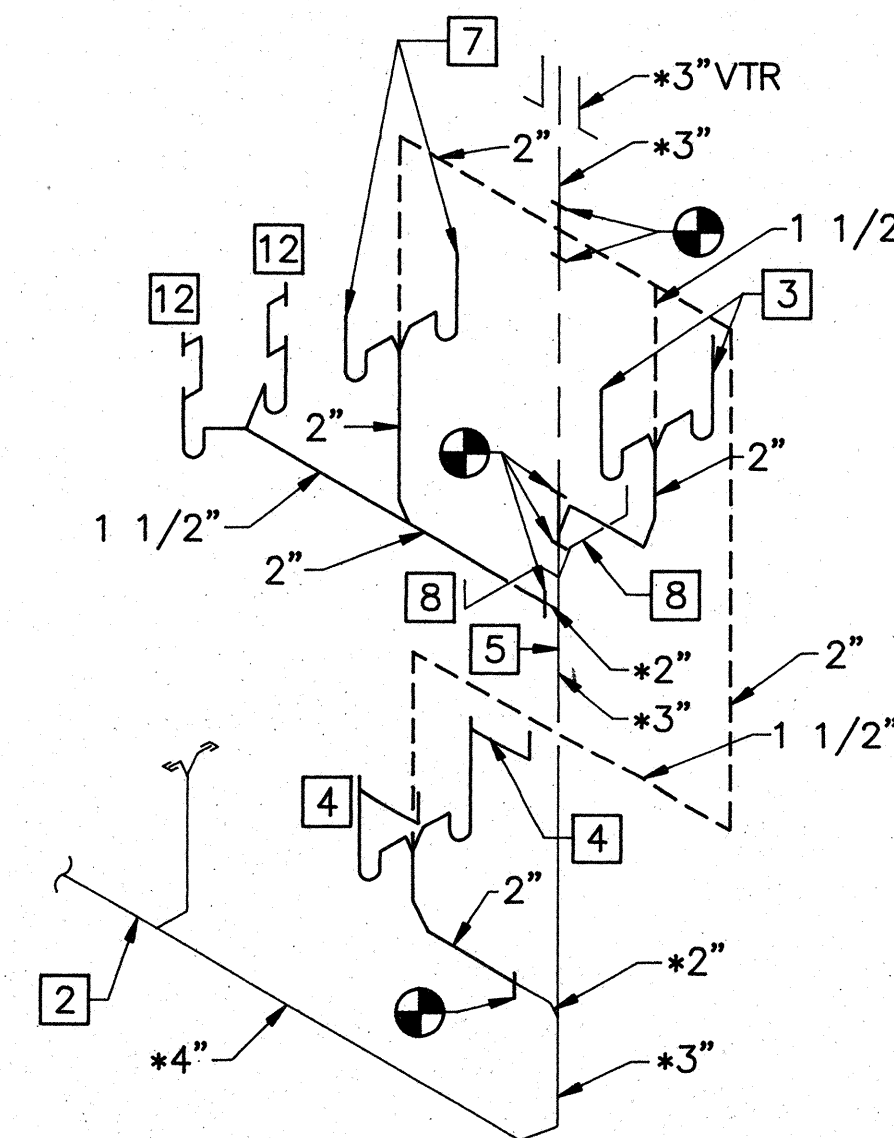
**WATER RISER DIAGRAM - RECREATION BUILDING**  
NOT TO SCALE



**WASTE RISER DIAGRAMS RECREATION BUILDING**  
NOT TO SCALE



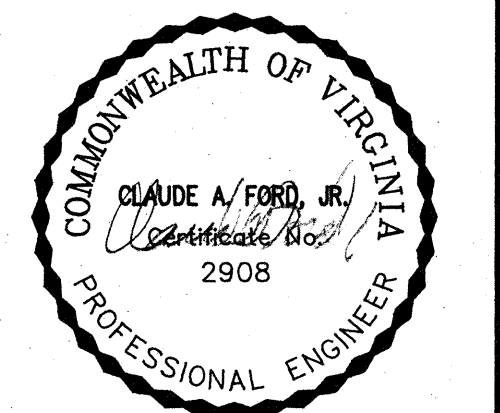
**WASTE DEMOLITION DIAGRAM - BUILDING D4**  
NOT TO SCALE



**WASTE RISER DIAGRAM - BUILDING D4**  
NOT TO SCALE



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS  
NEWPORT NEWS, VA

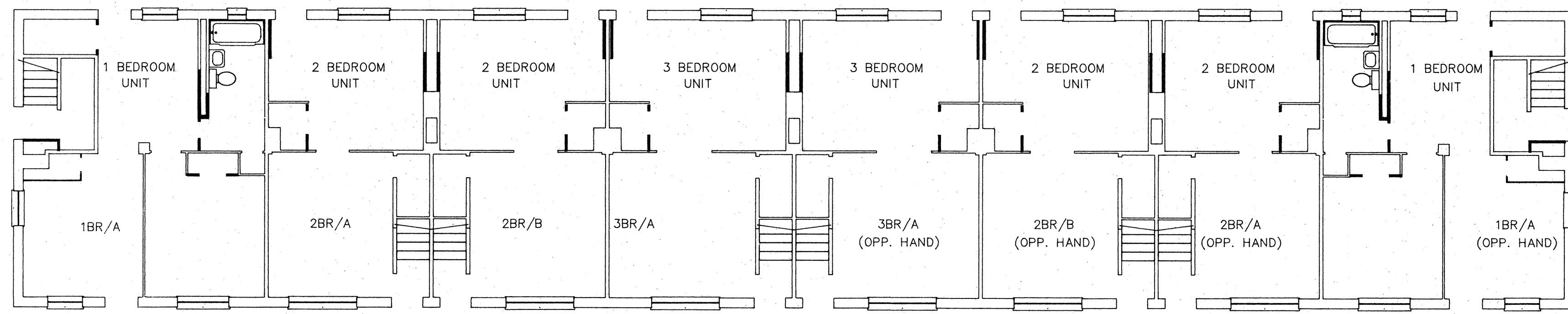


Designed: T.L.M.  
Drawn: D.P.M.  
Checked: C.A.F.  
Scale: AS NOTED  
Date: JANUARY 31 1992  
File No:  
Project No: 90006

RECREATION BUILDING & TYPE D4 RISER DIAGRAMS

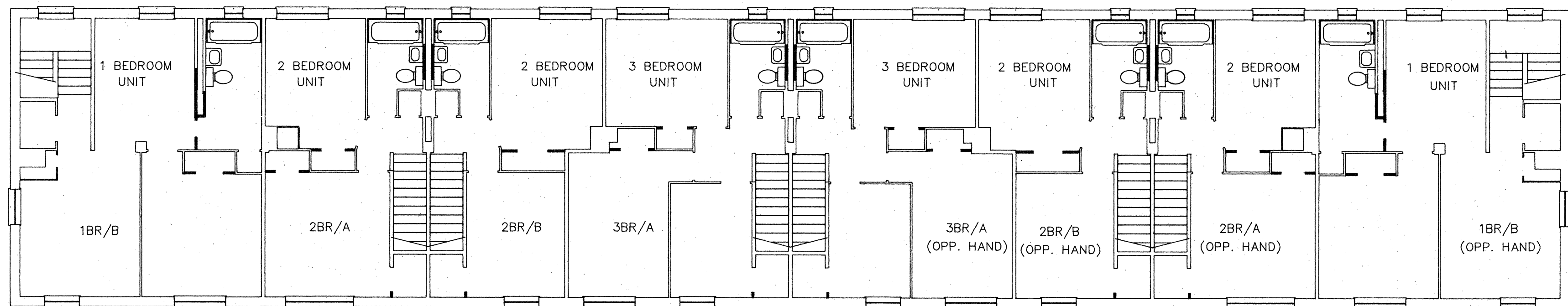
Sheet No: **P14**  
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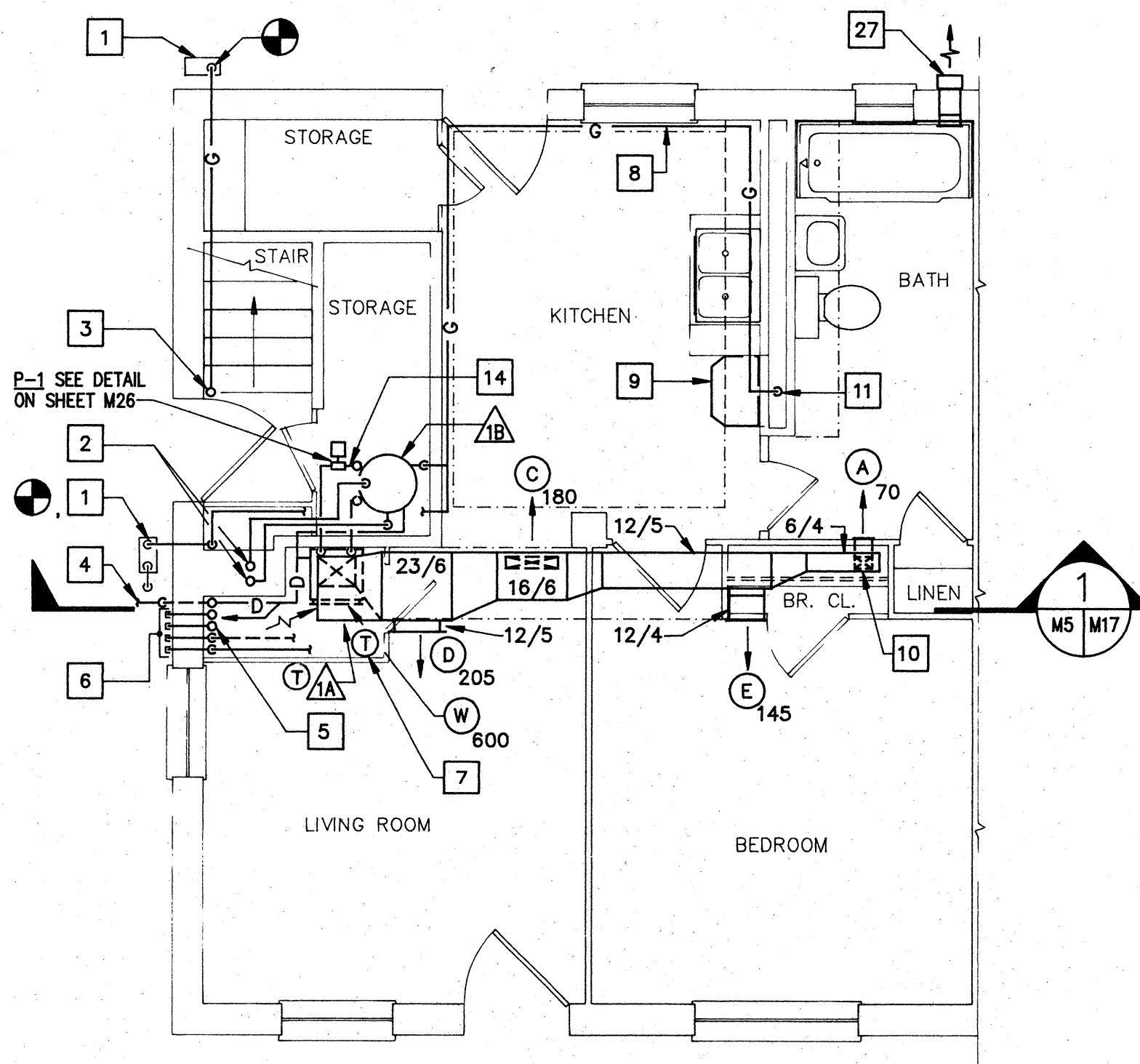
**FIRST FLOOR PLAN - BUILDING "B"**

SCALE: 1/8" = 1'-0"



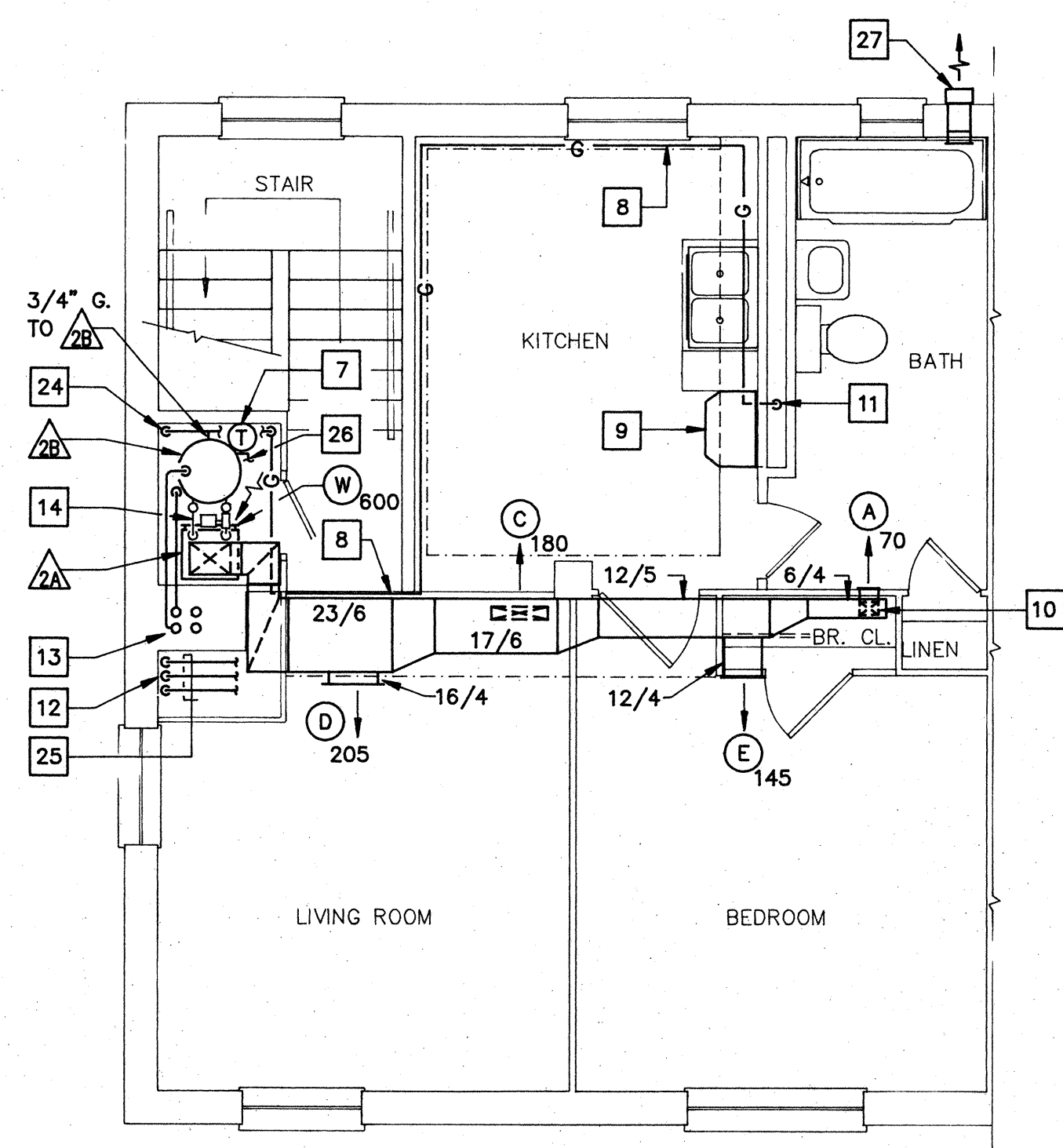
**SECOND FLOOR PLAN - BUILDING "B"**

SCALE: 1/8" = 1'-0"



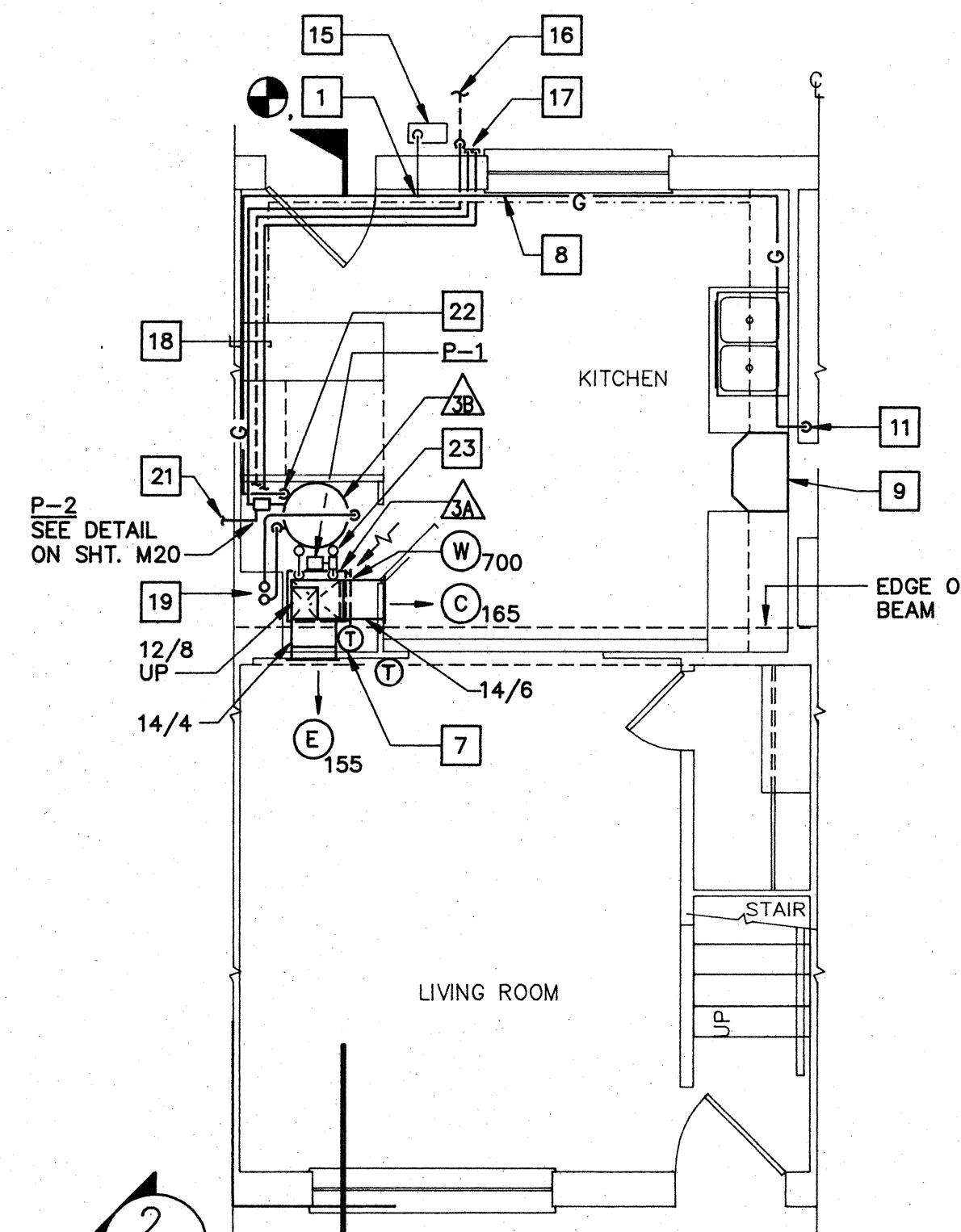
**1ST FL. - UNIT 1BR/A**

SCALE: 1/4" = 1'-0"



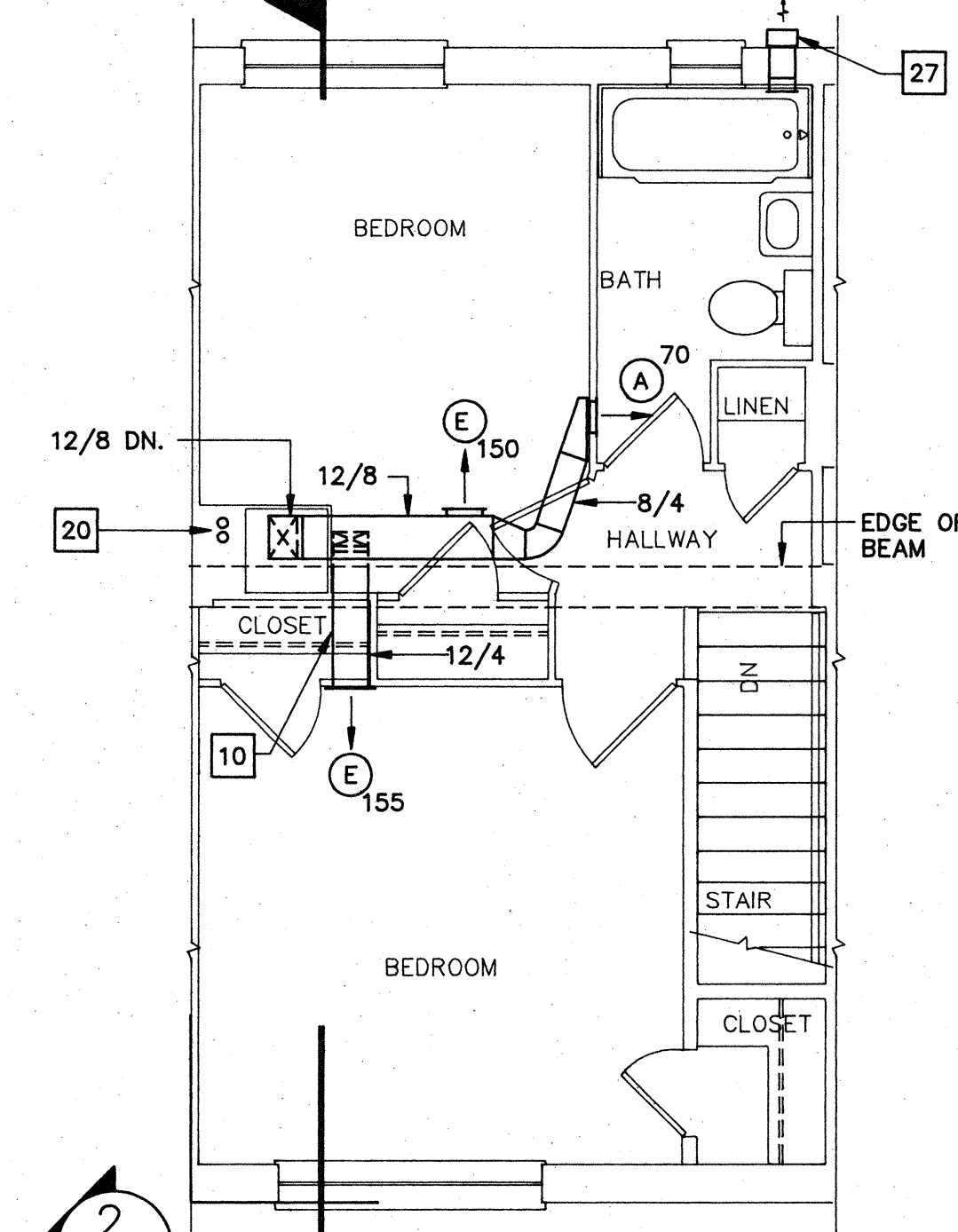
**2ND FL. - UNIT 1BR/B**

SCALE: 1/4" = 1'-0"



**1ST FL. - UNIT 2BR/A**

SCALE: 1/4" = 1'-0"



**2ND FL. - UNIT 2BR/A**

SCALE: 1/4" = 1'-0"

**NEW WORK NOTES**

1. CONNECT 3/4" GAS PIPING TO EXISTING GAS METER AT POINT INDICATED.
2. 2" PLASTIC FLUE AND INTAKE PIPING UP IN EXISTING CHIMNEY. SEE 2ND FLOOR - UNIT 1BR/B FLOOR PLAN FOR CONTINUATION. SEE DETAIL ON SHEET A7.
3. 3/4" GAS PIPING UP TO SECOND FLOOR ALONG WALL. SEE 2ND FLOOR - UNIT 1BR/B FLOOR PLAN FOR CONTINUATION.
4. 3/4" CONDENSATE DRAIN PIPING UNDERGROUND TO DRY WELL. SEE DETAIL ON SHEET M20.
5. 3/4" DRAIN, 3/8" O.D. RL AND 5/8" O.D. RS UP. SEE 2ND FLOOR - UNIT 1BR/B FLOOR PLAN FOR CONTINUATION.
6. CAP 2 EACH 3/8" O.D. RL AND 2 EACH 5/8" O.D. RS AT EXTERIOR FACE OF WALL.
7. PROVIDE WALL MOUNTED TEMPERATURE CONTROLLER. SEE DETAIL ON SHEET M19.
8. RUN 3/4" GAS LINE IN SOFFIT.
9. PROVIDE STAINLESS STEEL DUCTLESS RANGE EXHAUST HOOD WITH 2 SPEED FAN AND LAMP.
10. TURN DUCT DOWN UNDER BEAM. BOTTOM OF BEAM IS 7"-2".
11. 3/4" GAS DOWN IN CHASE. CONNECT TO EXISTING GAS RANGE STOVE. PROVIDE GAS COCK AND FLEXIBLE PIPE CONNECTOR.
12. 3/4" CONDENSATE DRAIN, 3/8" O.D. RL AND 5/8" O.D. RS PIPING DOWN TO 1ST FLOOR. SEE 1ST FL - UNIT 1BR/A FOR CONTINUATION.
13. 2" PLASTIC FLUE AND INTAKE PIPING UP IN EXISTING CHIMNEY. TERMINATE 36" ABOVE ROOF LINE. SEE DETAIL SHEET A7.
14. 3/4" HS AND HR, TO FAN COIL UNIT. SEE DETAIL ON SHEET M19.
15. EXISTING GAS METER.
16. 3/4" PUMPED CONDENSATE DRAIN PIPING UNDERGROUND TO DRY WELL. SEE DETAIL ON SHEET M17.
17. CAP 3/8" O.D. RL AND 5/8" O.D. RS AT EXTERIOR FACE OF WALL. SEE DETAIL ON SHEET M20.
18. 3/4" PUMPED CONDENSATE DRAIN, 3/8" O.D. RL, 5/8" O.D. RS AND 3/4" GAS IN SOFFIT.
19. 2" PLASTIC FLUE AND INTAKE PIPING UP IN EXISTING CHIMNEY. SEE 2ND FL. - UNIT 2BR/A FLOOR PLAN FOR CONTINUATION.
20. 2" PLASTIC FLUE AND INTAKE PIPING UP IN EXISTING CHIMNEY. TERMINATE 36" ABOVE ROOF LINE. SEE DETAIL ON SHEET A7.
21. 3/4" CONDENSATE DRAIN FROM ADJACENT UNIT TO CONDENSATE PUMP. SEE DETAIL ON SHEET M20.
22. 3/4" GAS PIPE DOWN. CONNECT TO WATER HEATER.
23. 3/4" HS & HR PIPING TO HOT WATER COIL. SEE DETAIL ON SHEET M19.
24. 3/4" GAS DOWN.
25. 3/4" CONDENSATE DRAIN, 3/8" O.D. RL AND 5/8" O.D. RS PIPING RUN BEHIND METAL ENCLOSURE AND CONNECT TO FAN COIL UNIT.
26. 3/4" D. CONNECT TO FAN COIL UNIT DRAIN. SEE DETAIL ON SHEET M19.
27. EF-6, SEE DETAIL ON SHEET M-17.

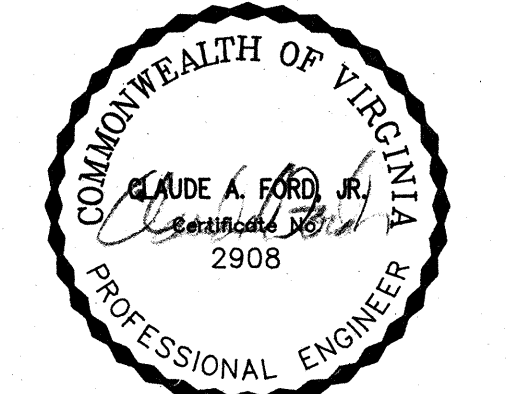
**GENERAL NOTES**

1. REFER TO SHEET M18 FOR LEGEND.
2. ENLARGED 1/4" FLOOR PLANS INDICATE TYPICAL WORK FOR ALL SIMILAR AND OPPOSITE HAND UNITS. REFER TO FLOOR PLANS FOR UNIT TYPES.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

NEWPORT NEWS, VA

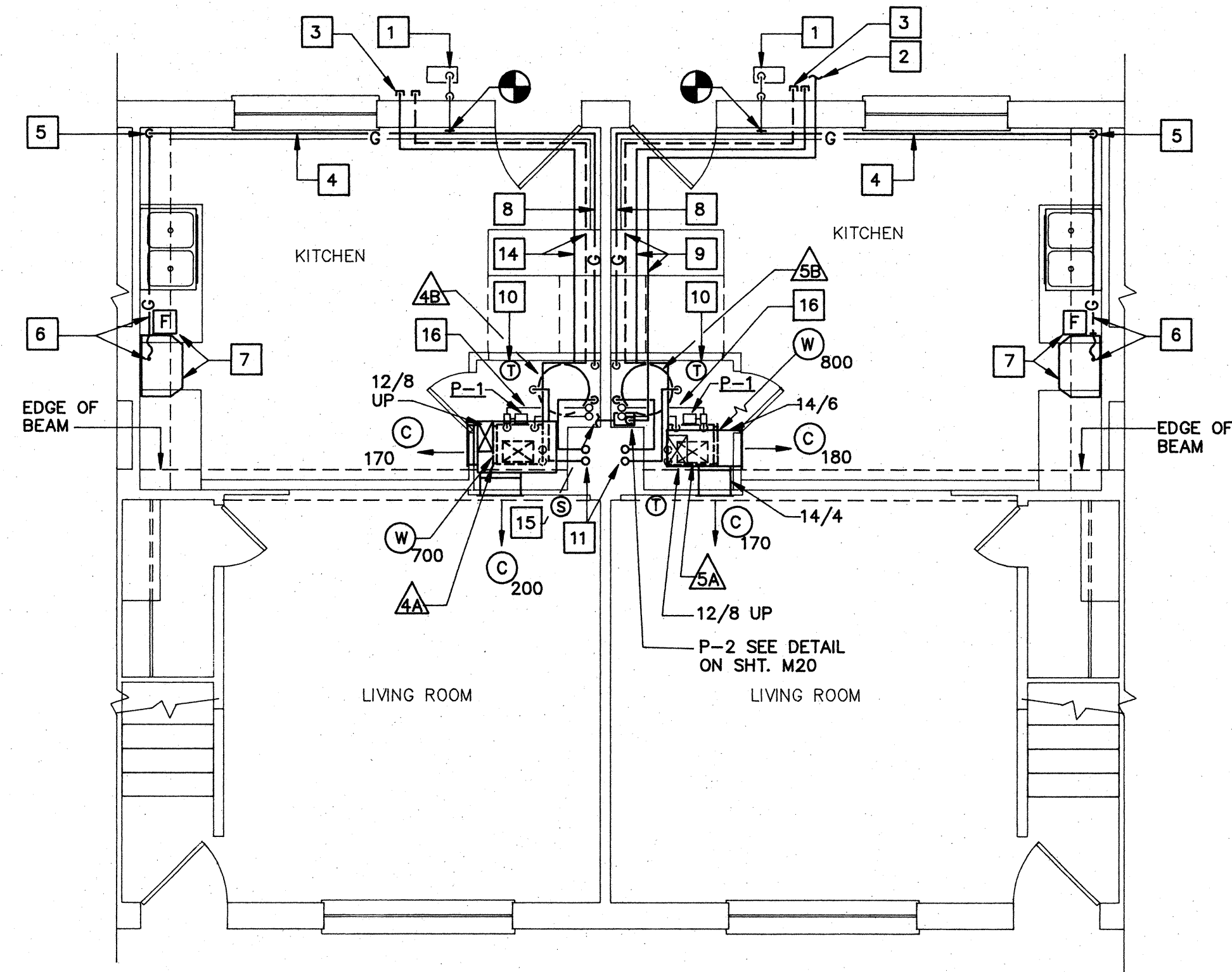


Designed: MAC  
 Drawn: BKS  
 Checked: CAF  
 Scale: NOTED  
 Date: JANUARY 31, 1992  
 File No:  
 Project No: 90006

BUILDING TYPE B - FLOOR PLANS (NEW WORK)

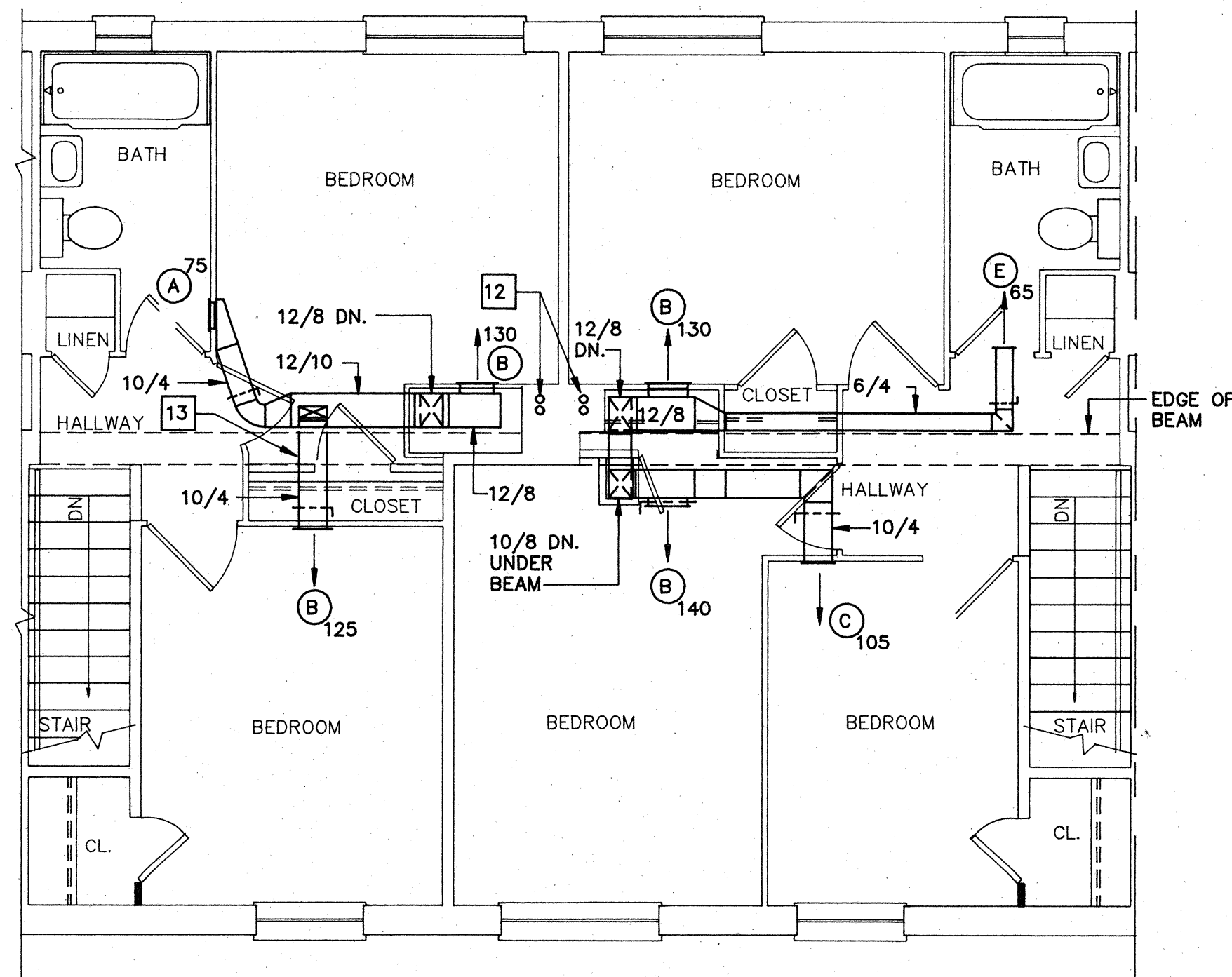
Sheet No: **M5**  
 of Sheets





**1ST FL. - UNIT 2BR/B & 3BR/A**

SCALE: 1/4" = 1'-0"



**2ND FL. - UNIT 2BR/B & 3BR/A**

SCALE: 1/4" = 1'-0"

**NEW WORK NOTES**

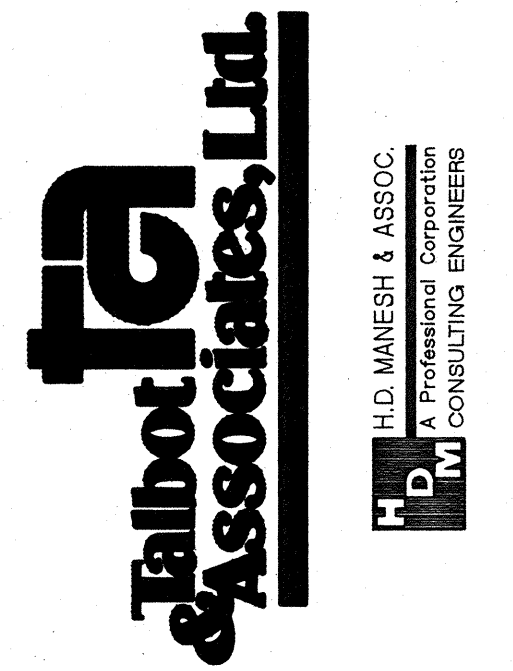
1. CONNECT 3/4" GAS PIPING TO EXISTING GAS PIPING AT POINT INDICATED.
2. 3/4" CONDENSATE DRAIN PIPING UNDERGROUND TO DRY WELL. SEE DETAIL ON SHEET M26.
3. CAP 3/8" O.D. RL AND 5/8" O.D. RS AT EXTERIOR FACE OF WALL. SEE DETAIL ON SHEET M20.
4. RUN 3/4" GAS PIPING IN SOFFIT.
5. 3/4" GAS DN. IN CORNER.
6. RUN 3/4" GAS PIPING ALONG WALL BEHIND COUNTER. CONNECT TO EXISTING GAS RANGE STOVE. PROVIDE GAS COCK AND FLEXIBLE PIPE CONNECTOR.
7. PROVIDE STAINLESS STEEL DUCTLESS RANGE EXHAUST HOOD. 2 SPEED FAN AND LAMP. MOUNT UNDER CABINET.
8. RUN 3/4" GAS PIPING IN SOFFIT AND CONNECT TO WATER HEATER.
9. RUN 3/8" O.D. RL, 5/8" O.D. RS AND 3/4" PUMPED CONDENSATE DRAIN PIPING IN SOFFIT AT CEILING. SEE DETAIL ON SHEET M20.
10. PROVIDE WALL MOUNTED TEMPERATURE CONTROLLER. SEE DETAIL ON SHEET M19.
11. 2" PLASTIC FLUE AND INTAKE PIPING UP IN EXISTING CHIMNEY. SEE 2ND FL. - UNIT 2BR/B AND 3BR/A FLOOR PLAN FOR CONTINUATION.
12. 2" PLASTIC FLUE AND INTAKE PIPING UP IN EXISTING CHIMNEY. TERMINATE 36" ABOVE ROOF LINE. SEE DETAIL ON SHEET A7.
13. TURN 10"x 4" DUCT DOWN UNDER BEAM. HOLD TIGHT TO UNDERSIDE OF BEAM.
14. RUN 3/8" O.D. RL & 5/8" O.D. RS IN SOFFIT AT CEILING.
15. 3/4" CONDENSATE DRAIN TO CONDENSATE PUMP.
16. 3/4" HS & HR PIPING TO HOT WATER COIL. SEE DETAIL ON SHEET M19.
17. EF-6, SEE DETAIL ON SHEET M-17.

**GENERAL NOTES**

1. REFER TO SHEET M18 FOR LEGEND.
2. ENLARGED 1/4" FLOOR PLANS INDICATE TYPICAL WORK FOR ALL SIMILAR AND OPPOSITE HAND UNITS. REFER TO FLOOR PLANS FOR UNIT TYPES.

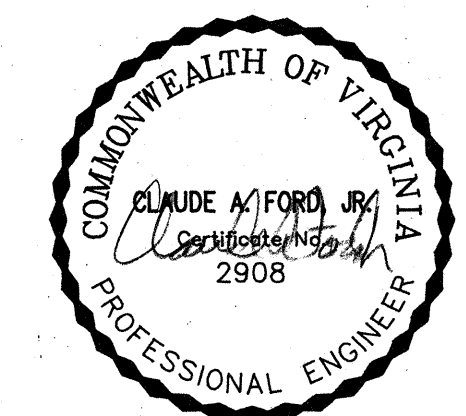
**ABATEMENT NOTE**

1. MECHANICAL EXPOSED PAINTED DUCTWORK HAS BEEN TESTED AND IS KNOWN TO CONTAIN LEAD BASED PAINT. ALL EXPOSED DUCTWORK INDICATED FOR REMOVAL SHALL BE REMOVED IN ACCORDANCE WITH SPECIFICATION SECTION 02090 BY THE ABATEMENT CONTRACTOR.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

NEWPORT NEWS, VA



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 Date: JANUARY 31, 1992  
 File No:  
 Project No: 90006

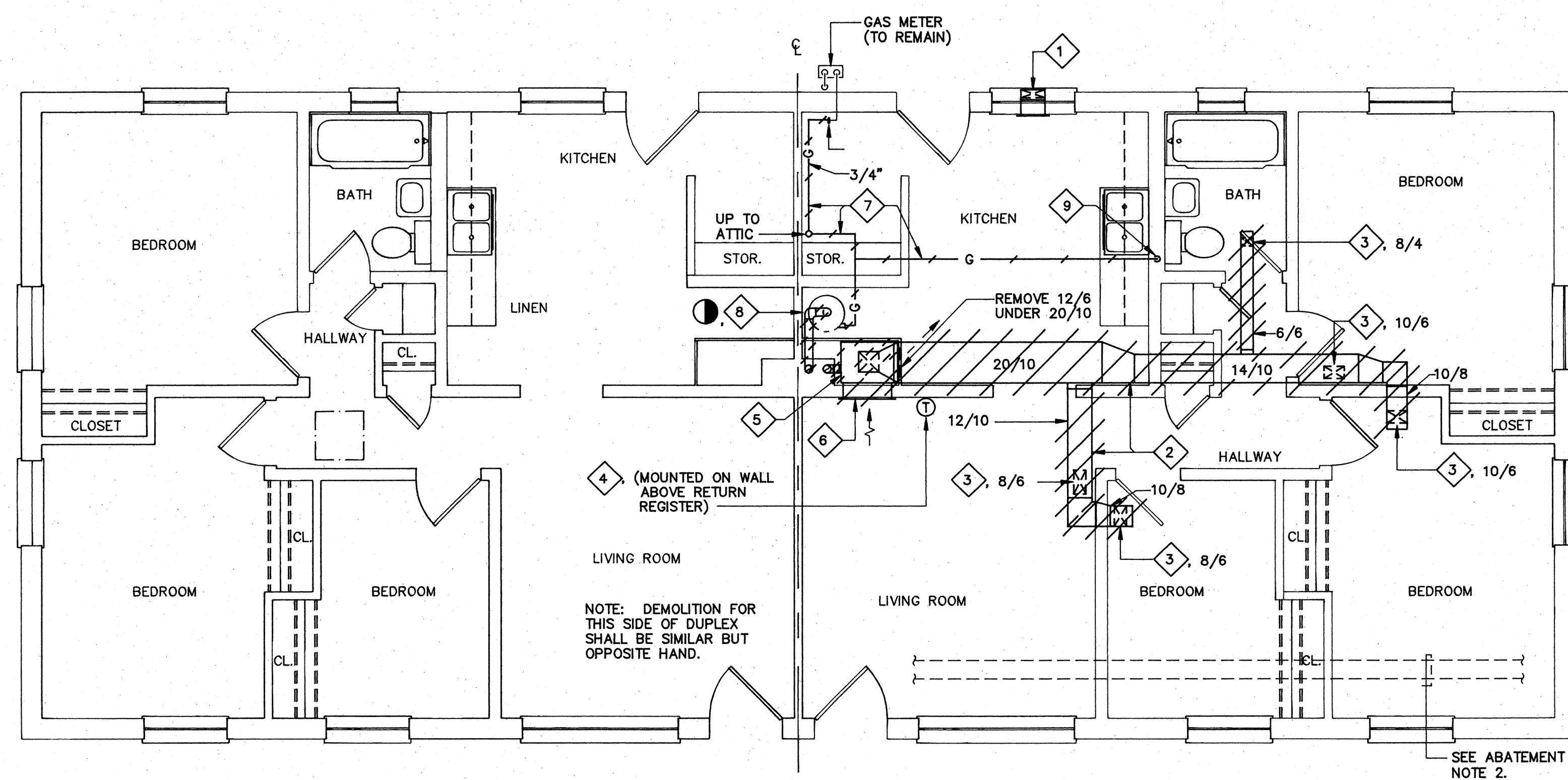
BUILDING TYPE B - FLOOR PLANS (NEW WORK)

Sheet No: **M6**  
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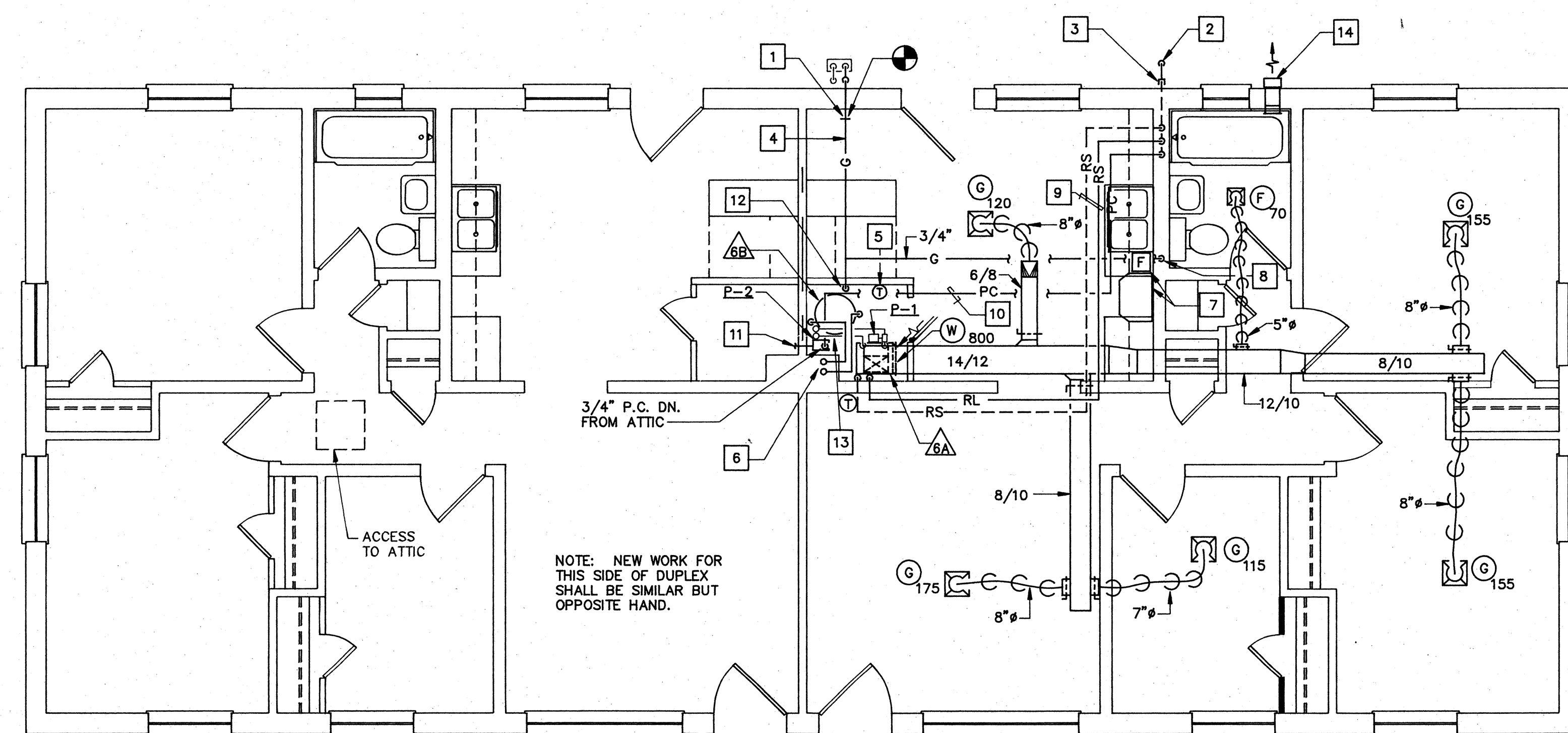






**FLOOR PLAN – BUILDING D3 (DEMOLITION)**

SCALE: 1/4" = 1'-0"



**FLOOR PLAN – BUILDING D3 (NEW WORK)**

SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES**

1. REMOVE COMBUSTION AIR INTAKE DUCT AND GRILLE.
2. REMOVE SUPPLY DUCTWORK IN ATTIC SPACE DUCT SIZES ARE APPROXIMATE.
3. REMOVE SUPPLY REGISTER SIZED AS MARKED.
4. REMOVE WALL MOUNTED THERMOSTAT AND WIRING COMPLETE.
5. REMOVE FURNACE & FLUE COMPLETE WITH ASSOCIATED EQUIPMENT.
6. REMOVE 24/14 RETURN REGISTER.
7. REMOVE 3/4" GAS PIPING AS INDICATED.
8. REMOVE 3/4" GAS PIPING & FLUE COMPLETE FROM DOMESTIC WATER HEATER.
9. REMOVE 3/4" GAS PIPING DN. IN WALL TO GAS RANGE.

**NEW WORK NOTES**

1. CONNECT 3/4" GAS PIPING TO EXISTING 3/4" GAS PIPING AT POINT INDICATED.
2. 3/4" CONDENSATE DRAIN PIPING UNDERGROUND TO DRYWELL. SEE DETAIL ON SHEET M20.
3. CAP 3/8" O.D. RL & 5/8" O.D. RL AT EXTERIOR FACE OF WALL. SEE DETAIL ON SHEET M17.
4. RUN 3/4" GAS PIPING IN ATTIC SPACE.
5. PROVIDE WALL MOUNTED TEMPERATURE CONTROLLER. SEE DETAIL ON SHEET M19.
6. 2" PLASTIC FLUE AND INTAKE PIPING UP IN EXISTING CHIMNEY. TERMINATE 36" ABOVE ROOF LINE. SEE DETAIL ON SHEET A7.
7. PROVIDE STAINLESS STEEL DUCTLESS RANGE EXHAUST HOOD 2-SPEED FAN AND LAMP. MOUNT UNDER CABINET.
8. 3/4" GAS PIPING TURN DOWN IN WALL. CONNECT TO EXISTING GAS RANGE STOVE. PROVIDE GAS COCK AND FLEXIBLE PIPE CONNECTOR.
9. RUN 3/8" O.D. RL AND 5/8" O.D. RS ABOVE CEILING. TURN DOWN ALONG WALL AND CONNECT TO FAN COIL UNIT.
10. RUN 3/4" PUMPED CONDENSATE DRAIN IN ATTIC SPACE.
11. 3/4" CONDENSATE DRAIN FROM ADJACENT UNIT TO CONDENSATE PUMP. SEE DETAIL ON SHEET M20.
12. 3/4" GAS PIPE DOWN. CONNECT TO WATER HEATER.
13. 3/4" HS & HR PIPING TO HOT WATER COIL. SEE DETAIL ON SHEET M19.
14. EF-6, SEE DETAIL ON SHEET M17.

**GENERAL NOTES**

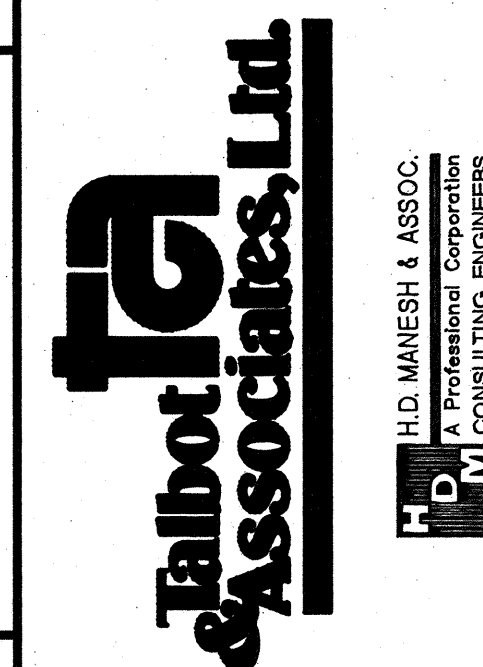
1. REFER TO SHEET M18 FOR LEGEND.
2. ENLARGED 1/4" FLOOR PLANS INDICATE TYPICAL WORK FOR ALL SIMILAR AND OPPOSITE HAND UNITS. REFER TO FLOOR PLANS FOR UNIT TYPES.

**ABATEMENT NOTES**

1. MECHANICAL EXPOSED PAINTED DUCTWORK HAS BEEN TESTED AND IS KNOWN TO CONTAIN LEAD BASED PAINT. ALL EXPOSED DUCTWORK INDICATED FOR REMOVAL SHALL BE REMOVED IN ACCORDANCE WITH SPECIFICATION SECTION 02090 BY THE ABATEMENT CONTRACTOR.
2. REMOVE ASBESTOS INSULATION FROM ABANDONED HYDRONIC HEATING PIPING IN ATTIC PER SPECIFICATION SECTION 02080. PIPING SHALL REMAIN IN ATTIC AND SHALL BE ENCAPSULATED PER SECTION 02080. WORK SHALL BE PERFORMED BY THE ABATEMENT CONTRACTOR.

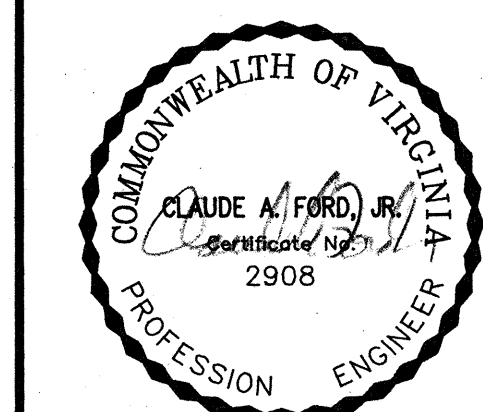
**DAY CARE CENTER**

1. MECHANICAL DEMOLITION AND NEW WORK INDICATED ON THIS SHEET SHALL BE TYPICAL OF THE DEMOLITION AND NEW WORK REQUIRED FOR THE DAY CARE CENTER LOCATED AT 770A AND 770B 35th STREET.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

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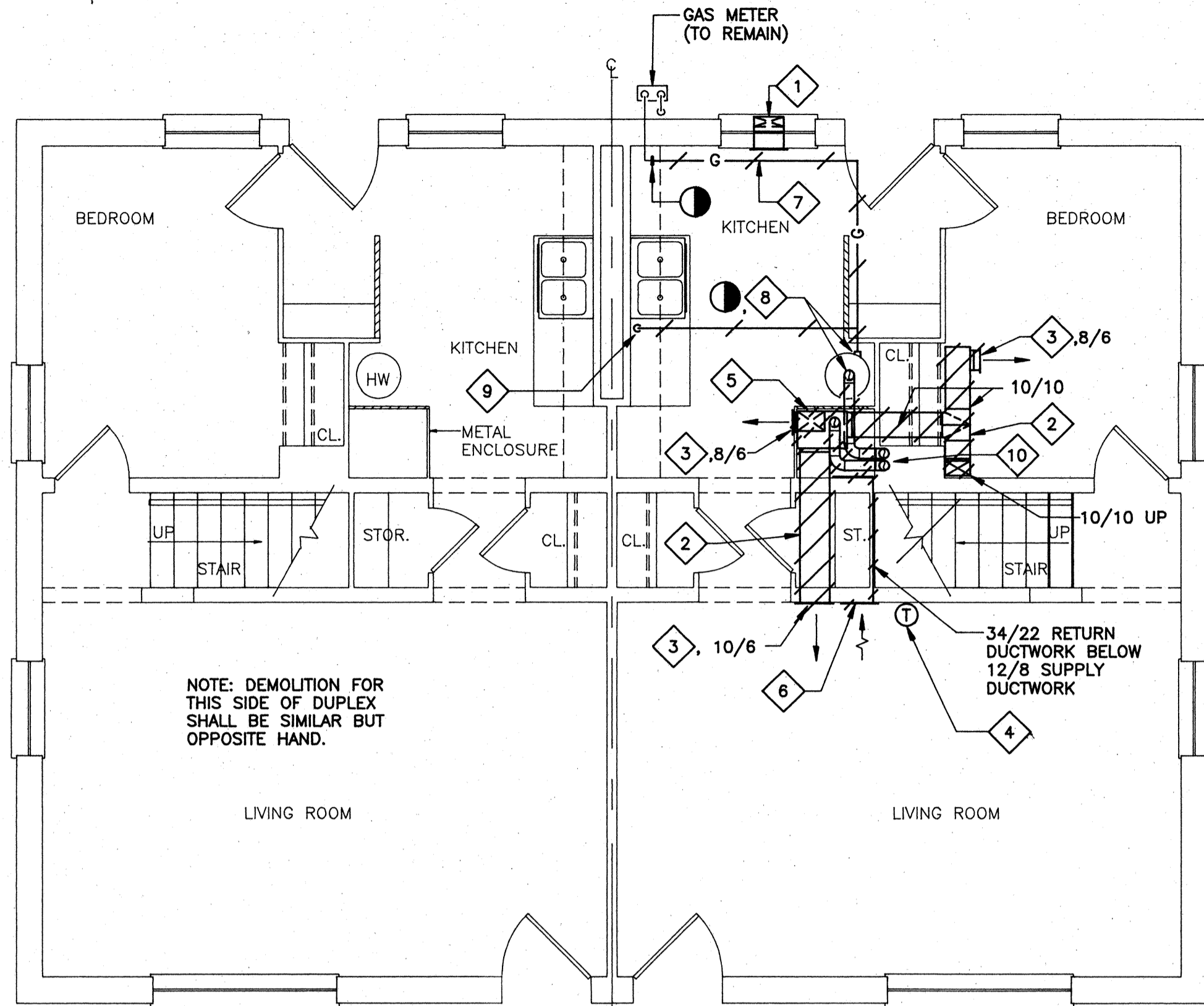


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BUILDING TYPE D3 – FLOOR PLANS (DEMOLITION & NEW WORK)

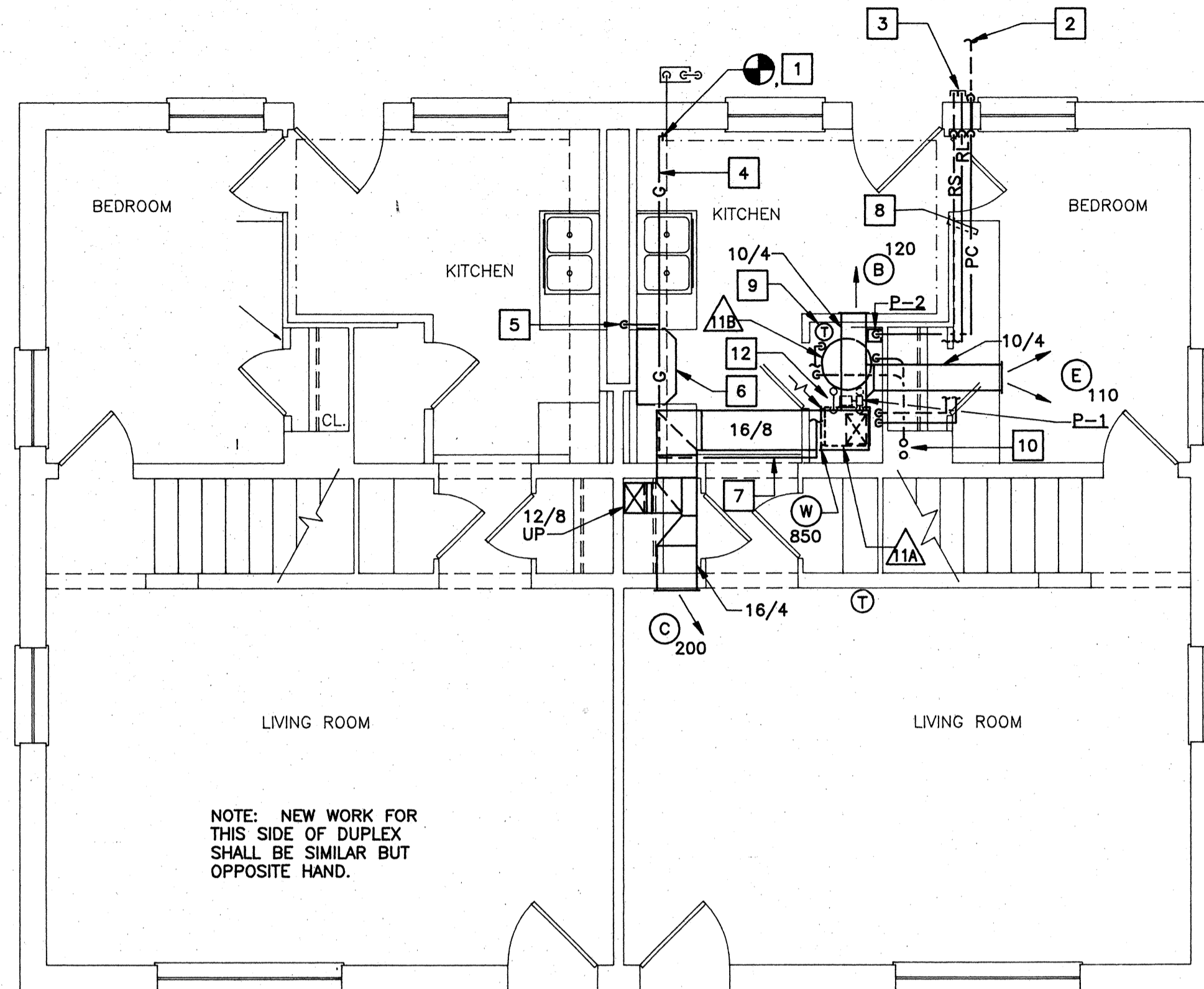
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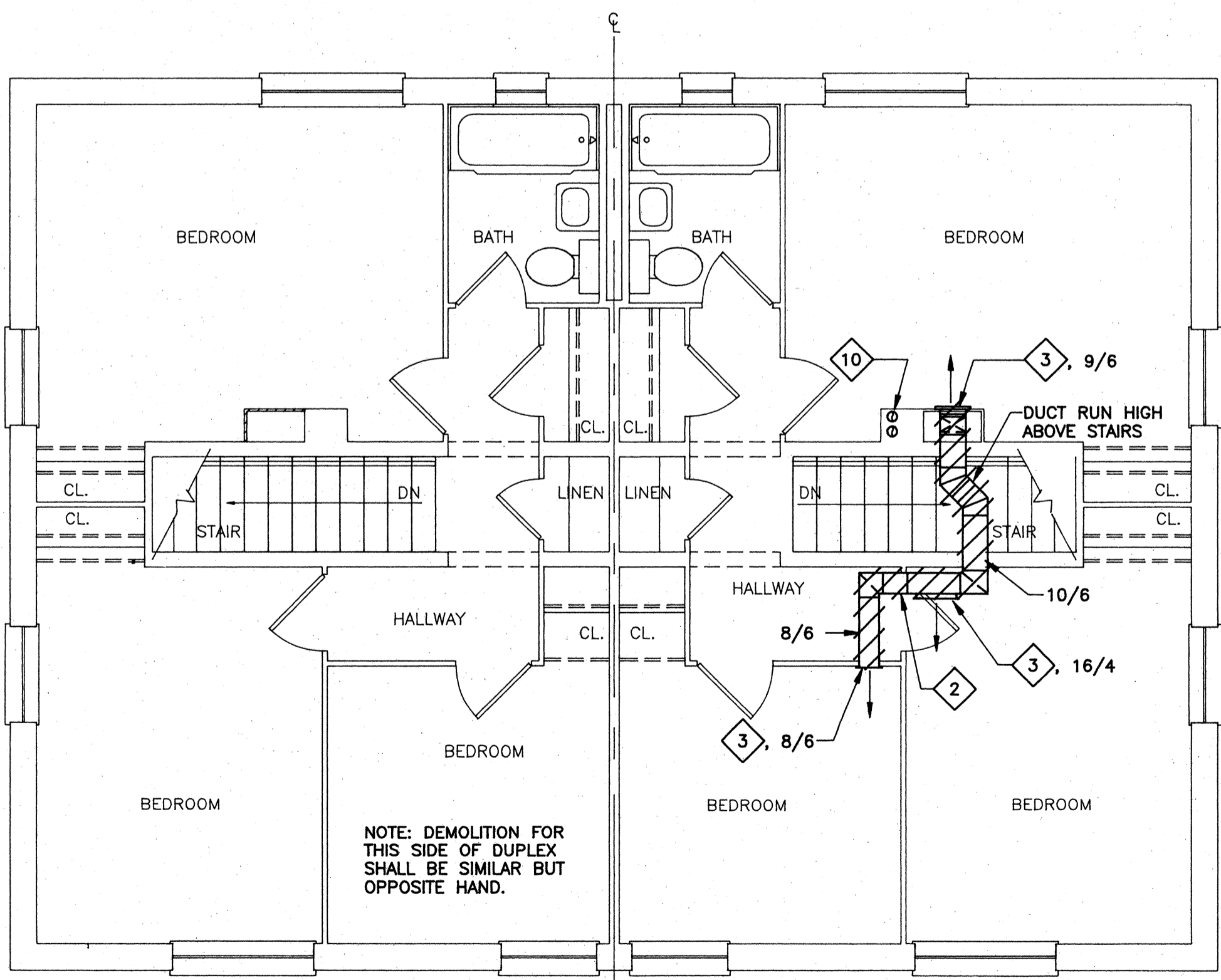
FIRST FLOOR PLAN - BLDG. D4 (DEMOLITION)

SCALE: 1/4" = 1'-0"



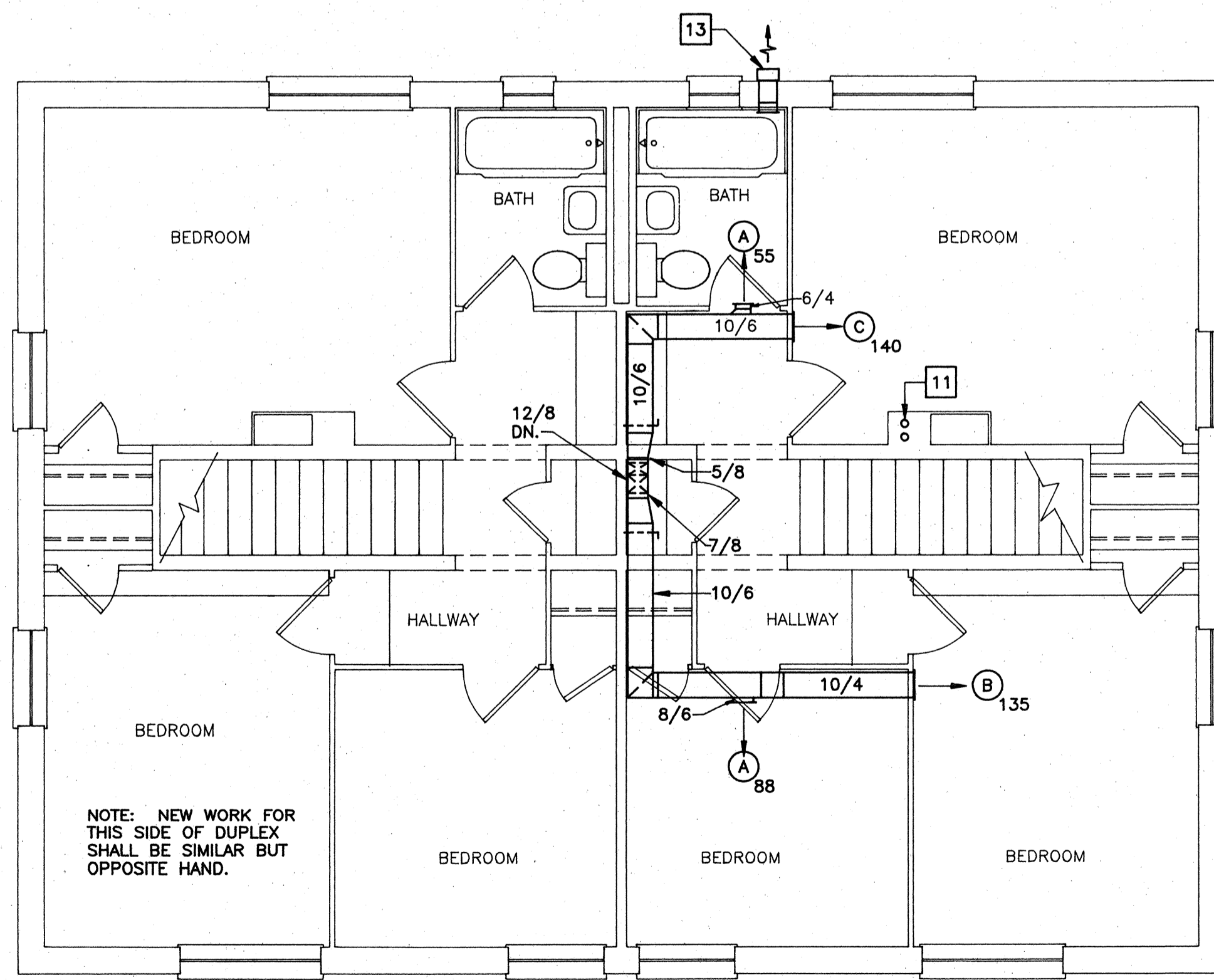
FIRST FLOOR PLAN - BLDG. D4 (NEW WORK)

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN - BLDG. D4 (DEMOLITION)

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN - BLDG. D4 (NEW WORK)

SCALE: 1/4" = 1'-0"

◇ DEMOLITION NOTES

1. REMOVE COMBUSTION AIR INTAKE DUCT AND GRILLE.
2. REMOVE SUPPLY DUCTWORK.
3. REMOVE SUPPLY REGISTER SIZED AS MARKED.
4. REMOVE THERMOSTAT AND WIRING.
5. REMOVE FURNACE FLUE COMPLETE WITH ASSOCIATED EQUIPMENT.
6. REMOVE 24/14 RETURN REGISTER.
7. REMOVE 3/4" GAS PIPING AS INDICATED.
8. REMOVE 3/4" GAS PIPING & FLUE COMPLETE FROM DOMESTIC WATER HEATER.
9. REMOVE 3/4" GAS PIPING DOWN TO RANGE.
10. REMOVE 4" Ø FLUE UP THRU CHASE TO ROOF.

□ NEW WORK NOTES

1. CONNECT 3/4" GAS PIPING TO EXISTING 3/4" GAS PIPING AT POINT INDICATED.
2. 3/4" CONDENSATE DRAIN PIPING UNDERGROUND TO DRY WELL. SEE DETAIL ON SHEET M20.
3. CAP 3/8" O.D. RL AND 5/8" O.D. RS AT EXTERIOR FACE OF WALL. SEE DETAIL ON SHEET M17.
4. RUN 3/4" GAS PIPING IN SOFFIT.
5. RUN 3/4" GAS PIPING DOWN IN CHASE. CONNECT TO EXISTING GAS RANGE STOVE. PROVIDE GAS COCK AND FLEXIBLE PIPE CONNECTOR.
6. PROVIDE STAINLESS STEEL DUCTLESS RANGE EXHAUST HOOD. 2 SPEED FAN AND LAMP. MOUNT UNDER CABINET.
7. RUN 3/4" GAS PIPING IN SOFFIT AND CONNECT TO WATER HEATER.
8. RUN 3/8" O.D. RL, 5/8" O.D. RS AND 3/4" PUMPED CONDENSATE DRAIN PIPING IN SOFFIT.
9. PROVIDE WALL MOUNTED TEMPERATURE CONTROLLER. SEE DETAIL ON SHEET M19.
10. 2" PLASTIC FLUE AND INTAKE PIPING UP IN EXISTING CHIMNEY. SEE SECOND FLOOR PLAN BLDG. D4 (NEW WORK) FOR CONTINUATION.
11. 2" PLASTIC FLUE AND INTAKE PIPING UP IN EXISTING CHIMNEY. TERMINATE 36" ABOVE ROOF LINE. SEE DETAIL ON SHEET A7.
12. 3/4" HS & HR PIPING TO HOT WATER COIL. SEE DETAIL ON SHEET M19.
13. EF-6, SEE DETAIL ON SHEET M17.

GENERAL NOTES

1. REFER TO SHEET M18 FOR LEGEND.
2. ENLARGED 1/4" FLOOR PLANS INDICATE TYPICAL WORK FOR ALL SIMILAR AND OPPOSITE HAND UNITS. REFER TO FLOOR PLANS FOR UNIT TYPES.

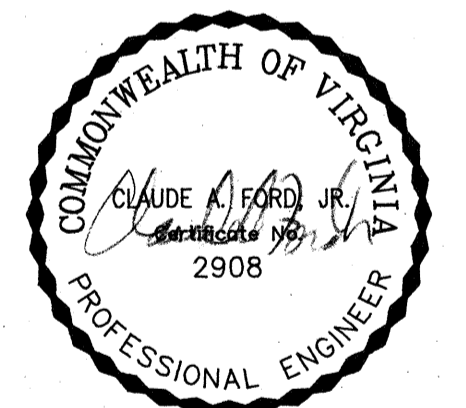
ABATEMENT NOTE

1. MECHANICAL EXPOSED PAINTED DUCTWORK HAS BEEN TESTED AND IS KNOWN TO CONTAIN LEAD BASED PAINT. ALL EXPOSED DUCTWORK INDICATED FOR REMOVAL SHALL BE REMOVED IN ACCORDANCE WITH SPECIFICATION SECTION 02090 BY THE ABATEMENT CONTRACTOR.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

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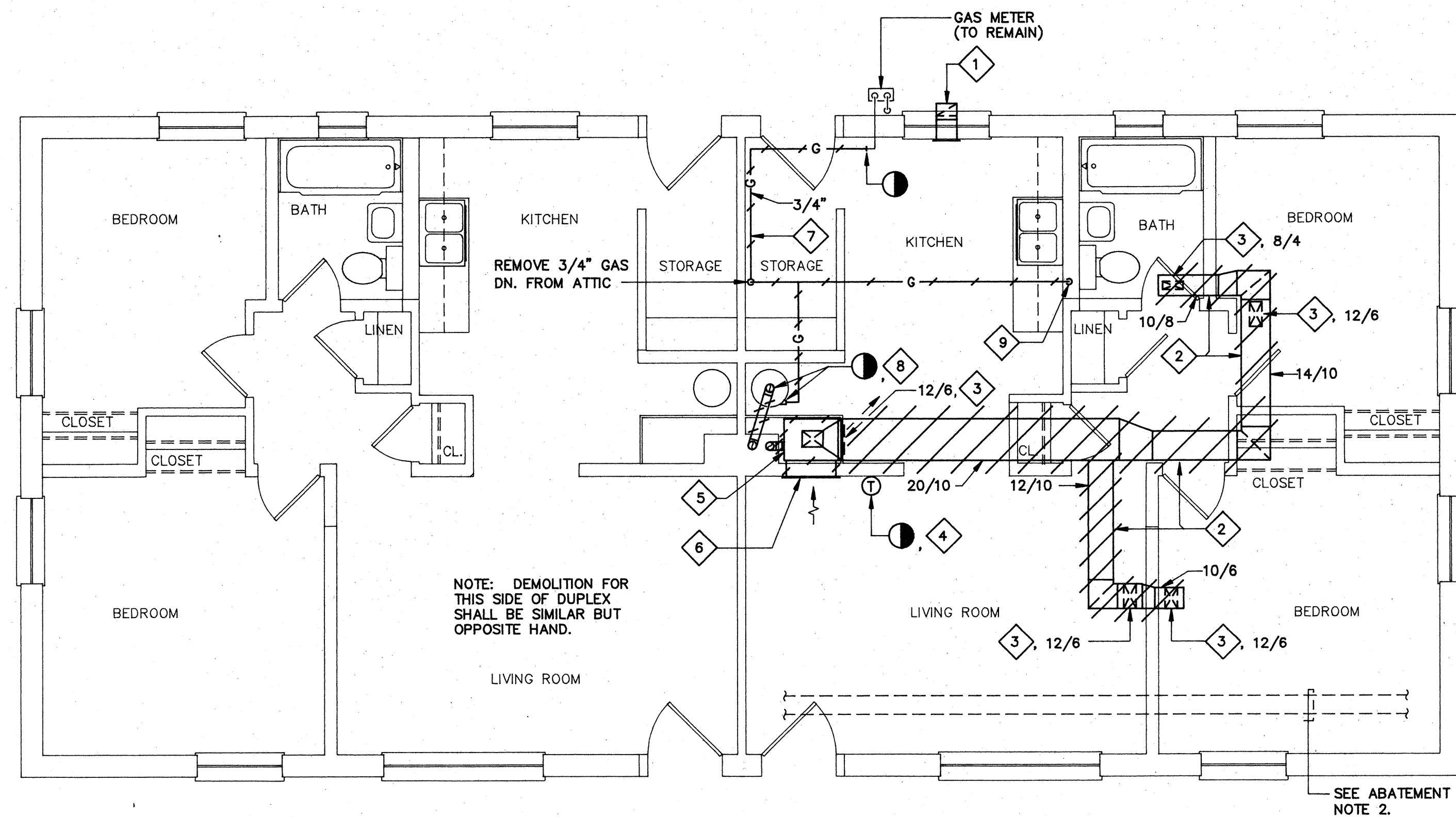


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 Project No: 90006

BUILDING TYPE D4 - FLOOR PLANS (DEMOLITION & NEW WORK)

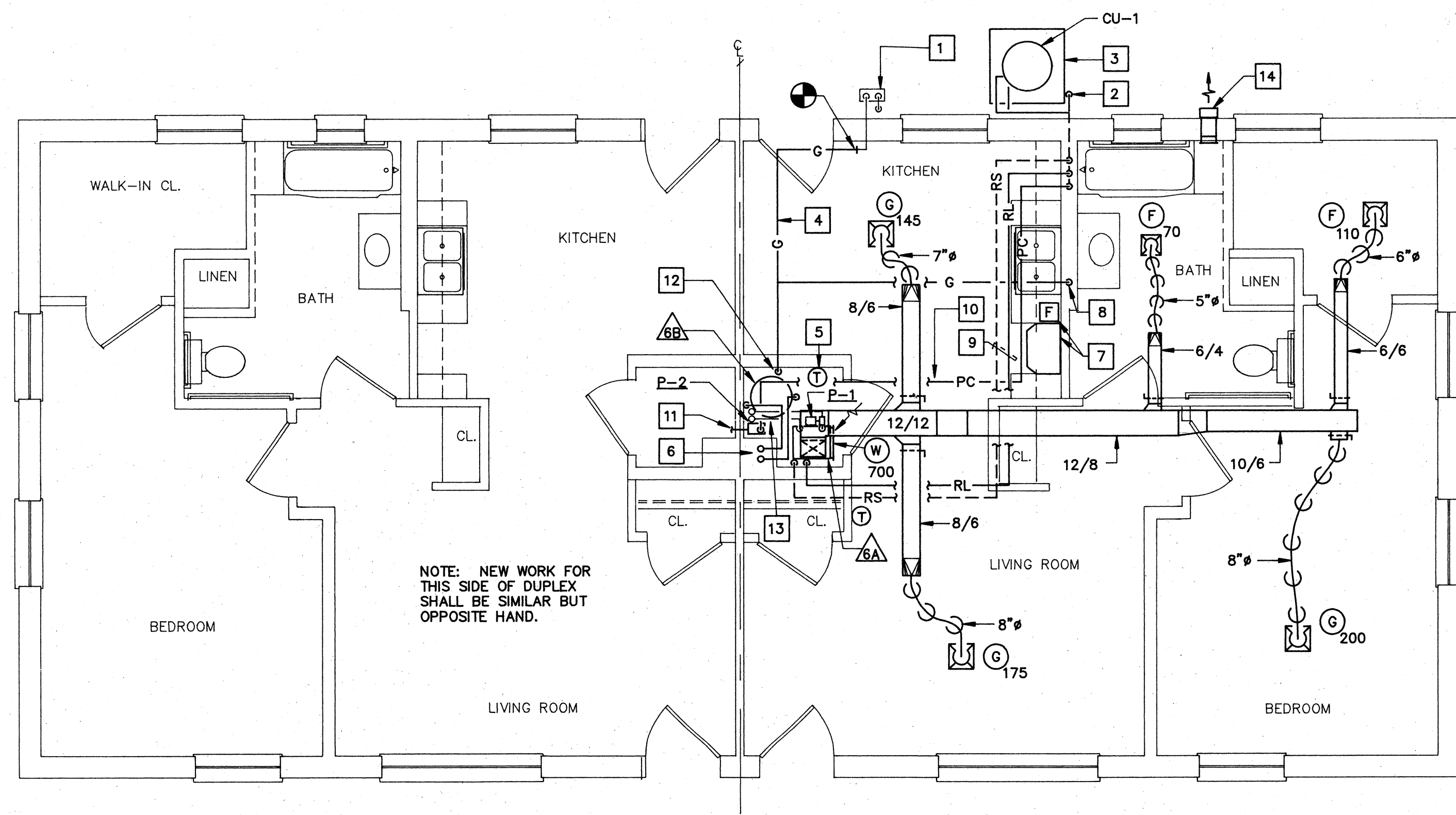
Sheet No: M9  
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**FLOOR PLAN – BUILDING D2 / 1BR HANDICAPPED CONVERSION (DEMOLITION)**

SCALE: 1/4" = 1'-0"



**FLOOR PLAN – BUILDING D2 / 1BR HANDICAPPED CONVERSION (NEW WORK)**

SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES**

1. REMOVE COMBUSTION AIR INTAKE DUCT AND GRILLE.
2. REMOVE SUPPLY DUCTWORK IN ATTIC SPACE DUCT SIZES ARE APPROXIMATE.
3. REMOVE SUPPLY REGISTER SIZED AS MARKED.
4. REMOVE WALL MOUNTED THERMOSTAT AND WIRING COMPLETE.
5. REMOVE FURNACE & FLUE COMPLETE WITH ASSOCIATED EQUIPMENT.
6. REMOVE 24/14 RETURN REGISTER.
7. REMOVE 3/4" GAS PIPING AS INDICATED.
8. REMOVE 3/4" GAS PIPING & FLUE COMPLETE FROM DOMESTIC WATER HEATER.
9. REMOVE 3/4" GAS PIPING DN. IN WALL TO GAS RANGE.

**NEW WORK NOTES**

1. CONNECT 3/4" GAS PIPING TO EXISTING 3/4" GAS PIPING AT POINT INDICATED.
2. 3/4" CONDENSATE DRAIN PIPING UNDERGROUND TO DRYWELL. SEE DETAIL ON SHEET M20.
3. PROVIDE 36"x 36"x 4" CONCRETE PAD.
4. RUN 3/4" GAS PIPING IN ATTIC SPACE.
5. PROVIDE WALL MOUNTED TEMPERATURE CONTROLLER. SEE DETAIL ON SHT. M19.
6. 2" PLASTIC FLUE AND INTAKE PIPING UP IN EXISTING CHIMNEY. TERMINATE 36" ABOVE ROOF LINE. SEE DETAIL ON SHEET A7.
7. PROVIDE STAINLESS STEEL DUCTLESS RANGE EXHAUST HOOD WITH CABINET MOUNTED 2-SPEED FAN AND LAMP SWITCH. MOUNT UNDER CABINET.
8. 3/4" GAS PIPING TURN DOWN IN WALL. CONNECT TO EXISTING GAS RANGE STOVE. PROVIDE GAS COCK AND FLEXIBLE PIPE CONNECTOR.
9. RUN 3/8" O.D. RL AND 5/8" O.D. RS ABOVE CEILING. TURN DOWN ALONG WALL AND CONNECT TO FAN COIL UNIT.
10. RUN 3/4" PUMPED CONDENSATE IN ATTIC SPACE.
11. 3/4" CONDENSATE DRAIN FROM ADJACENT UNIT TO CONDENSATE PUMP. SEE DETAIL ON SHEET M20.
12. 3/4" GAS PIPE DOWN. CONNECT TO WATER HEATER.
13. 3/4" HS & HR PIPING TO HOT WATER COIL SEE DETAIL ON SHT. M19.
14. EF-6, SEE DETAIL ON SHEET M17.

**GENERAL NOTES**

1. REFER TO SHEET M18 FOR LEGEND.
2. ENLARGED 1/4" FLOOR PLANS INDICATE TYPICAL WORK FOR ALL SIMILAR AND OPPOSITE HAND UNITS. REFER TO FLOOR PLANS FOR UNIT TYPES.

**ABATEMENT NOTES**

1. MECHANICAL EXPOSED PAINTED DUCTWORK HAS BEEN TESTED AND IS KNOWN TO CONTAIN LEAD BASED PAINT. ALL EXPOSED DUCTWORK INDICATED FOR REMOVAL SHALL BE REMOVED IN ACCORDANCE WITH SPECIFICATION SECTION 02090 BY THE ABATEMENT CONTRACTOR.
2. REMOVE ASBESTOS INSULATION FROM ABANDONED HYDRONIC HEATING PIPING IN ATTIC PER SPECIFICATION SECTION 02080. PIPING SHALL REMAIN IN ATTIC AND SHALL BE ENCAPSULATED PER SECTION 02080. WORK SHALL BE PERFORMED BY THE ABATEMENT CONTRACTOR.

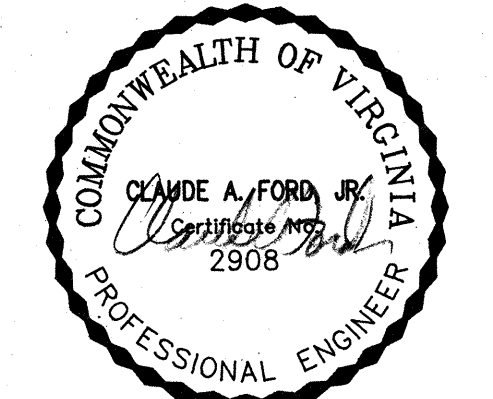


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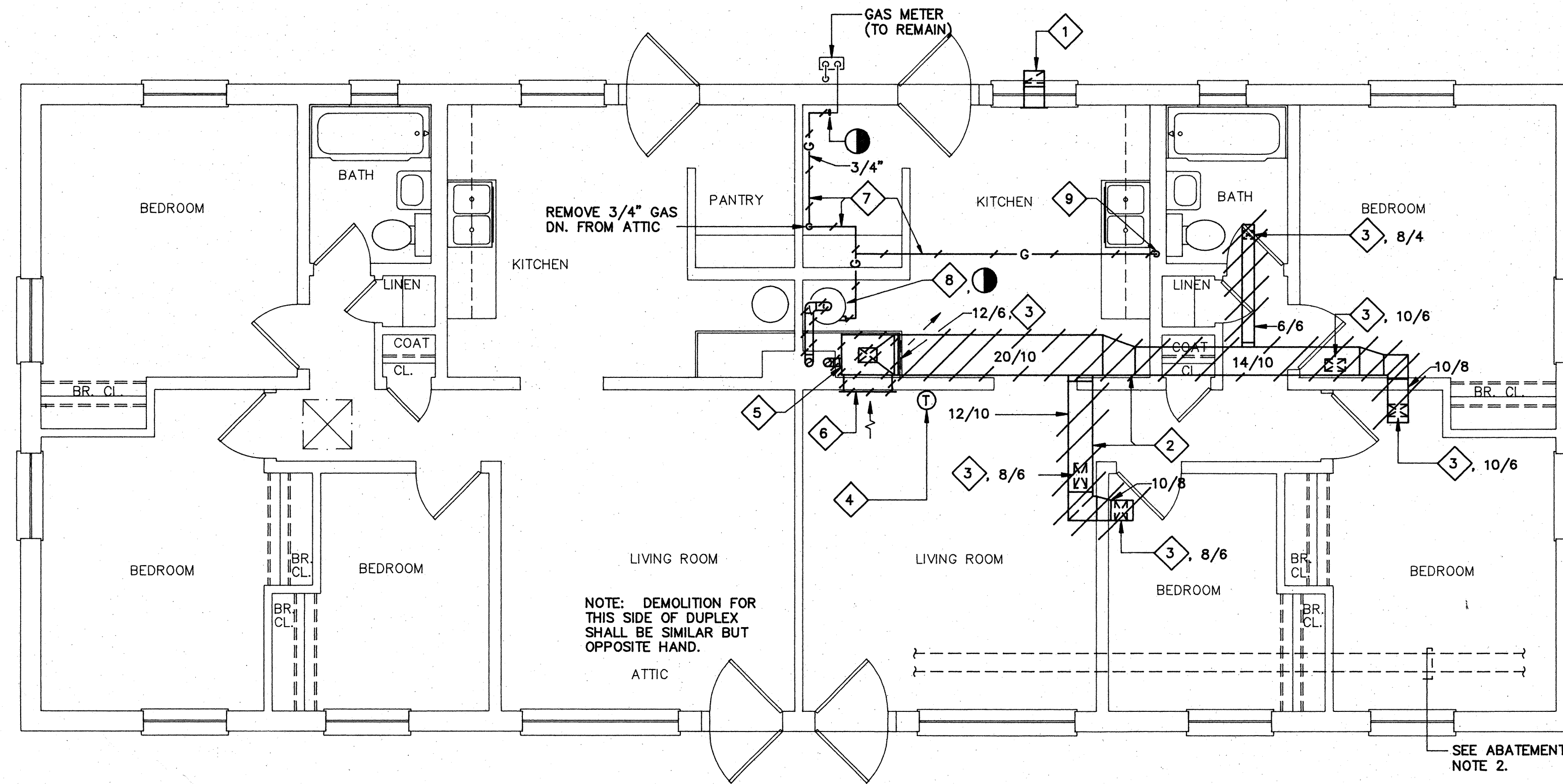


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 Project No: 90006

**BUILDING TYPE D2 – FLOOR PLANS (DEMOLITION & NEW WORK / HANDICAPPED CONVERSION)**

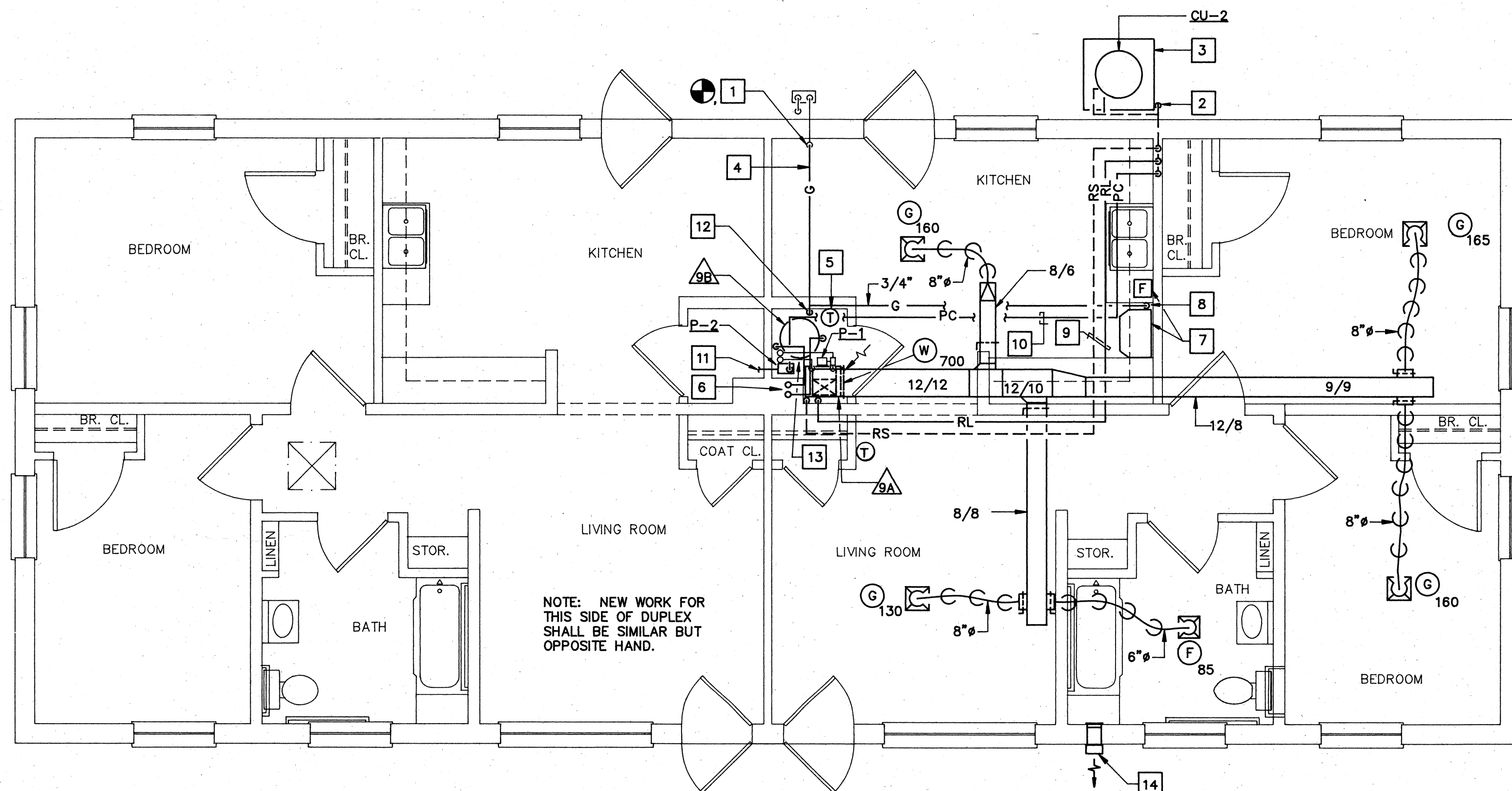
Sheet No: **M11**  
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**FLOOR PLAN - BUILDING D3 - HANDICAPPED CONVERSION (DEMOLITION)**

SCALE: 1/4" = 1'-0"



**FLOOR PLAN - BUILDING D3 - HANDICAPPED CONVERSION (NEW WORK)**

SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES**

1. REMOVE COMBUSTION AIR INTAKE DUCT AND GRILLE.
2. REMOVE SUPPLY DUCTWORK IN ATTIC SPACE DUCT SIZES ARE APPROXIMATE.
3. REMOVE SUPPLY REGISTER SIZED AS MARKED.
4. REMOVE WALL MOUNTED THERMOSTAT AND WIRING COMPLETE.
5. REMOVE FURNACE & FLUE COMPLETE WITH ASSOCIATED EQUIPMENT.
6. REMOVE 24/14 RETURN REGISTER.
7. REMOVE 3/4" GAS PIPING AS INDICATED.
8. REMOVE 3/4" GAS PIPING & FLUE COMPLETE FROM DOMESTIC WATER HEATER.
9. REMOVE 3/4" GAS PIPING DN. IN WALL TO GAS RANGE.

**NEW WORK NOTES**

1. CONNECT 3/4" GAS PIPING TO EXISTING 3/4" GAS PIPING AT POINT INDICATED.
2. 3/4" CONDENSATE DRAIN PIPING UNDERGROUND TO DRYWELL. SEE DETAIL ON SHEET M20.
3. PROVIDE 36"x 36"x 4" CONCRETE PAD.
4. RUN 3/4" GAS PIPING IN ATTIC SPACE.
5. PROVIDE WALL MOUNTED TEMPERATURE CONTROLLER. SEE DETAIL ON SHEET M19.
6. 2" PLASTIC FLUE AND INTAKE PIPING UP IN EXISTING CHIMNEY. TERMINATE 36" ABOVE ROOF LINE. SEE DETAIL ON SHEET A7.
7. PROVIDE STAINLESS STEEL DUCTLESS RANGE EXHAUST HOOD WITH CABINET MOUNTED 2-SPEED FAN AND LAMP SWITCH. MOUNT HOOD UNDER CABINET.
8. 3/4" GAS PIPING TURN DOWN IN WALL. CONNECT TO EXISTING GAS RANGE STOVE. PROVIDE GAS COCK AND FLEXIBLE PIPE CONNECTOR.
9. RUN 3/8" O.D. RL AND 5/8" O.D. RS ABOVE CEILING. TURN DOWN ALONG WALL AND CONNECT TO FAN COIL UNIT.
10. RUN 3/4" PUMPED CONDENSATE DRAIN IN ATTIC SPACE.
11. 3/4" CONDENSATE DRAIN FROM ADJACENT UNIT TO CONDENSATE PUMP. SEE DETAIL ON SHEET M20.
12. 3/4" GAS PIPE DOWN. CONNECT TO WATER HEATER.
13. 3/4" HS & HR PIPING TO HOT WATER COIL. SEE DETAIL ON SHEET M19.
14. EF-6, SEE DETAIL ON SHEET M17.

**GENERAL NOTES**

1. REFER TO SHEET M18 FOR LEGEND.
2. ENLARGED 1/4" FLOOR PLANS INDICATE TYPICAL WORK FOR ALL SIMILAR AND OPPOSITE HAND UNITS. REFER TO FLOOR PLANS FOR UNIT TYPES.

**ABATEMENT NOTES**

1. MECHANICAL EXPOSED PAINTED DUCTWORK HAS BEEN TESTED AND IS KNOWN TO CONTAIN LEAD BASED PAINT. ALL EXPOSED DUCTWORK INDICATED FOR REMOVAL SHALL BE REMOVED IN ACCORDANCE WITH SPECIFICATION SECTION 02090 BY THE ABATEMENT CONTRACTOR.
2. REMOVE ASBESTOS INSULATION FROM ABANDONED HYDRONIC HEATING PIPING IN ATTIC PER SPECIFICATION SECTION 02080. PIPING SHALL REMAIN IN ATTIC AND SHALL BE ENCAPSULATED PER SECTION 02080. WORK SHALL BE PERFORMED BY THE ABATEMENT CONTRACTOR.

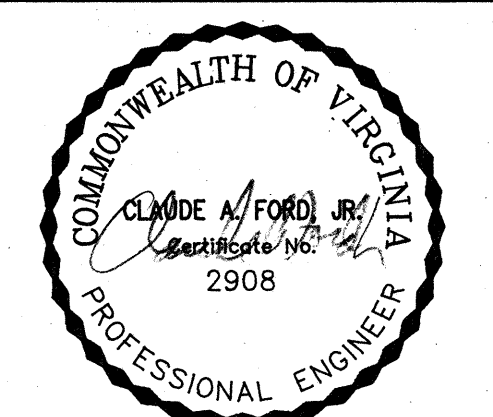


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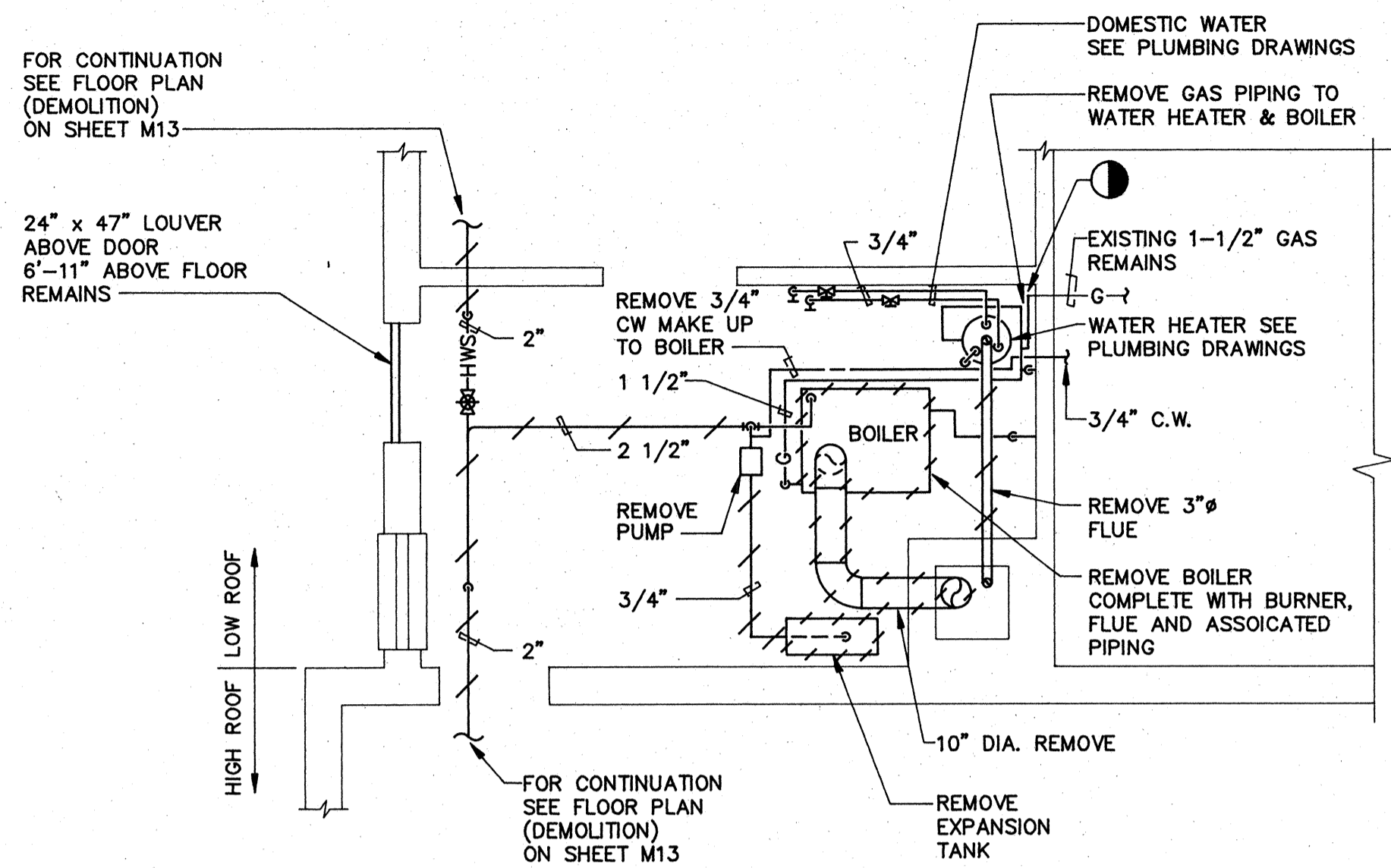


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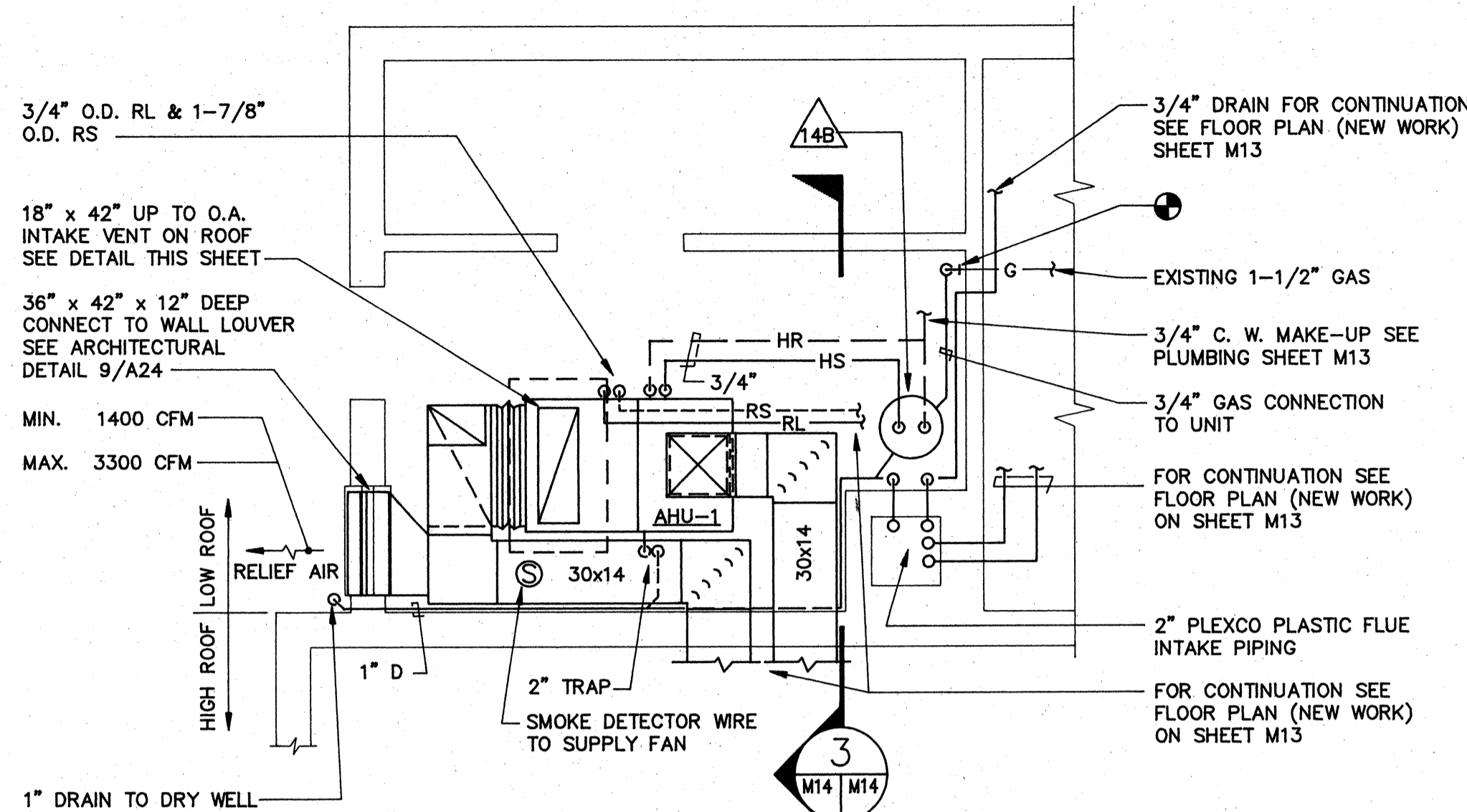
**BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK / HANDICAPPED CONVERSION)**

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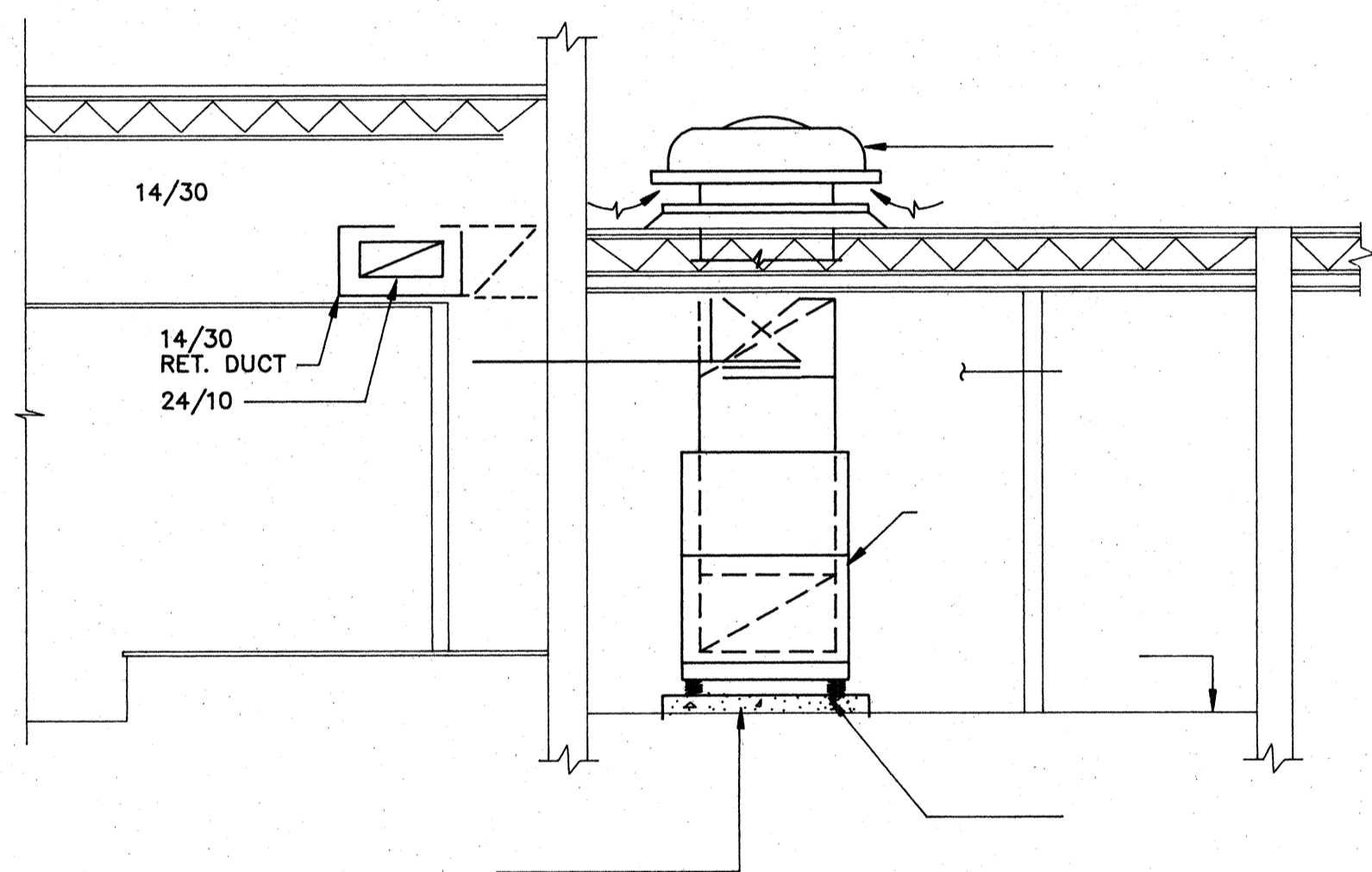




**MECHANICAL ROOM PART PLAN (DEMOLITION)**  
SCALE: 1/4" = 1'-0"



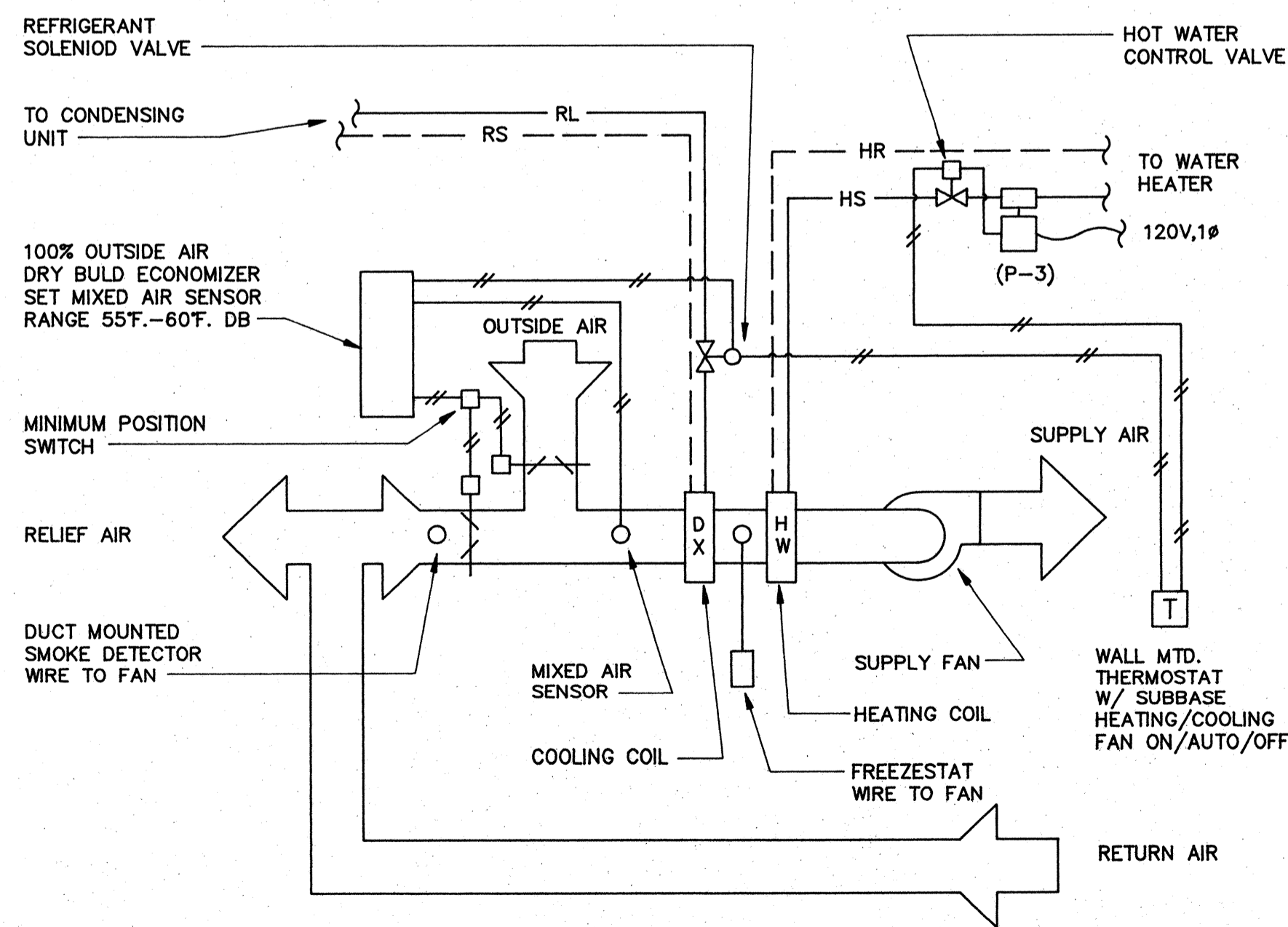
**MECHANICAL ROOM PART PLAN (NEW WORK)**  
SCALE: 1/4" = 1'-0"



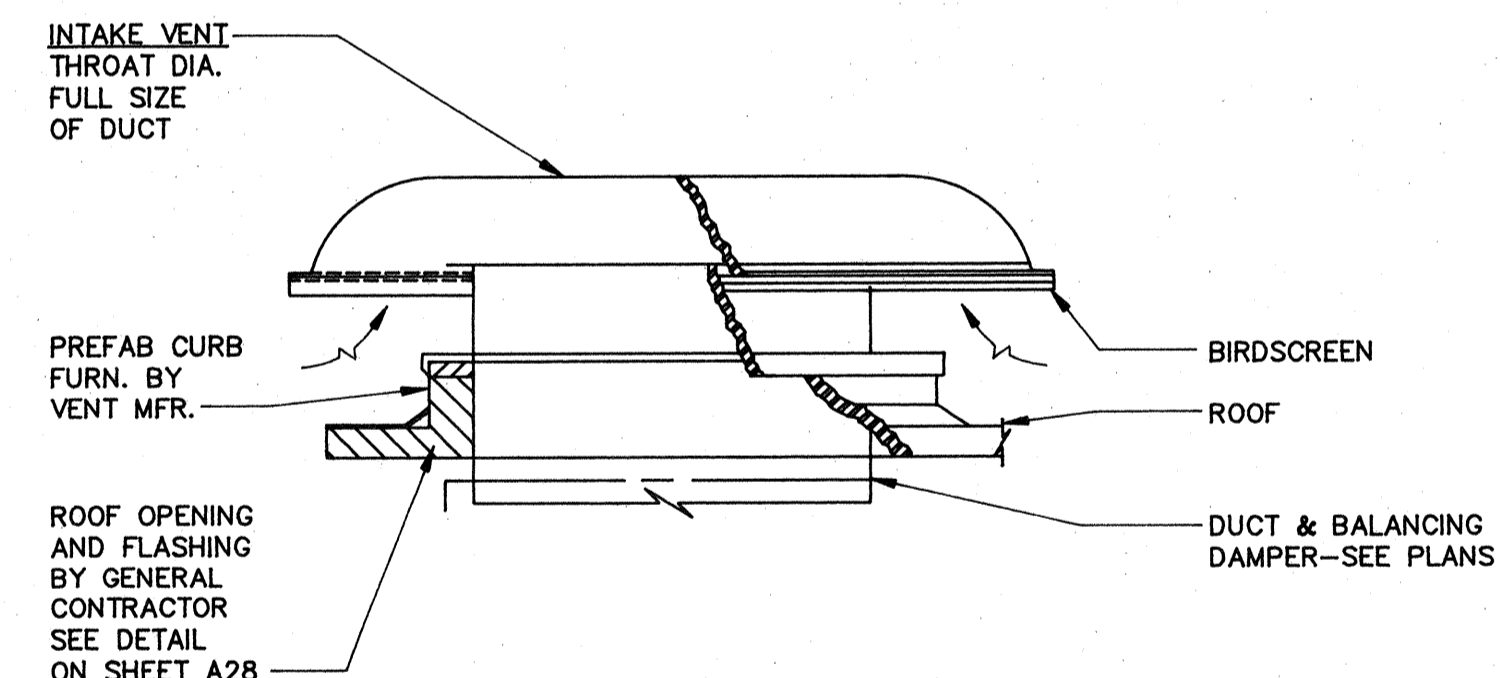
**3 SECTION**  
SCALE: 1/4" = 1'-0"

**SEQUENCE OF OPERATION**

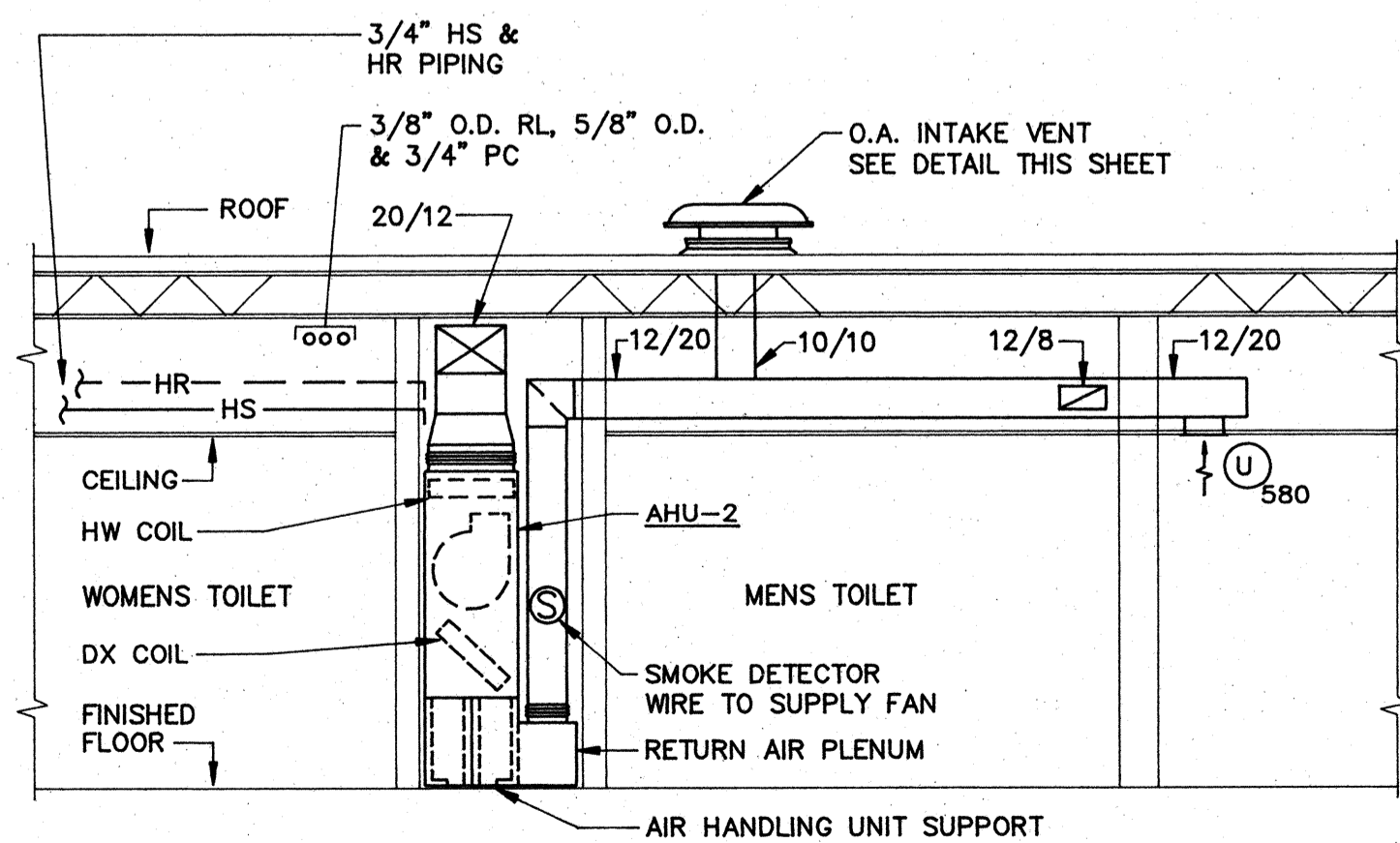
**AIR HANDLING UNIT NO. 1 CONTROL:** MIXED AIR ECONOMIZER CONTROLLER CONTROLS WHEN THE MIXED AIR TEMPERATURE IS BELOW THE SETTING TO MODULATE OUTSIDE AIR DAMPER UP TO ITS 100 PERCENT OPEN POSITION PROPORTIONATELY CLOSING RETURN AIR DAMPER FOR FREE COOLING. CONTROLLER INCORPORATES A MINIMUM POSITION SWITCH TO SET THE DAMPERS TO THEIR MINIMUM POSITION AND ECONOMIZER PREVENTS THE MIXED AIR TEMPERATURE FROM FALLING BELOW A PREDETERMINED TEMPERATURE. WHEN THE WALL MOUNTED THERMOSTAT IS POSITIONED TO HEAT, ON A FALL IN SPACE TEMPERATURE THE HOT WATER VALVE WILL OPEN AND THE PUMP SHALL START. ON RISE IN TEMPERATURE THE REVERSE OPERATION WILL OCCUR. WHEN THE WALL MOUNTED THERMOSTAT IS POSITIONED TO COOL, AND ON A RISE IN SPACE TEMPERATURE THE REFRIGERATION CIRCUIT SHALL ENERGIZE AND THE SOLENOID VALVE SHALL OPEN. ON A FALL IN TEMPERATURE THE REVERSE OPERATION WILL OCCUR. WHEN THE SWITCH IS PLACED IN OFF NO HEATING OR COOLING IS MADE AVAILABLE. FREEZESTAT CONTROLS TO STOP THE UNIT FAN AND CLOSE OUTSIDE AIR DAMPER AND OPEN RETURN AIR DAMPER SHOULD THE TEMPERATURE FALL BELOW A PREDETERMINED SETTING. SMOKE DETECTOR SD-1 CONTROLS TO STOP THE UNIT FAN AND CLOSE D-1 AND OPEN D-2 SHOULD SMOKE BE DETECTED.



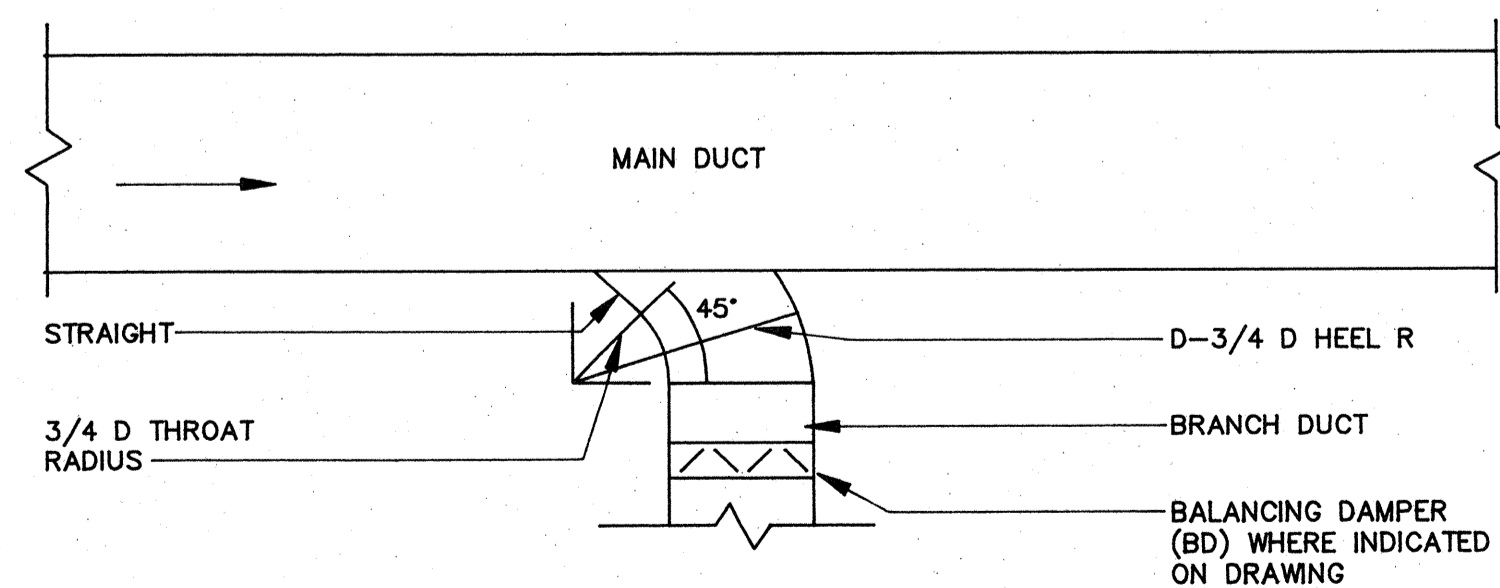
**AUTOMATIC TEMPERATURE CONTROLS FOR AHU-1**  
NO SCALE



**OUTSIDE AIR INTAKE VENT DETAIL**  
NO SCALE



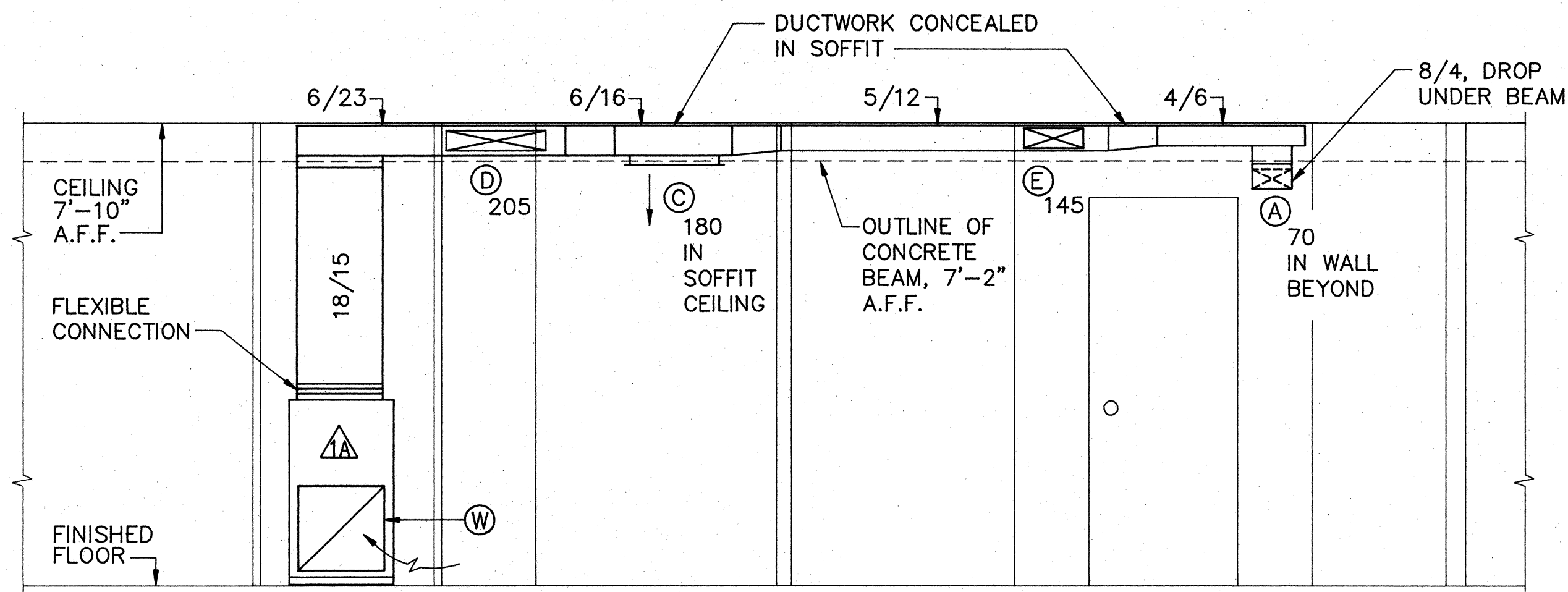
**4 SECTION**  
SCALE: 1/4" = 1'-0"



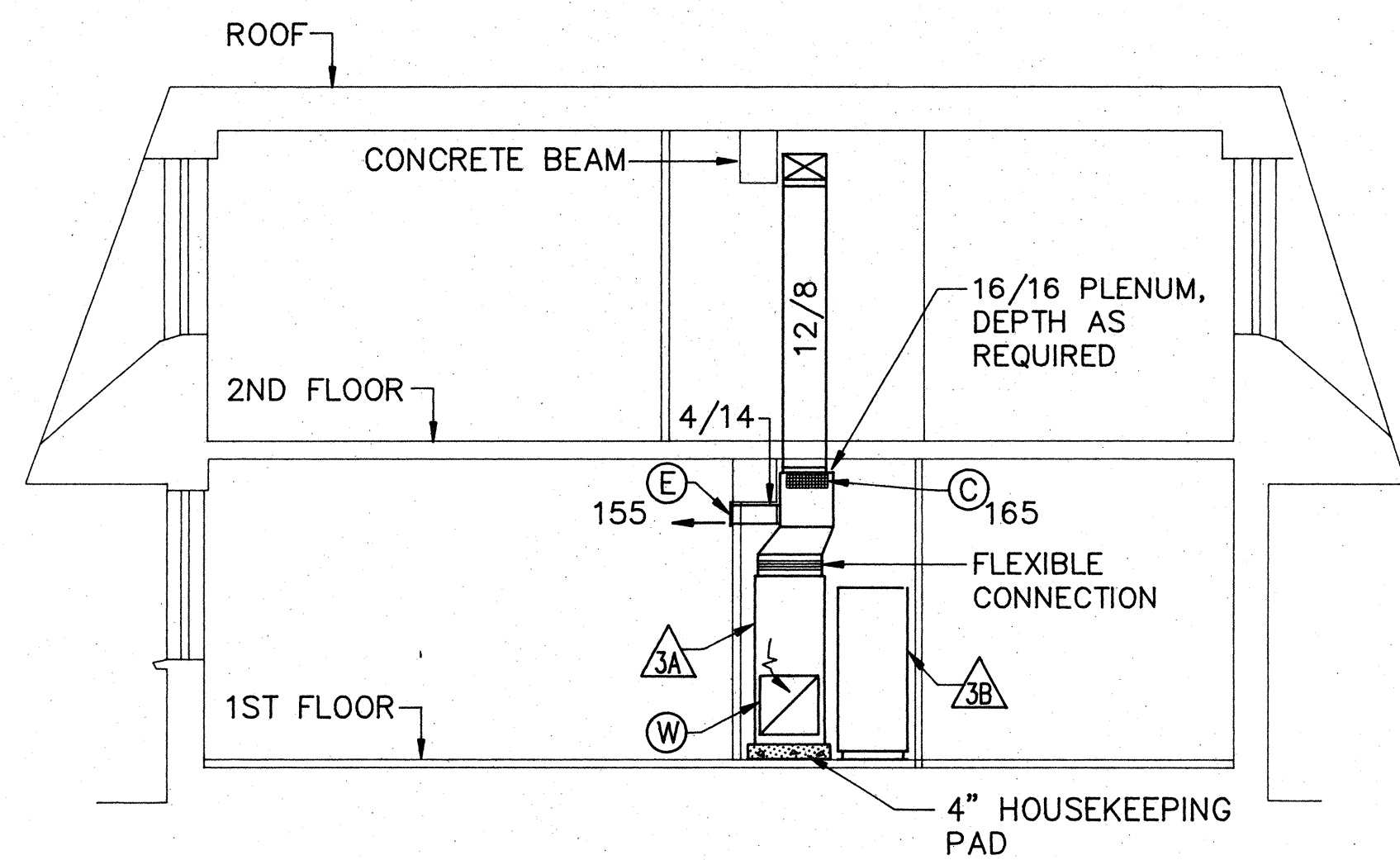
**TYPICAL BRANCH CONNECTION**  
NO SCALE

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| Project No: | 90006            |

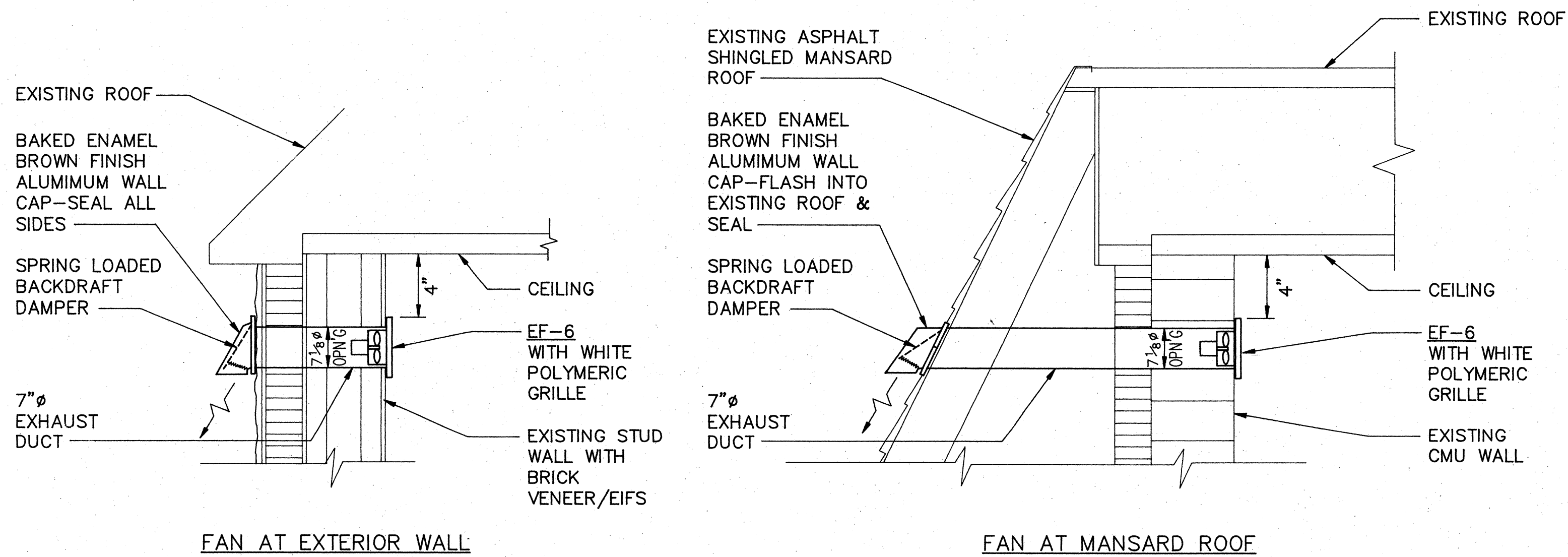




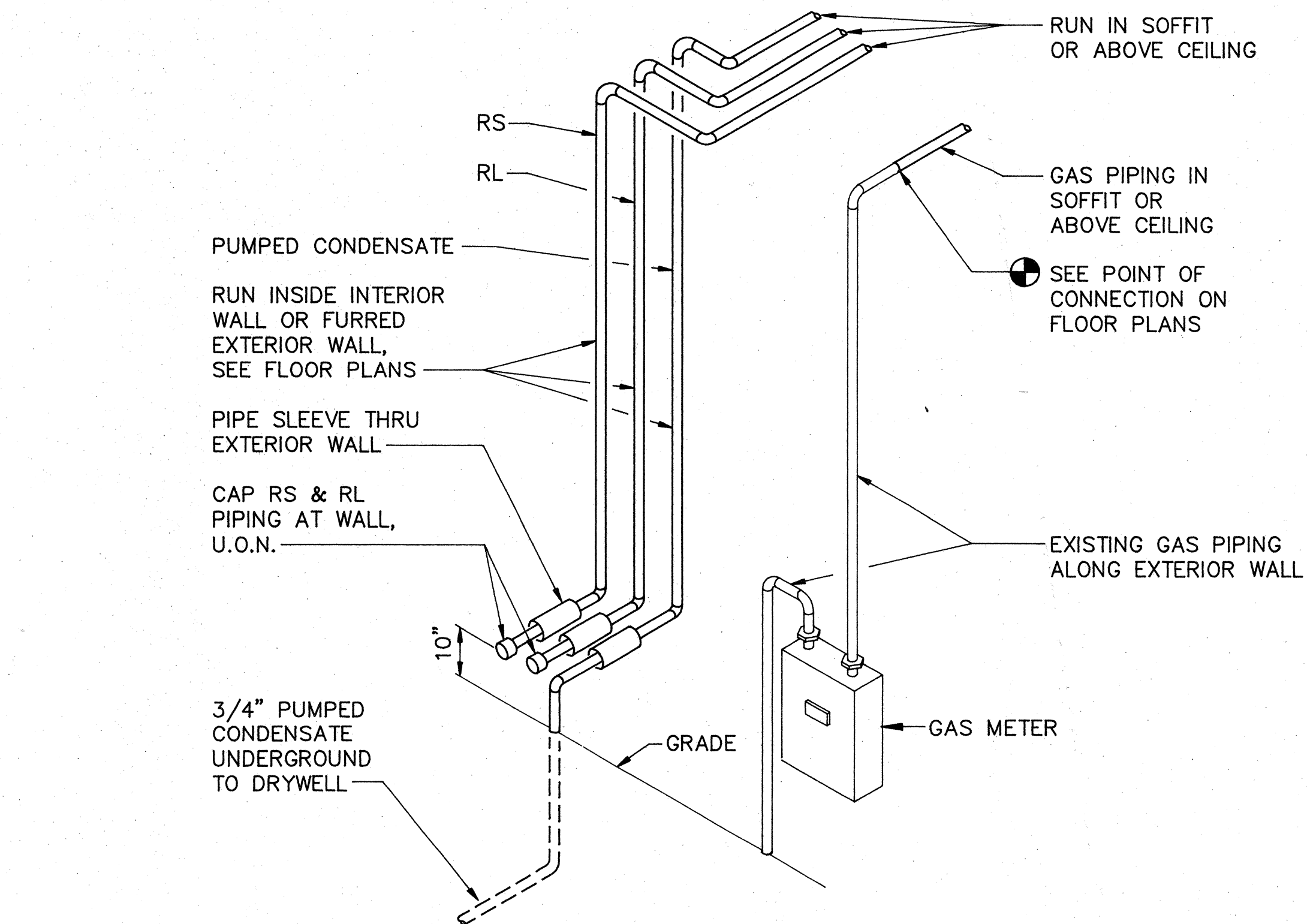
**1 SECTION**  
 M2 M5 M17 SCALE: 1/2" = 1'-0"



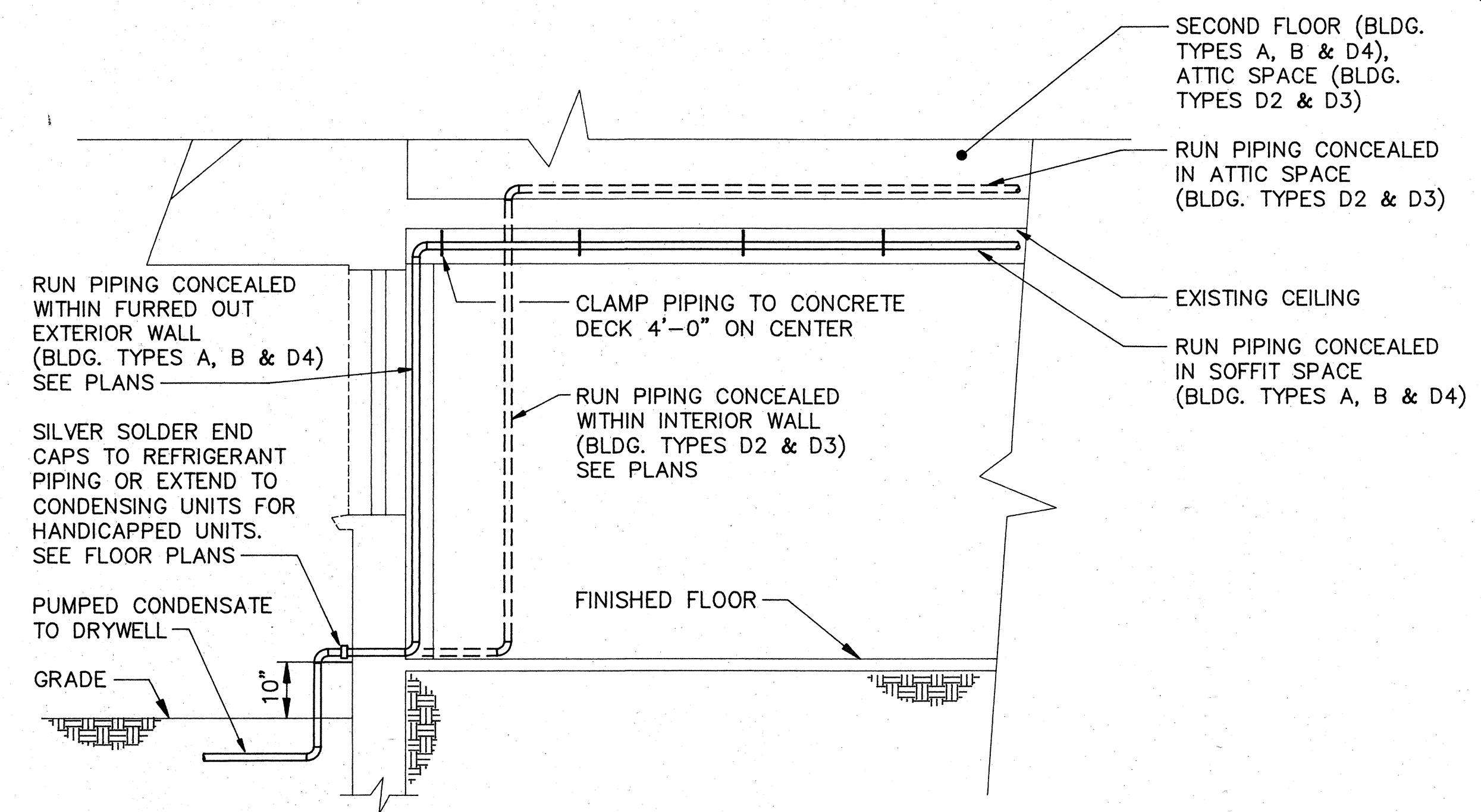
**2 SECTION**  
 M2 M5 M17 SCALE: 1/4" = 1'-0"



**EXHAUST FAN (EF-6) MOUNTING DETAILS**  
 NO SCALE



**SCHEMATIC VIEW**



**SECTION VIEW**

**UNIT PIPING DETAIL**  
 NO SCALE



## WATER HEATER/FAN COIL UNIT SYSTEM SCHEDULE

| FAN COIL UNIT |          |        |      |     |       |   |              |            |                      |              |     |        |         | WATER HEATER |                |              |                     |                 | REMARKS | LOCATION     |                  |
|---------------|----------|--------|------|-----|-------|---|--------------|------------|----------------------|--------------|-----|--------|---------|--------------|----------------|--------------|---------------------|-----------------|---------|--------------|------------------|
| TAG           | MODEL    | FAN    |      |     |       |   | COOLING COIL |            |                      | HEATING COIL |     |        | TAG     | MODEL        | INPUT BTU/H    | OUTPUT BTU/H | RECOVERY EFFICIENCY | TANK SIZE (GAL) |         |              |                  |
|               |          | SA CFM | ESP  | HP  | VOLTS | Ø | TOTAL BTU/H  | SENS BTU/H | APD H <sub>2</sub> O | TOTAL BTU/H  | GPM | APD IN | WPD FT. |              |                |              |                     |                 |         |              |                  |
| 1A            | VH18HAC2 | 600    | .10  | 1/5 | 120   | 1 | 13740        | 10569      | .10                  | 8739         | 1   | .05    | 1.5     | 1B           | POLARIS DVPB35 | 100000       | 94000               | 94%             | 34      | SPLIT SYSTEM | 1 ST. FL 1 BR/A  |
| 2A            | VH18HAC2 | 600    |      |     |       |   | 15274        | 11749      |                      | 8398         |     |        | .2      | 2B           |                |              |                     |                 |         |              | 2 ND. FL 1 BR/B  |
| 3A            | VH18HAC2 | 700    |      |     |       |   | 17518        | 13476      |                      | 11592        |     |        | .6      | 3B           |                |              |                     |                 |         |              | 1 ST. FL 2 BR/A  |
| 4A            | VH18HAC2 | 700    |      |     |       |   | 17530        | 13485      |                      | 14053        |     |        |         | 4B           |                |              |                     |                 |         |              | 1 ST. FL 2 BR/B  |
| 5A            | VH24HAC2 | 800    |      |     |       |   | 19086        | 14681      |                      | 11743        |     |        |         | 5B           |                |              |                     |                 |         |              | 3 BR/B           |
| 6A            | VH18HAC2 | 700    |      |     |       |   | 17292        | 13302      |                      | 13456        |     |        |         | 6B           |                |              |                     |                 |         |              | 1 ST. FL D2 H.C. |
| 7A            | VH18HAC2 | 700    |      |     |       |   | 17813        | 13702      |                      | 12412        |     |        |         | 7B           |                |              |                     |                 |         |              | 1 ST. FL D2      |
| 8A            | VH24HAC2 | 800    |      |     |       |   | 20529        | 15789      |                      | 13594        |     |        |         | 8B           |                |              |                     |                 |         |              | 1 ST. FL D3      |
| 9A            | VH18HAC2 | 700    |      |     |       |   | 17512        | 13470      |                      | 13470        |     |        |         | 9B           |                |              |                     |                 |         |              | 1 ST. FL D3 H.C. |
| 10A           | VH24HAC2 | 800    |      |     |       |   | 18253        | 14041      |                      | 16622        |     |        |         | 10B          |                |              |                     |                 |         |              | 1 ST. FL F       |
| 11A           | VH24HAC2 | 850    |      |     |       |   | 25183        | 19371      |                      | 17856        | 2   |        | 1.9     | 11B          |                |              |                     |                 |         |              | 1 ST. FL D4      |
| 12A           | VH48HAC2 | 1835   | .175 |     |       |   | 48288        | 30446      |                      | 34600        | 4   |        | 1.2     | 12B          |                |              |                     |                 |         |              | REC. BLDG        |
| 13A           | VH48HAC2 | 1880   | .1   |     |       |   | 44730        | 33295      |                      | 31600        |     |        |         | 13B          |                |              |                     |                 |         |              | REC. BLDG        |
| 14A           | NOT USED |        |      |     |       |   |              |            |                      |              |     |        |         | 14B          |                |              |                     |                 |         |              | REC. BLDG        |
| 15A           | 40QB060  | 2000   | .29  | 3/4 | 240   | 1 | 59978        | 41608      | .10                  | 36800        | 4.6 | .05    | 7.1     | 15B          |                |              |                     |                 |         |              | ADMIN. BLDG      |
| 16A           | 40QB048  | 1600   | .31  | 1/2 |       |   | 47700        | 31928      |                      | 30300        | 3.8 |        | 4.8     | 16B          |                |              |                     |                 |         |              | ADMIN. BLDG      |
| 17A           | 40QB060  | 2000   | .29  | 3/4 |       |   | 63396        | 41760      |                      | 42800        | 5.4 |        | 7.9     | 17B          |                |              |                     |                 |         |              | ADMIN. BLDG      |

NOTES: (1) FAN COIL MODELS 1A THRU 13A BASED ON MOR-FLO/AMERICAN; FAN COIL UNITS 15A THRU 17 BASED ON CARRIER.  
 (2) WATER HEATERS BASED ON MOR-FLO/AMERICAN.

### LEGEND

- HS — HEATING WATER SUPPLY
- HR — HEATING WATER RETURN
- MU — MAKE UP WATER
- CF — CHEMICAL FEED
- D — CONDENSATE DRAIN
- RL — REFRIGERANT LIQUID
- RS — REFRIGERANT SUCTION
- ⊕ POINT OF CONNECTION NEW TO EXISTING
- PC — PUMPED CONDENSATE
- / — / — / — EXISTING PIPING, DUCT, EQUIPMENT, ETC. TO BE REMOVED
- POINT OF DEMOLITION LIMIT
- ⊗ 2-WAY CONTROL VALVE
- ⊘ PRESSURE REDUCING VALVE
- ⊕ PRESSURE RELIEF VALVE
- ⊔ CHECK VALVE
- ⊘ GATE VALVE
- ⊙ GLOBE VALVE
- ⊕ COMBINATION BALANCING AND SHUTOFF VALVE WITH PRESSURE TAPS (GLOBE TYPE)
- || — UNION
- ○ — PIPE TURNING DOWN
- ○ — PIPING TURNING UP
- / — / — / — DOWNWARD SLOPE
- ▶ — DIRECTION OF FLOW
- ⊗ FLEXIBLE PIPE CONNECTION
- ⊔ STRAINER
- ⊕ AUTOMATIC AIR VENT (AV)
- ⊕ PRESSURE GAUGE
- ⊕ THERMOMETER
- ⊕ THERMOSTAT
- BD BALANCING DAMPER (MULTI-LEAF)
- ELBOW WITH TURNING VANES
- || — FLEXIBLE CONNECTION
- C — C — C — FLEXIBLE DUCT
- ⊕ SUPPLY DUCT SECTION
- ⊕ RETURN DUCT SECTION
- ⊕ DEMOLITION NOTE
- ⊕ NEW WORK NOTE
- 1A FAN COIL UNIT MARK — SEE SCHEDULE THIS SHEET
- 1B WATER HEATER UNIT MARK — SEE SCHEDULE THIS SHEET
- P-1 PUMP TAG — SEE SCHEDULE ON SHEET M19
- EF-1 EXHAUST FAN TAG — SEE SCHEDULE ON SHEET M19
- CU-1 CONDENSING UNIT TAG — SEE SCHEDULE ON SHEET M19
- AHU-1 AIR HANDLER UNIT TAG — SEE SCHEDULE ON SHEET M19
- ⊕ GRILLE, REGISTER, OR DIFFUSER TAG — CFM AS NOTED — SEE SCHEDULE THIS SHEET
- U.O.N. UNLESS OTHERWISE NOTED

### REGISTER, GRILLE, & DIFFUSER SCHEDULE

| TAG | MODEL   | SERVICE         | MATERIAL | FINISH    | SIZE IN. | MAX PD IN H <sub>2</sub> O | REMARKS        |
|-----|---------|-----------------|----------|-----------|----------|----------------------------|----------------|
| A   | H4002D  | SUPPLY REGISTER | STEEL    | ALUMINUM  | 8x4      | .042                       | 45° DEFLECTION |
| B   |         |                 |          |           | 16x4     |                            |                |
| C   |         |                 |          |           | 18x4     |                            |                |
| D   |         |                 |          |           | 20x4     |                            |                |
| E   |         |                 |          |           | 12x4     |                            |                |
| F   | 5800    | DIFFUSER        | ALUMINUM | OFF-WHITE | 6"Ø      | .020                       | ROUND NECK     |
| G   |         |                 |          |           | 8"Ø      |                            |                |
| J   | MI-5000 | DIFFUSER        | ALUMINUM | OFF-WHITE | 6x6      | .01                        | 4 WAY W/OBD    |
| K   |         |                 |          |           | 9x9      | .05                        |                |
| M   |         |                 |          |           | 12x12    | .03                        |                |
| N   |         |                 |          |           | 15x15    | .03                        |                |
| P   | RH      | RETURN          |          |           | 24x24    | .022                       | W/OBD          |
| R   |         |                 |          |           | 18x18    | .031                       |                |
| S   |         |                 |          |           | 12x12    | .031                       |                |
| U   |         |                 |          |           | 16x16    | .040                       |                |
| V   |         |                 |          |           | 8x8      | .040                       |                |
| W   | RAF     |                 |          |           | 18x18    | .018                       | 1" T.A. FILTER |
| X   | CCS     | EXHAUST         |          | ALUMINUM  | 6x6      | .031                       |                |
| Y   |         |                 |          |           | 8x8      | .031                       |                |
| Z   |         |                 |          |           | 10x10    |                            |                |

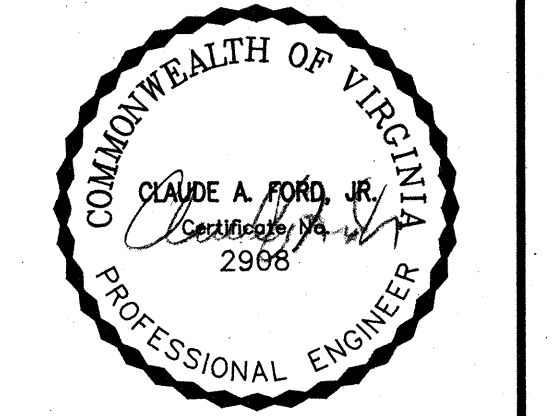
NOTES: (1) ALL MODEL NOS. BASED ON METALAIR

### REGISTER, GRILLE, & DIFFUSER SCHEDULE (CONTINUED)

| TAG | MODEL  | SERVICE         | MATERIAL | FINISH   | SIZE IN. | MAX PD IN H <sub>2</sub> O | REMARKS        |
|-----|--------|-----------------|----------|----------|----------|----------------------------|----------------|
| AA  | H4002  | SUPPLY GRILLE   | STEEL    | ALUMINUM | 10x6     | .042                       | 0° DEFLECTION  |
| BB  | H4002D | SUPPLY REGISTER |          |          | 8x6      |                            | 45° DEFLECTION |
| CC  |        |                 |          |          | 10x6     |                            |                |
| DD  |        |                 |          |          | 16x4     |                            |                |
| FF  | RH     | RETURN          |          |          | 24x14    | .022                       |                |
| GG  |        |                 |          |          | 36x36    | .031                       |                |



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS  
 NEWPORT NEWS, VA



Designed: MAC  
 Drawn: BKS  
 Checked: CAF  
 Scale: NOTED  
 Date: JANUARY 31, 1991  
 File No:  
 Project No: 90006

LEGEND, & SCHEDULES  
 Sheet No: **M18**  
 of Sheets



## AIR HANDLING UNIT SCHEDULE

| TAG   | CFM  |           |        |        | DX COOLING COIL |      |             |     |                 |             | HOT WATER COIL |      |      |     |     |     | FAN |             |     |      |      | FILTERS |       | REMARKS |      |   |
|-------|------|-----------|--------|--------|-----------------|------|-------------|-----|-----------------|-------------|----------------|------|------|-----|-----|-----|-----|-------------|-----|------|------|---------|-------|---------|------|---|
|       | S.A  | MIN. O.A. | G. MBH | S. MBH | ENTERING AIR    |      | LEAVING AIR |     | SAT. SUC. TEMP. | PRESS. DROP | G. MBH         | EADB | LADB | GPM | EWT | LWT | WPD | PRESS. DROP | HP  | ESP  | RPM  | VOLTS   | PHASE |         | TYPE | SIZE  |
|       |      |           |        |        | FDB             | FWB  | FDB         | FWB |                 |             |                |      |      |     |     |     |     |             |     |      |      |         |       |         |      |   |
| AHU-1 | 3390 | 1400      | 137.8  | 80.7   | 82.7            | 69.0 | 66          | 64  | 45F             | 0.20        | 128.5          | 48   | 86   | 8   | 180 | 140 | 6.0 | 0.2         | 1.5 | 0.25 | 950  | 230     | 3     | TA      | 2"   | CARRIER VERTICAL D.T. MODEL CLIMATE CHANGER #8. |
| AHU-2 | 2000 | 220       | 52.7   | 39.1   | 78              | 65   | 56          | 49  | 45F             | 0.10        | 35             | 64.7 | 80   | 10  | 140 | 120 | 4.2 | 0.7         | 3/4 | 0.20 | 1050 | 230     | 1     | TA      | 1"   | CARRIER MODEL 40 YA 060                         |

NOTE: HOT WATER COIL FOR AHU-2 SHALL BE DUCT MOUNTED.

## AIR COOLED CONDENSING UNIT SCHEDULE

| TAG  | MODEL           | COOLING MBH | ELECTRICAL |      |    | COMP. STEPS | AMBIENT TEMP. | REMARKS               |
|------|-----------------|-------------|------------|------|----|-------------|---------------|-----------------------|
|      |                 |             | FLA        | VOLT | PH |             |               |                       |
| CU-1 | CARRIER 38TH018 | 17.6        | 10.1       | 230  | 1  | 1           | 95'           | UNIT D2 H.C. SEE      |
| CU-2 | CARRIER 38TH018 |             |            |      |    |             |               | UNIT D3 H.C. SEE      |
| CU-3 | CARRIER 38TH048 | 48.0        | 24.2       |      |    |             |               | REC. BLDG. SEE        |
| CU-4 | CARRIER 38TH048 |             |            |      |    |             |               | REC. BLDG. SEE        |
| CU-5 | EXISTING UNIT   |             |            |      |    |             |               | REC. BLDG SEE AHU #1  |
| CU-6 | CARRIER 38TH060 | 52.7        | 32.2       | 230  | 3  | 1           |               | REC. BLDG. SEE AHU #2 |
| CU-7 | CARRIER 38TH060 | 59.9        | 21.6       |      |    |             |               | ADMIN. BLDG. SEE      |
| CU-8 | CARRIER 38TH048 | 47.7        | 19.4       |      |    |             |               | ADMIN. BLDG. SEE      |
| CU-9 | CARRIER 38TH060 | 63.4        | 21.6       |      |    |             |               | ADMIN. BLDG. SEE      |

NOTE: ALL CONDENSING UNITS SHALL BE COMPLETE W/ STANDARD FACTORY CONTROLS.

## PUMP SCHEDULE

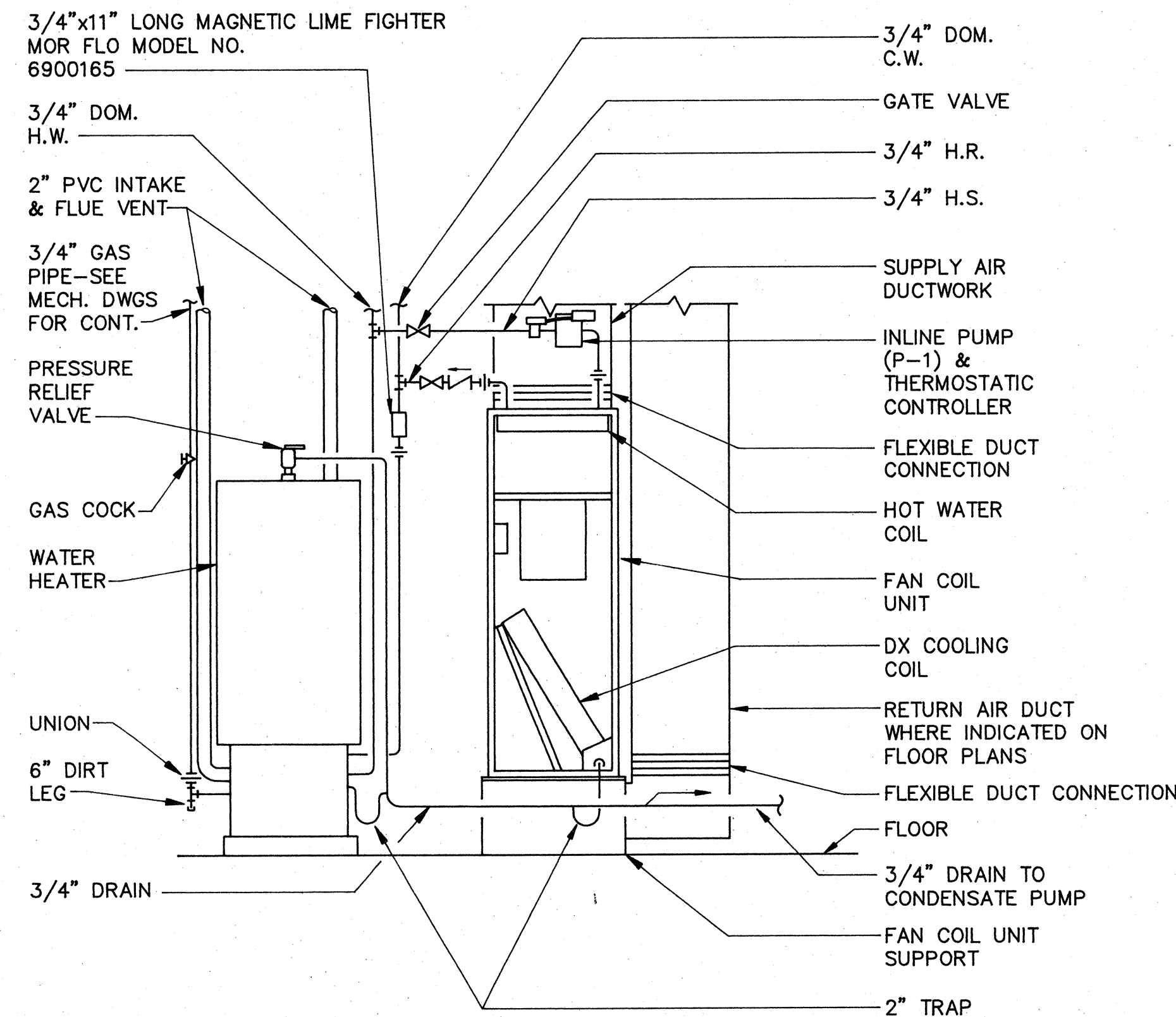
| TAG | TYPE                      | GPM | HEAD FT. | MOTOR DATA |      |   | RPM  | REMARKS                     |
|-----|---------------------------|-----|----------|------------|------|---|------|-----------------------------|
|     |                           |     |          | HP         | VOLT | Ø |      |                             |
| P-1 | IN-LINE CIRCULATING       | 3.0 | 10       | 1/20       | 120  | 1 | 2900 | BASED ON B&G UPSTART SLC-25 |
| P-2 | CONDENSATE REMOVAL W/ PAN | 1.0 | 12       | 1/40       | 120  | 1 | -    | BASED ON LITTLE GIANT       |
| P-3 | IN-LINE CIRCULATING       | 4.0 | 20       | 1/3        | 120  | 1 | 1750 | BASED ON HD3 SERIES PUMP    |
| P-4 | IN-LINE CIRCULATING       | 3.5 | 15       | 1/4        | 120  | 1 | 1750 | BASED ON LD3 SERIES PUMP    |

NOTE: ALL MODELS BASED ON BELL & GOSSETT

## EXHAUST FAN SCHEDULE

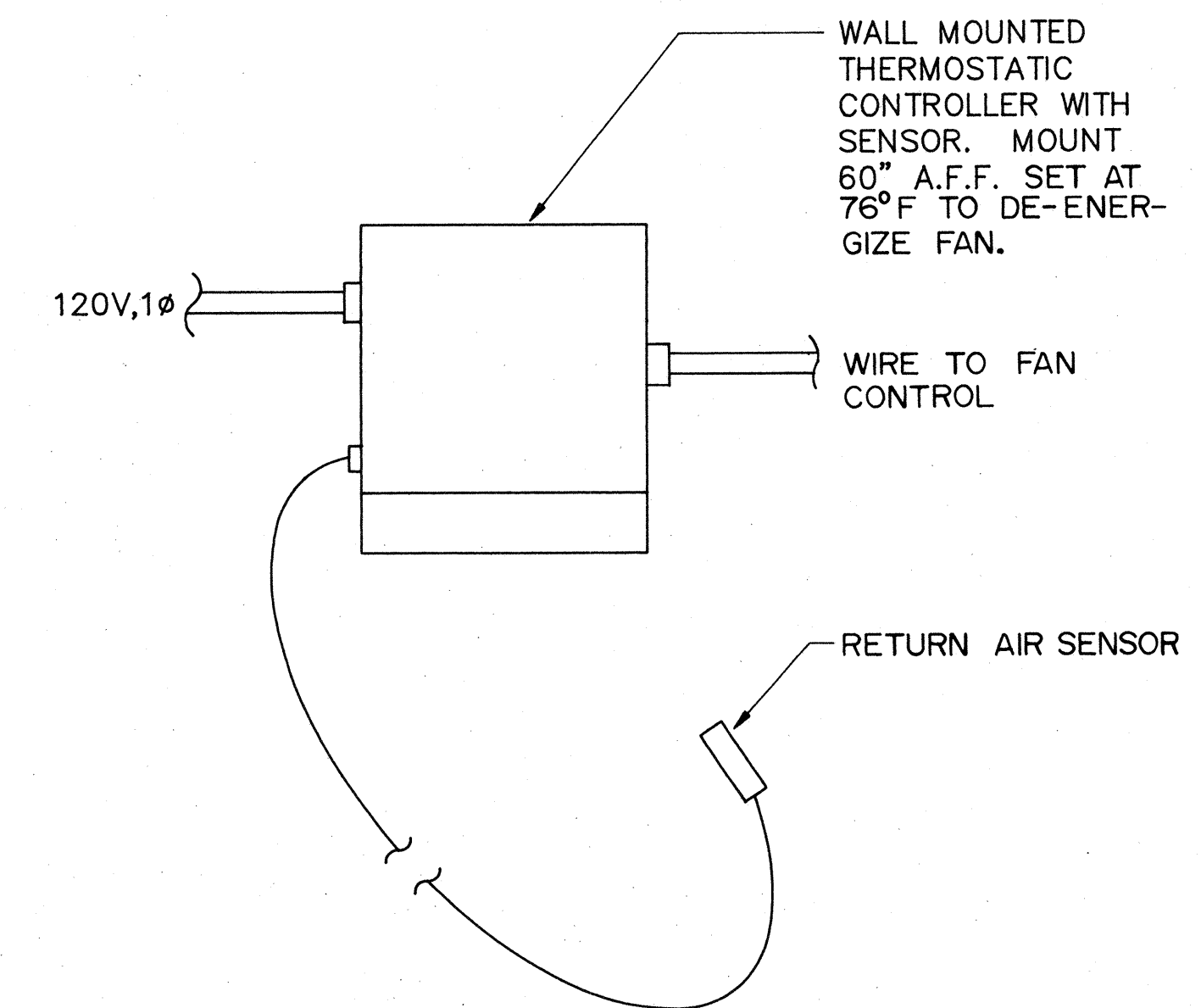
| TAG  | TYPE        | DRIVE  | CFM | SP IN H <sub>2</sub> O | FAN RPM | MAX TIP SPEED | MOTOR DATA |       |       | REMARKS                      |
|------|-------------|--------|-----|------------------------|---------|---------------|------------|-------|-------|------------------------------|
|      |             |        |     |                        |         |               | HP         | VOLTS | PHASE |                              |
| EF-1 | Z6TD        | DIRECT | 100 | 0.10                   | 1050    | -             | 1/15       | 120   | 1     | WALL INSTALLATION            |
| EF-2 | XR82L       |        | 300 | 0.125                  | 1183    | 2490          | 1/5        |       |       | ROOFTOP CENTRIFUGAL          |
| EF-3 | 26TD        |        | 75  |                        | 950     |               | 1/25       |       |       | CEILING CABINET FAN W/GRILLE |
| EF-4 |             |        |     |                        |         |               |            |       |       |                              |
| EF-5 |             |        |     |                        |         |               |            |       |       |                              |
| EF-6 | NUTONE 8870 |        | 80  | -                      | -       | -             | 1.5AMP     |       |       | THRU THE WALL BATH FAN       |

NOTE: (1) MODEL TYPES BY PENN VENTILATOR UNLESS OTHERWISE NOTED.  
(2) CEILING CABINET SHALL BE COMPLETE W/ WALL MOUNTED FAN SWITCH.



**WATER HEATER/FAN COIL UNIT SYSTEM DETAIL**

NO SCALE



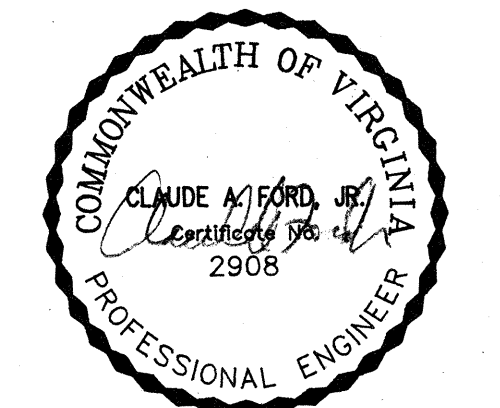
**THERMOSTATIC CONTROLLER DETAIL**

NO SCALE



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

NEWPORT NEWS, VA



Designed: MAC

Drawn: AKH

Checked: CAF

Scale: NOTED

Date: JANUARY 31, 1992

File No:

Project No: 90006

SCHEDULES

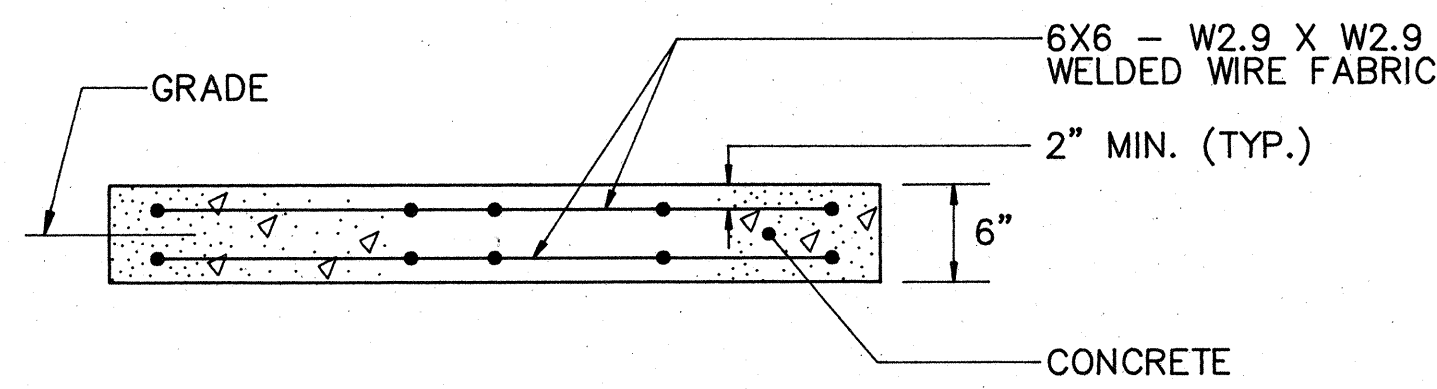
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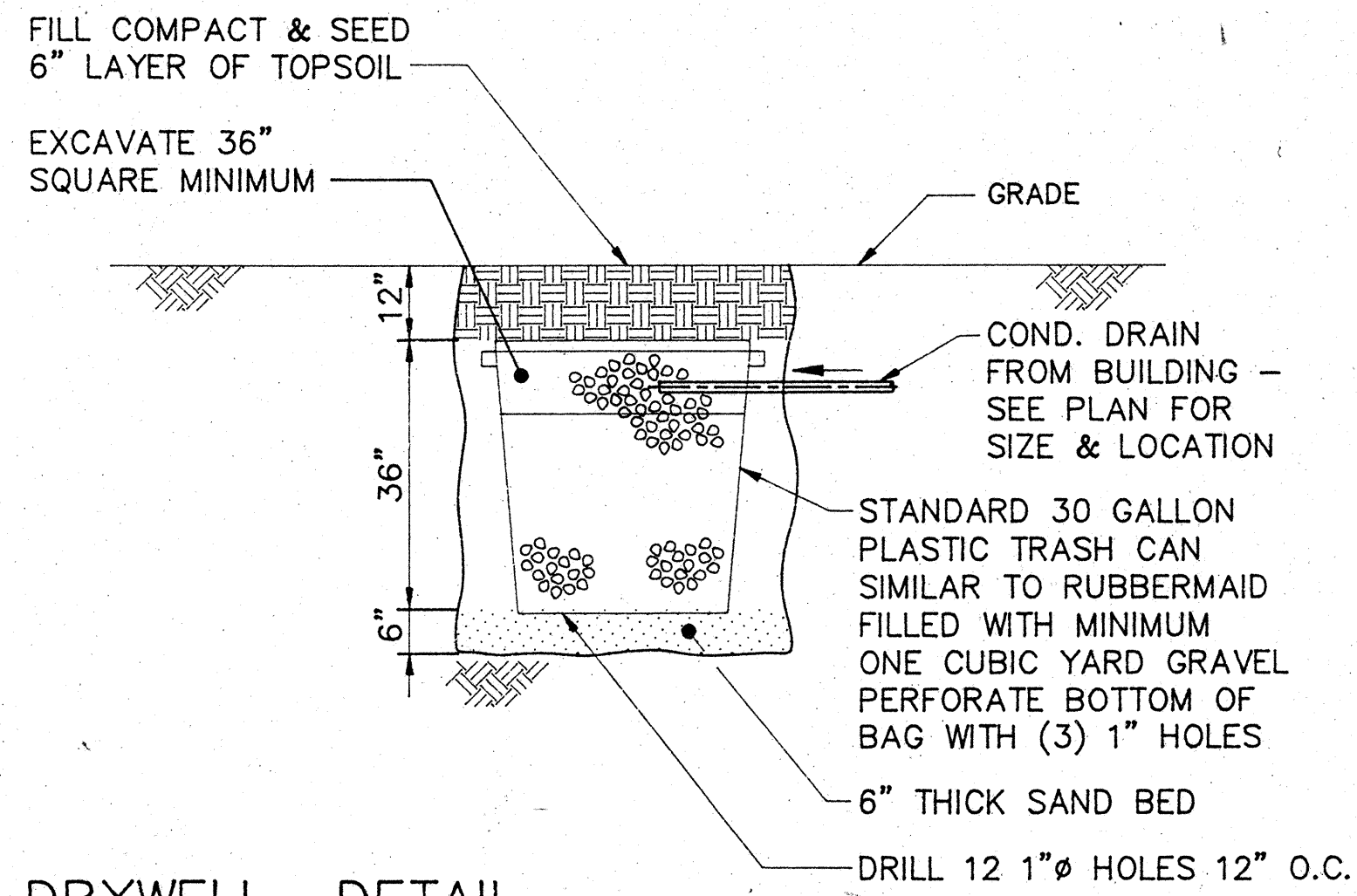
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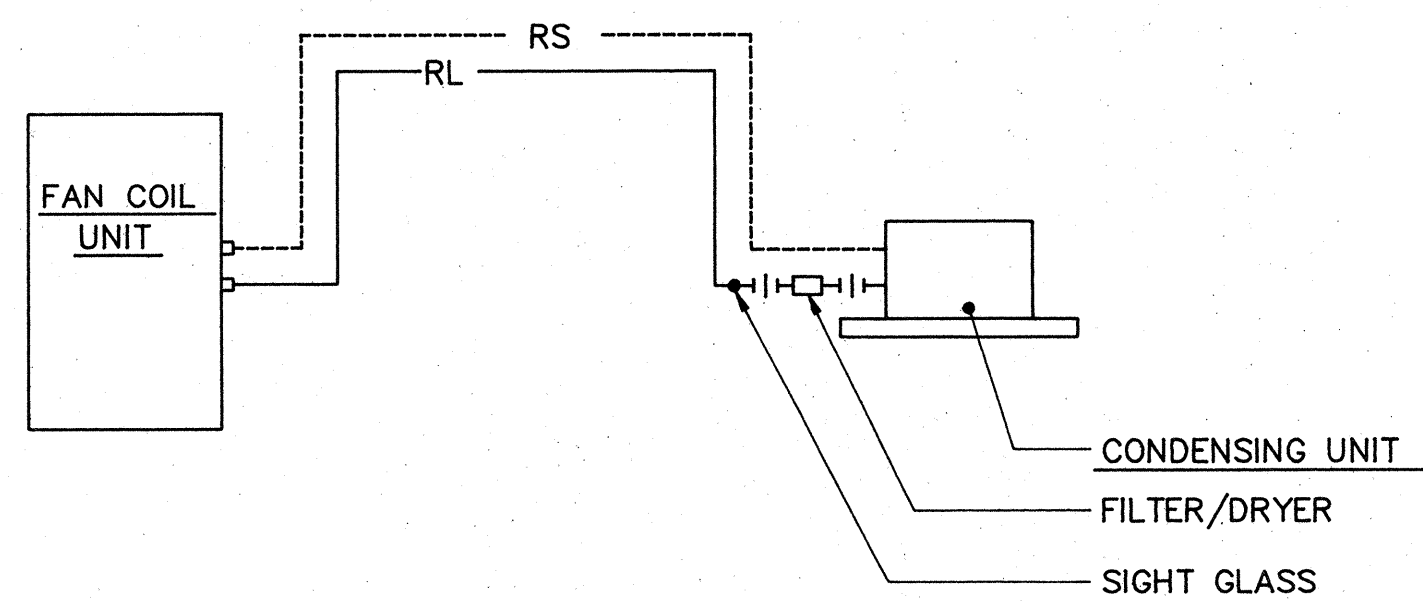
NOTE: SLAB DIMENSIONS SHALL EXCEED EQUIPMENT DIMENSIONS BY 6" ON ALL SIDES.



**CONCRETE UNIT SUPPORT SLAB DETAIL**  
NO SCALE

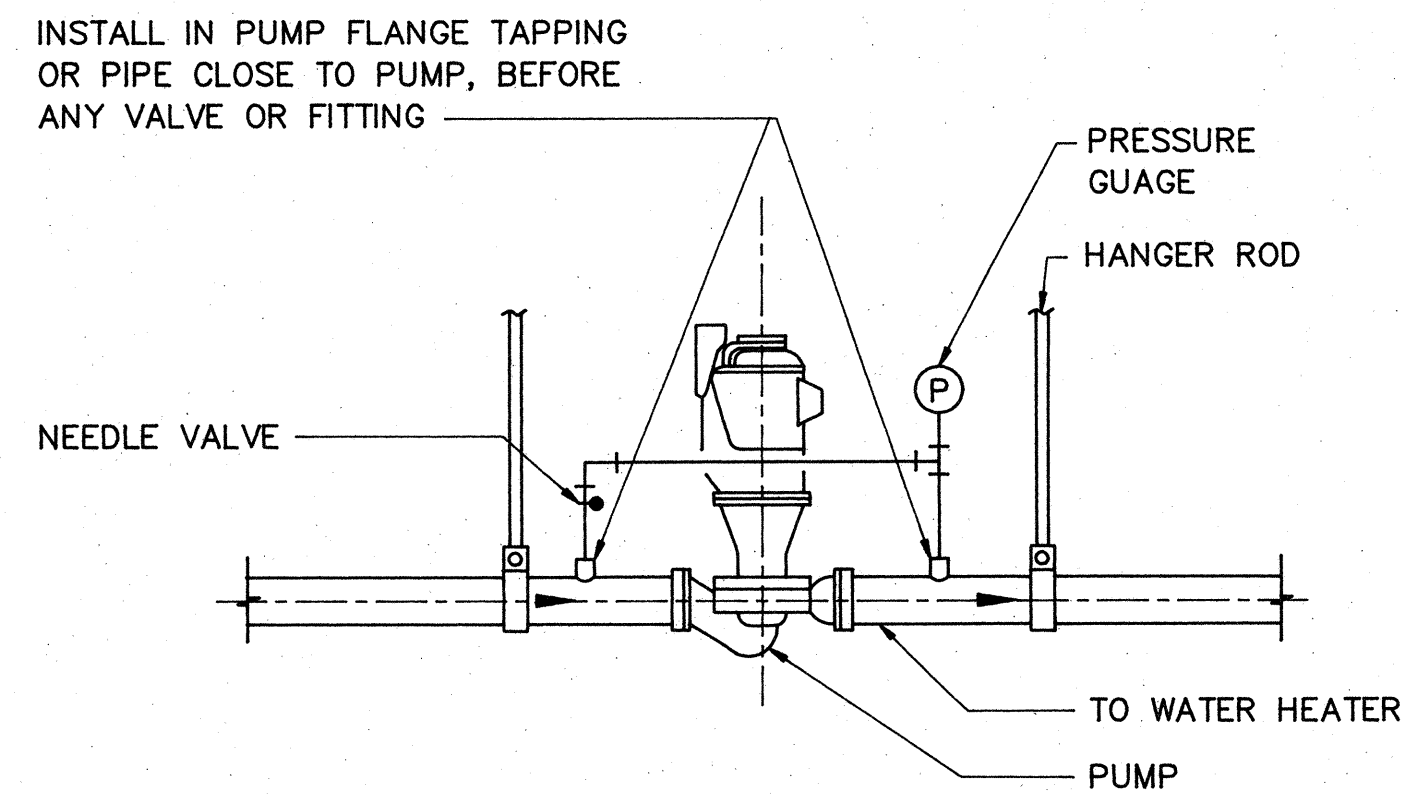


**DRYWELL DETAIL**  
NO SCALE

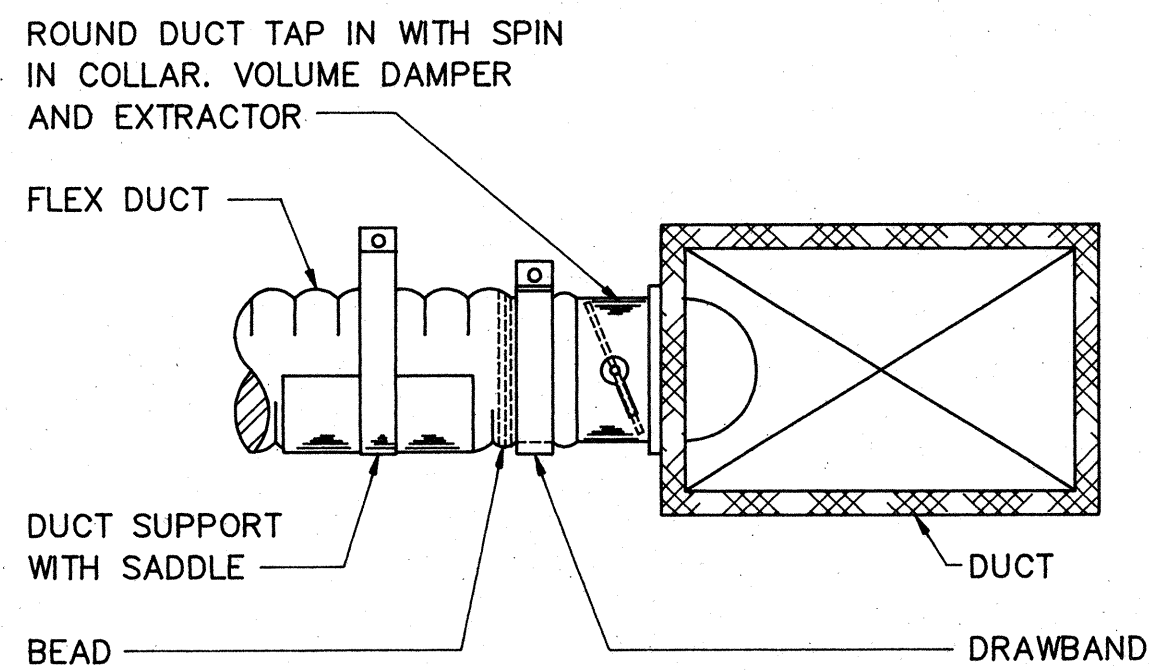


NOTE: REFRIGERANT PIPING SIZES SHALL BE AS INDICATED ON THE PLANS.

**REFRIGERANT PIPING DIAGRAM**  
NO SCALE

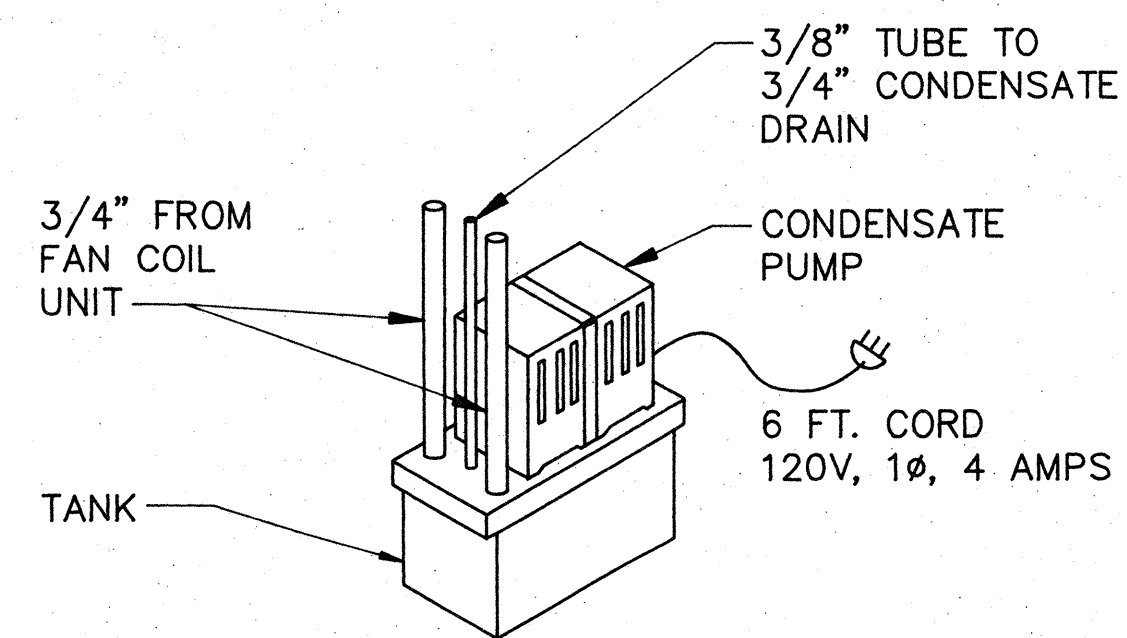


**IN-LINE PUMP DETAIL**  
NO SCALE



NOTES:  
1. FLEXIBLE DUCT SUPPORT SHALL HAVE A MAX. 3'-0" SPACING.  
2. FLEXIBLE DUCT SHALL BE U.L. LISTED.  
3. SEE SMACA DUCT CONSTRUCTION STANDARDS FOR ROUND CONNECTIONS TO RECTANGULAR DUCT.

**FLEXIBLE DUCT INSTALLATION DETAIL**  
NO SCALE

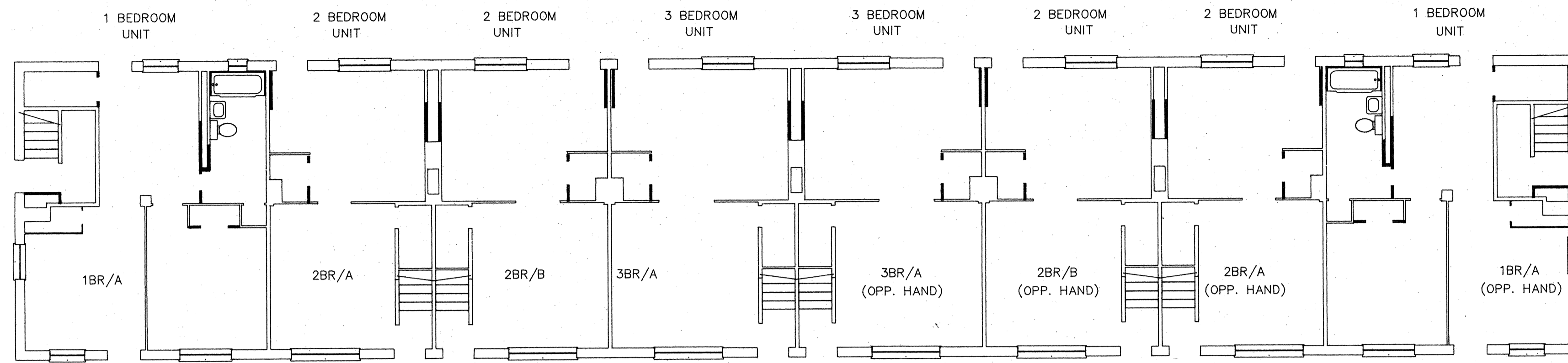


**CONDENSATE PUMP DETAIL**  
NO SCALE

|             |                  |
|-------------|------------------|
| Designed:   | MAC              |
| Drawn:      | AKH              |
| Checked:    | CAF              |
| Scale:      | NOTED            |
| Date:       | JANUARY 31, 1992 |
| File No:    |                  |
| Project No: | 90006            |

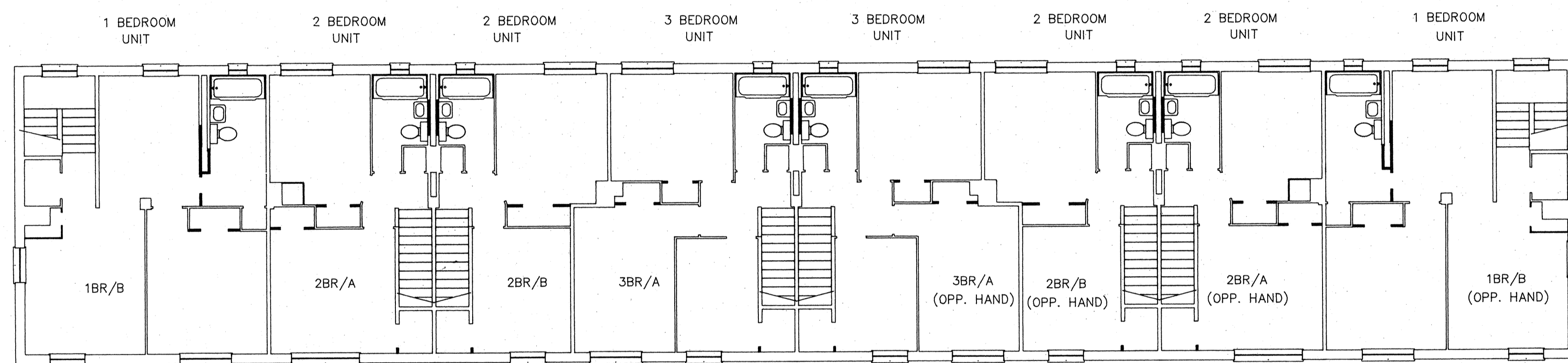
**MECHANICAL DETAILS**





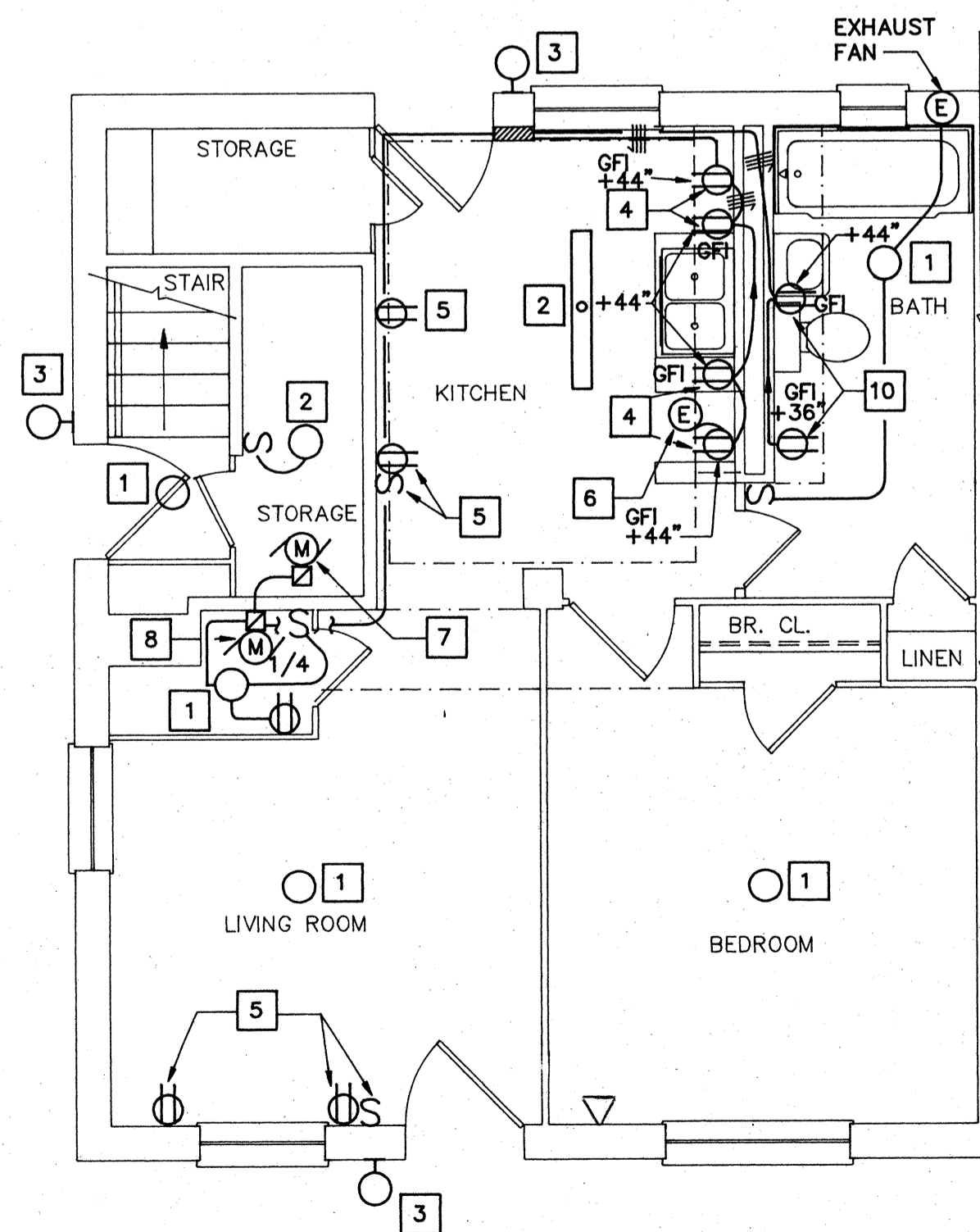
**FIRST FLOOR PLAN - BUILDING "B"**

SCALE: 1/8" = 1'-0"



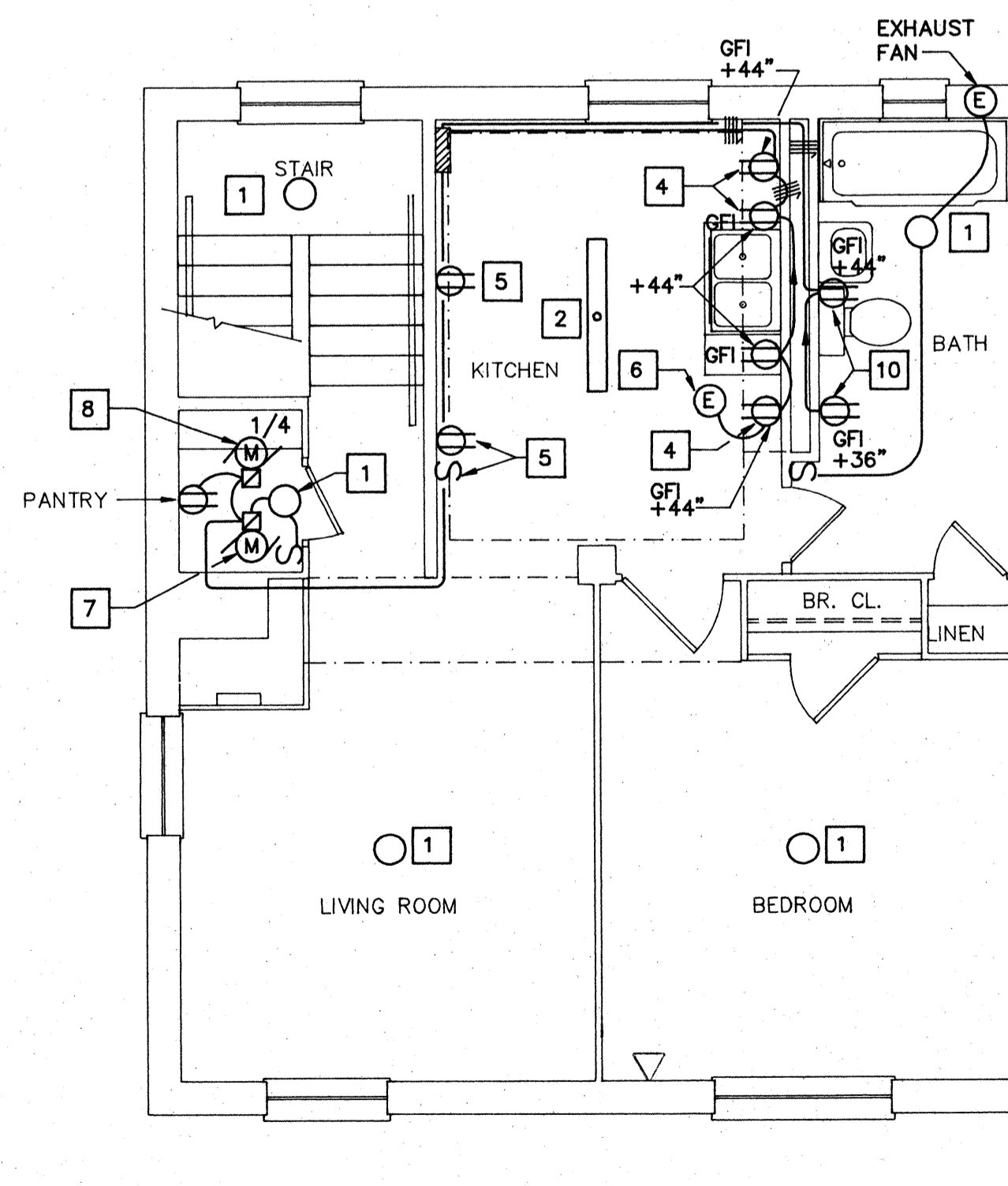
**SECOND FLOOR PLAN - BUILDING "B"**

SCALE: 1/8" = 1'-0"



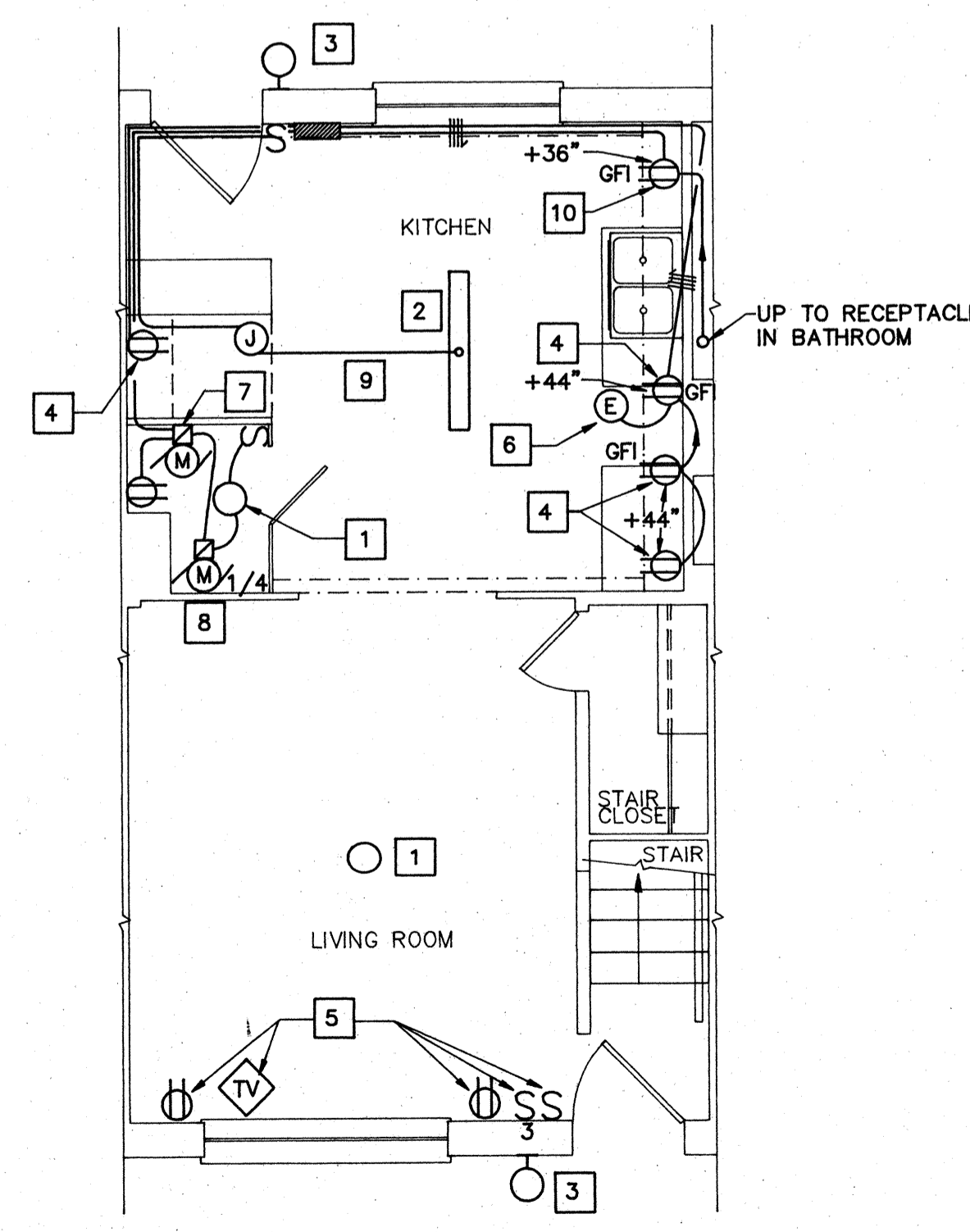
**1ST FL. - UNIT 1BR/A**

SCALE: 1/4" = 1'-0"



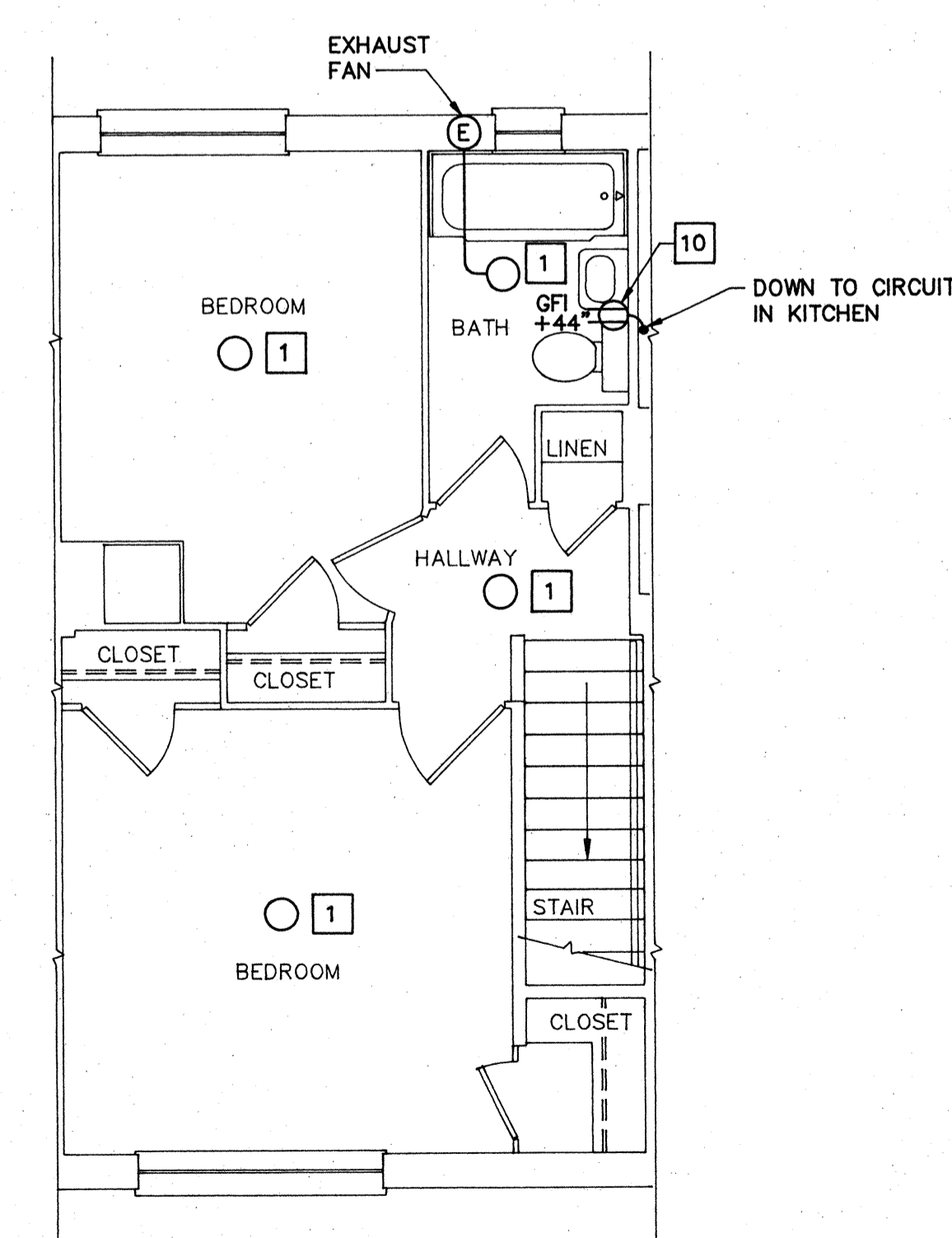
**2ND FL. - UNIT 1BR/B**

SCALE: 1/4" = 1'-0"



**1ST FL. - UNIT 2BR/A**

SCALE: 1/4" = 1'-0"



**2ND FL. - UNIT 2BR/A**

SCALE: 1/4" = 1'-0"

**NEW WORK NOTES**

1. PROVIDE COMPACT FLUORESCENT TYPE LIGHT FIXTURE WITH 3-13W LAMPS, EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. C39LP. CONNECT TO EXISTING CIRCUIT SEE DEMOLITION NOTE 1.
2. EXISTING LIGHT FIXTURE AT NEW POSITION SEE DEMOLITION NOTE 3.
3. PROVIDE COMPACT FLUORESCENT TYPE, PHOTOCELL CONTROLLED LIGHT FIXTURE WITH 1-13W LAMP, FIXTURE SHALL BE EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. SWP13. CONNECT TO EXISTING CIRCUIT SEE DEMOLITION NOTE 4.
4. PROVIDE FLUSH MOUNTED KITCHEN RECEPTACLE. CONNECT TO EXISTING KITCHEN RECEPTACLE CIRCUIT IN EXISTING PANEL.
5. PROVIDE FLUSH MOUNTED WIRING DEVICES, CONNECT TO EXISTING CIRCUIT SEE DEMOLITION NOTE 9.
6. PROVIDE ELECTRICAL CONNECTION TO NEW RANGEHOOD.
7. PROVIDE ELECTRICAL CONNECTION TO HOT WATER CIRCULATING PUMP.
8. PROVIDE ELECTRICAL CONNECTION TO AIR HANDLING UNIT.
9. REUSE EXISTING CONCEALED CONDUIT BETWEEN LIGHT FIXTURE AND DEMOLISHED WALL. EXTEND CIRCUIT AS NECESSARY.
10. PROVIDE FLUSH MOUNTED RECEPTACLE. CONNECT TO EXISTING PANEL. PROVIDE 20A, 1P CIRCUIT BREAKER IN THE EXISTING PANEL.

**GENERAL NOTES**

1. ALL CONDUIT SHALL BE CONCEALED AND WIRING DEVICES FLUSH WHERE PRACTICABLE. COORDINATE WITH ARCHITECTURAL WORK FOR DETAILS.
2. SURFACE MOUNTED RACEWAY & WIRING DEVICES SHALL MATCH ADJACENT SURFACE COLOR.
3. SEE LEGEND ON SHEET E4.
4. PROVIDE ONE TELEPHONE OUTLET IN THE KITCHEN AND ONE IN THE MASTER BEDROOM. COORDINATE CONNECTION AND WIRING WITH THE AUTHORITIES.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

NEWPORT NEWS, VA

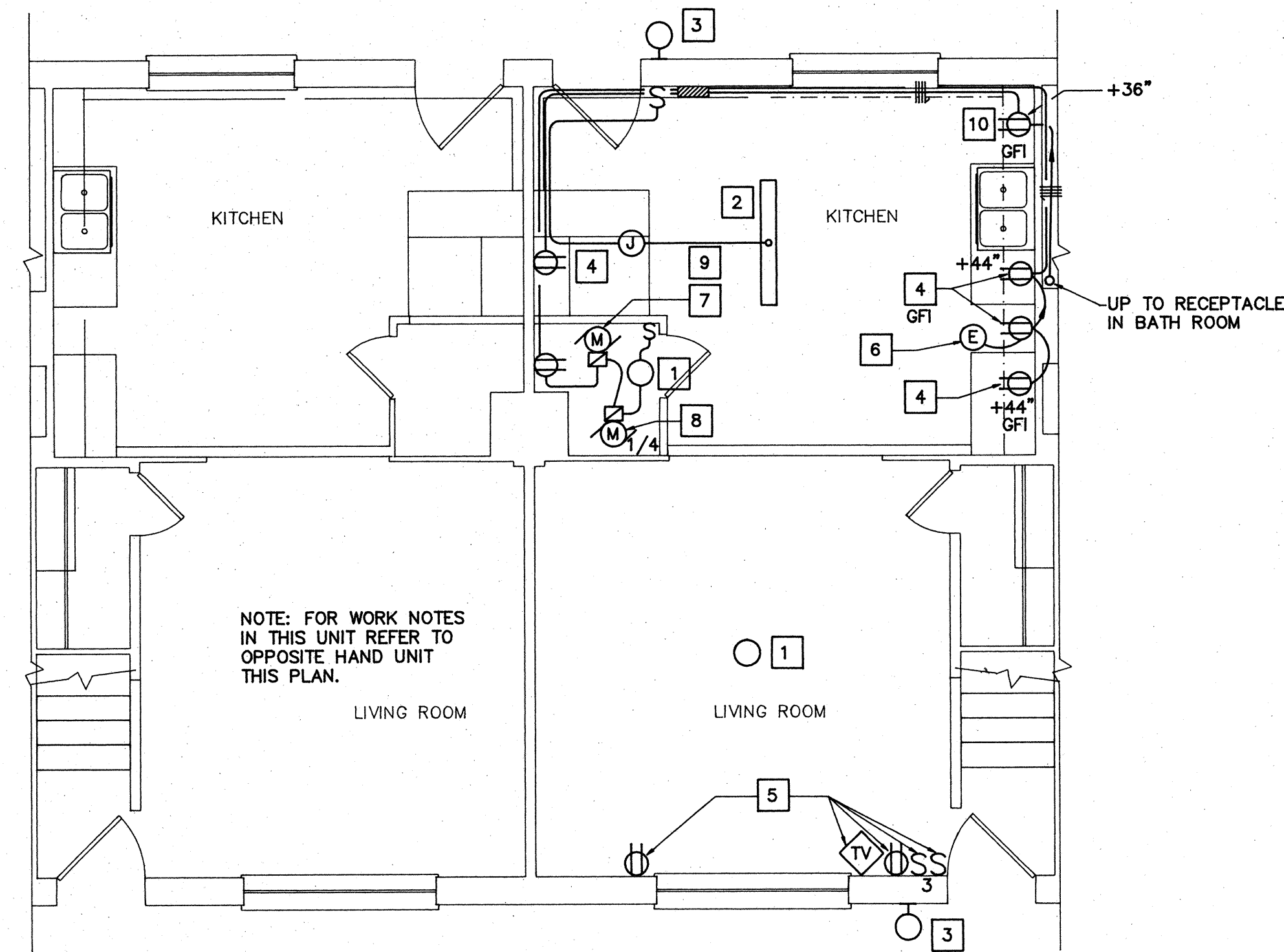


Designed: PG  
 Drawn: DPM  
 Checked: HDM  
 Scale: AS NOTED  
 Date: JANUARY 31, 1992  
 File No:  
 Project No: 90006

**BUILDING TYPE B - FLOOR PLANS (NEW WORK)**

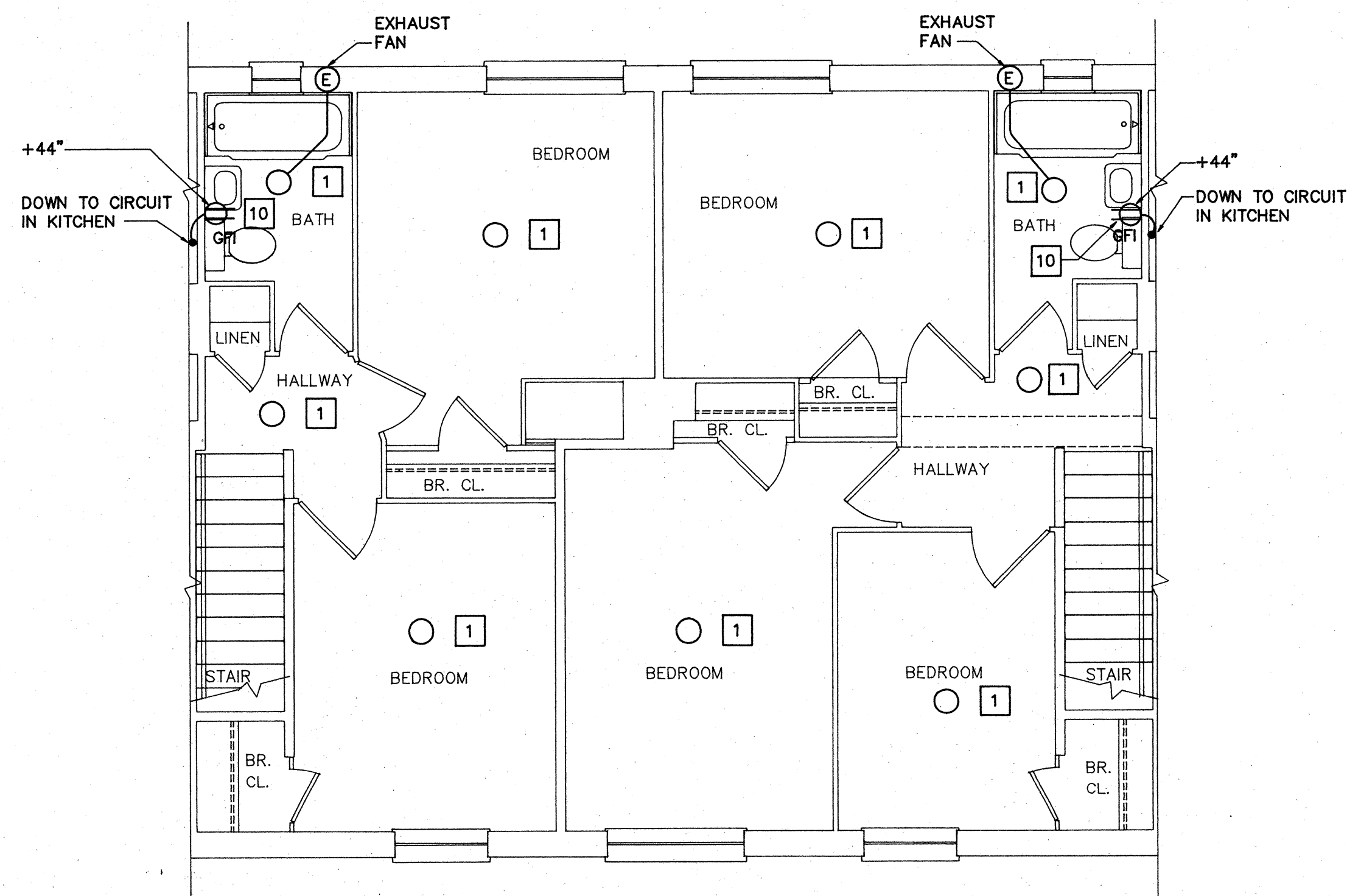
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1ST FL. - UNIT 2BR/B & 3BR/A

SCALE: 1/4" = 1'-0"



2ND FL. - UNIT 2BR/B & 3BR/A

SCALE: 1/4" = 1'-0"

NEW WORK NOTES

1. PROVIDE COMPACT FLUORESCENT TYPE LIGHT FIXTURE WITH 3-13W LAMPS, EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. C39LP. CONNECT TO EXISTING CIRCUIT. SEE DEMOLITION NOTE 1 AND GENERAL NOTE 4.
2. EXISTING LIGHT FIXTURE AT NEW POSITION SEE DEMOLITION NOTE 3.
3. PROVIDE COMPACT FLUORESCENT TYPE, PHOTOCELL CONTROLLED LIGHT FIXTURE WITH 1-13W LAMP, FIXTURE SHALL BE EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. SWP13. CONNECT TO EXISTING CIRCUIT SEE DEMOLITION NOTE 4.
4. PROVIDE FLUSH MOUNTED RECEPTACLE. CONNECT TO EXISTING RECEPTACLE CIRCUIT IN EXISTING PANEL.
5. PROVIDE FLUSH MOUNTED WIRING DEVICES, CONNECT TO EXISTING CIRCUIT SEE DEMOLITION NOTE 9.
6. PROVIDE ELECTRICAL CONNECTION TO NEW RANGEHOOD.
7. PROVIDE ELECTRICAL CONNECTION TO HOT WATER CIRCULATING PUMP.
8. PROVIDE ELECTRICAL CONNECTION TO AIR HANDLING UNIT.
9. REUSE EXISTING CONCEALED CONDUIT BETWEEN LIGHT FIXTURE AND DEMOLISHED WALL. EXTEND CIRCUIT AS NECESSARY.
10. PROVIDE FLUSH MOUNTED RECEPTACLE. CONNECT TO EXISTING PANEL. PROVIDE 20A, 1P CIRCUIT BREAKER IN THE EXISTING PANEL.

GENERAL NOTES

1. ALL CONDUIT SHALL BE CONCEALED AND WIRING DEVICES FLUSH WHERE PRACTICABLE. COORDINATE WITH ARCHITECTURAL WORK FOR DETAILS.
2. SURFACE MOUNTED RACEWAY SHALL MATCH ADJACENT SURFACE COLOR.
3. SEE LEGEND ON SHEET E4.
4. PROVIDE ONE TELEPHONE OUTLET IN THE KITCHEN AND ONE IN THE MASTER BEDROOM. COORDINATE CONNECTION AND WIRING WITH THE AUTHORITIES.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS

NEWPORT NEWS, VA

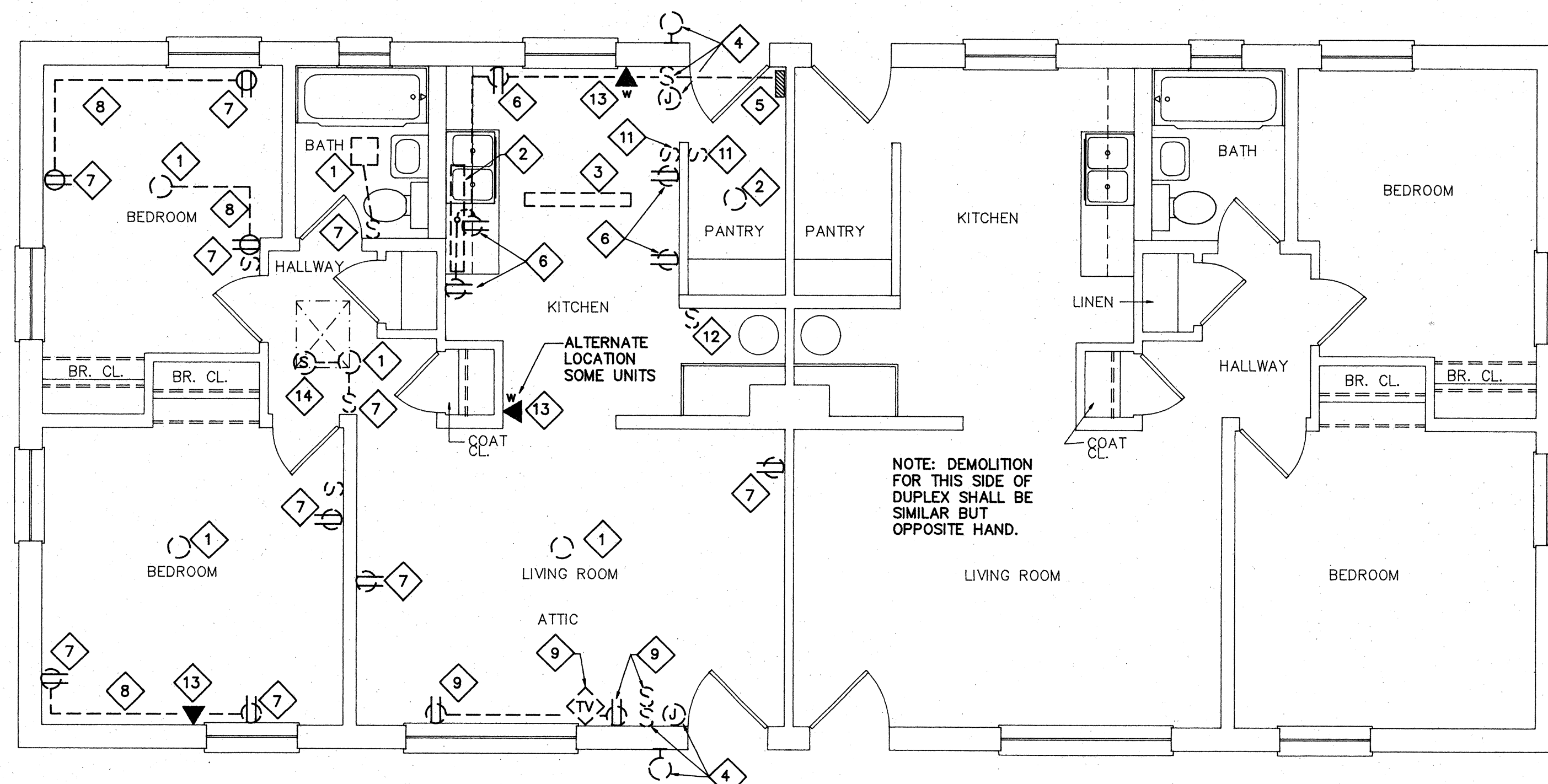


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BUILDING TYPE B - FLOOR PLANS (NEW WORK)

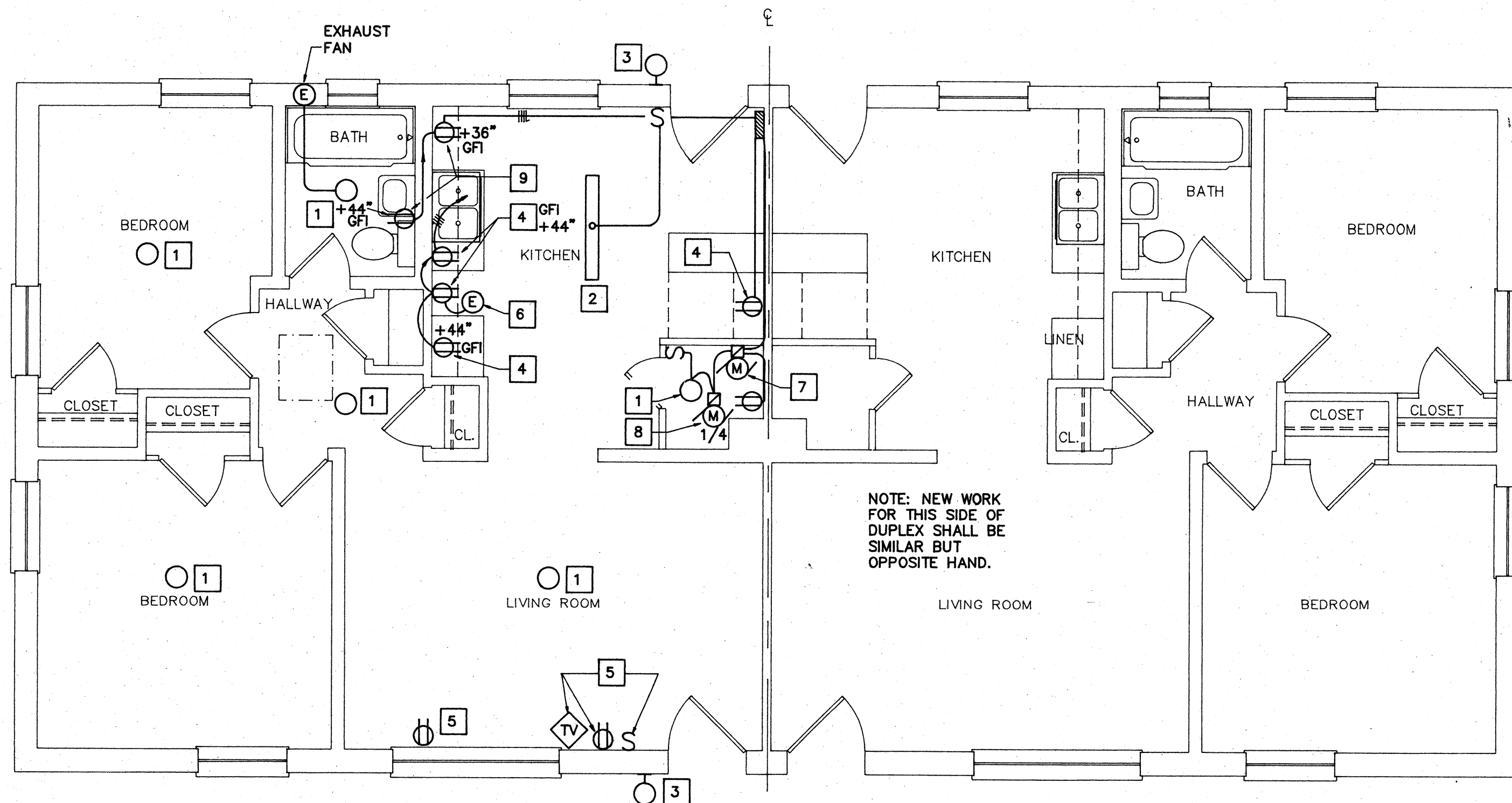
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**FLOOR PLAN - BUILDING D2 (DEMOLITION)**

SCALE: 1/4" = 1'-0"



**FLOOR PLAN - BUILDING D2 (NEW WORK)**

SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES**

1. REMOVE LIGHT FIXTURE. EXISTING CIRCUIT TO REMAIN FOR NEW LIGHT FIXTURE INSTALLATION.
2. REMOVE LIGHT FIXTURE WITH ASSOCIATED CONDUIT AND WIRING.
3. RELOCATE LIGHT FIXTURE. EXTEND EXISTING CIRCUIT AS NECESSARY. SEE NEW WORK FOR LOCATION.
4. REMOVE LIGHT FIXTURE WITH ASSOCIATED SWITCH. EXISTING CIRCUIT TO REMAIN FOR NEW PHOTOCELL CONTROL LIGHT FIXTURE.
5. EXISTING PANEL TO REMAIN. REMOVE LEAD BASE PAINT. SEE ABATEMENT NOTE.
6. REMOVE RECEPTACLE WITH ASSOCIATED CONDUIT AND WIRING. RE-USE EXISTING CIRCUIT TO SERVE NEW RECEPTABLES.
7. REMOVE WIRING DEVICE TO FACILITATE ARCHITECTURAL WORK. RE-INSTALL NEW WIRING DEVICE AFTER ARCHITECTURAL WORK IS COMPLETED. PROVIDE EXTENSION RING AS NECESSARY. SEE GENERAL NOTES THIS SHEET.
8. REMOVE ALL SURFACE MOUNTED CONDUIT AND RACEWAY. REINSTALL NEW CONCEALED CONDUIT OR SURFACE MOUNTED RACEWAY (WIREMOLD). SEE GENERAL NOTE 7 THIS SHEET.
9. REMOVE SURFACE MOUNTED WIRING DEVICE. EXISTING CIRCUIT TO REMAIN. SEE NEW WORK NOTE 5.
10. REMOVE JUNCTION BOX WITH ASSOCIATED CONDUIT & WIRING.
11. REMOVE LIGHT SWITCH WITH ASSOCIATED CONDUIT AND WIRING.
12. REMOVE SWITCH AND WIRING FOR EXISTING HEATING UNIT. RE-USE EXISTING CIRCUIT FOR NEW HEATING SYSTEM.
13. REMOVE TEL. OUTLET TO FACILITATE ARCHITECTURAL WORK. RE-INSTALL AFTER ARCHITECTURAL WORK IS COMPLETE. EXTEND EXISTING WIRING AS NECESSARY.
14. REMOVE 120V SMOKE DETECTOR TO FACILITATE ARCHITECTURAL WORK. RE-INSTALL AFTER ARCHITECTURAL WORK IS COMPLETE.

**NEW WORK NOTES**

1. PROVIDE COMPACT FLUORESCENT TYPE LIGHT FIXTURE WITH 3-13W LAMPS, EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. C39LP. CONNECT TO EXISTING CIRCUIT SEE DEMOLITION NOTE 1.
2. EXISTING LIGHT FIXTURE AT NEW LOCATION SEE DEMOLITION NOTE 3.
3. PROVIDE COMPACT FLUORESCENT TYPE, PHOTOCELL CONTROLLED LIGHT FIXTURE WITH 1-13W LAMP, FIXTURE SHALL BE EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. SWP13. CONNECT TO EXISTING CIRCUIT SEE DEMOLITION NOTE 4.
4. PROVIDE FLUSH MOUNTED RECEPTACLE. CONNECT TO EXISTING KITCHEN RECEPTACLE CIRCUIT IN EXISTING PANEL.
5. PROVIDE FLUSH MOUNTED WIRING DEVICES, CONNECT TO EXISTING CIRCUIT SEE DEMOLITION NOTE 9.
6. PROVIDE ELECTRICAL CONNECTION TO NEW RANGEHOOD.
7. PROVIDE ELECTRICAL CONNECTION TO HOT WATER CIRCULATING PUMP.
8. PROVIDE ELECTRICAL CONNECTION TO AIR HANDLING UNIT.
9. PROVIDE FLUSH MOUNTED RECEPTACLE. CONNECT TO EXISTING PANEL. PROVIDE 20A, 1P CIRCUIT BREAKER IN THE EXISTING PANEL.

**GENERAL NOTES**

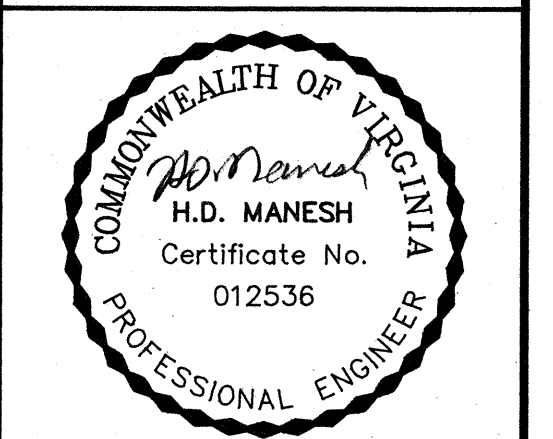
1. PROVIDE ALL ELECTRICAL DEMOLITION WORK NECESSARY TO INSTALL NEW WORK. ELECTRICAL CONTRACTOR SHALL REROUTE AND RECONNECT ANY CIRCUITS THAT WILL REMAIN IN USE BUT INTERFERE WITH NEW CONSTRUCTION.
2. ALL EXISTING CONDUITS THAT WILL NOT BE REUSED SHALL BE REMOVED WHERE THEY WILL BE EXPOSED AFTER COMPLETION OF THE CONSTRUCTION. ALL OTHERS MAY BE ABANDONED IN WALLS ONLY. CONTRACTOR SHALL REMOVE ALL WIRING FROM ABANDONED CONDUITS, DISCONNECT FROM ALL POWER SOURCES AND PROVIDE BLANK PLATES ON ALL ABANDONED OUTLETS. CUT-OFF ABANDONED CONDUIT 2" BELOW FINISHED FLOOR AND GROUT FLUSH.
3. MAINTAIN CONTINUITY OF ALL EXISTING CIRCUITS TO REMAIN OR PORTIONS THEREOF AFFECTED BY NEW WORK.
4. ALL MATERIALS REMOVED UNDER DEMOLITION (AND NOT TO BE RELOCATED) SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED COMPLETELY FROM THE SITE.
5. CONTRACTOR SHALL EXERCISE CARE IN REMOVING DEMOLITION ITEMS AND SHALL REPAIR OR REPLACE AT HIS COST ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION AND EQUIPMENT TO REMAIN.
6. DRAWINGS ARE BASED ON EXISTING PLANS AND FIELD INVESTIGATION WITHOUT DEMOLITION. CONTRACTOR SHALL VISIT THE EXISTING BUILDING AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND SHALL EXAMINE ALL RELATED DRAWINGS TO AVOID CONFLICTS.
7. ALL CONDUIT SHALL BE CONCEALED AND WIRING DEVICES FLUSH WHERE PRACTICABLE. COORDINATE WITH ARCHITECTURAL WORK.
8. SURFACE MOUNTED RACEWAY SHALL MATCH ADJACENT SURFACE COLOR.
9. SEE LEGEND ON SHEET E-4.
10. PROVIDE ONE TELEPHONE OUTLET IN THE KITCHEN AND ONE IN THE MASTER BEDROOM. COORDINATE CONNECTION AND WIRING WITH THE AUTHORITIES.

**ABATEMENT NOTE**

ELECTRICAL EXPOSED AND PAINTED CONDUIT AND DEVICES HAVE BEEN TESTED AND ARE KNOWN TO CONTAIN LEAD BASED PAINT. ALL ELECTRICAL EXPOSED CONDUIT AND DEVICES SHALL BE HANDLED IN ACCORDANCE WITH SPECIFICATION SECTION 02090 BY THE ABATEMENT CONTRACTOR.



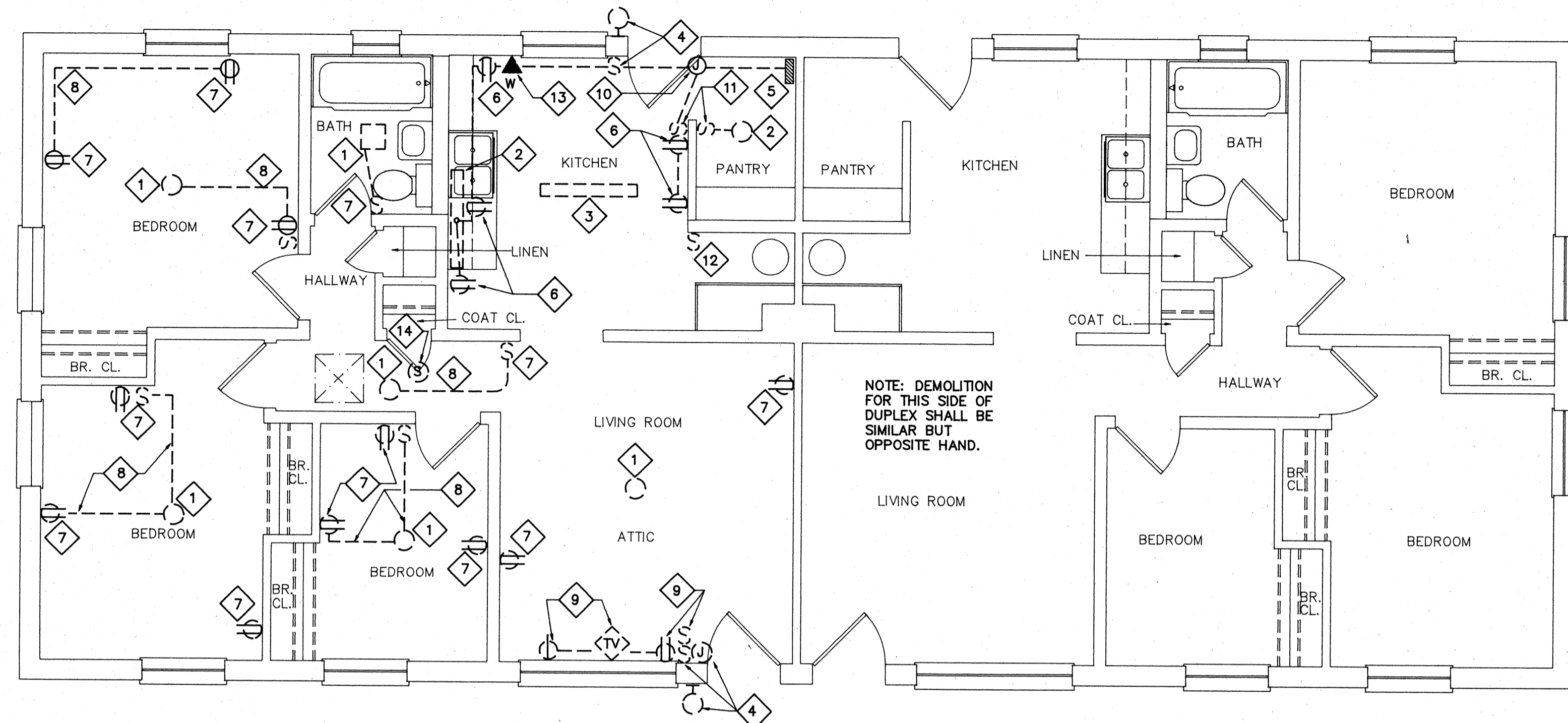
COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS NEWPORT NEWS, VA



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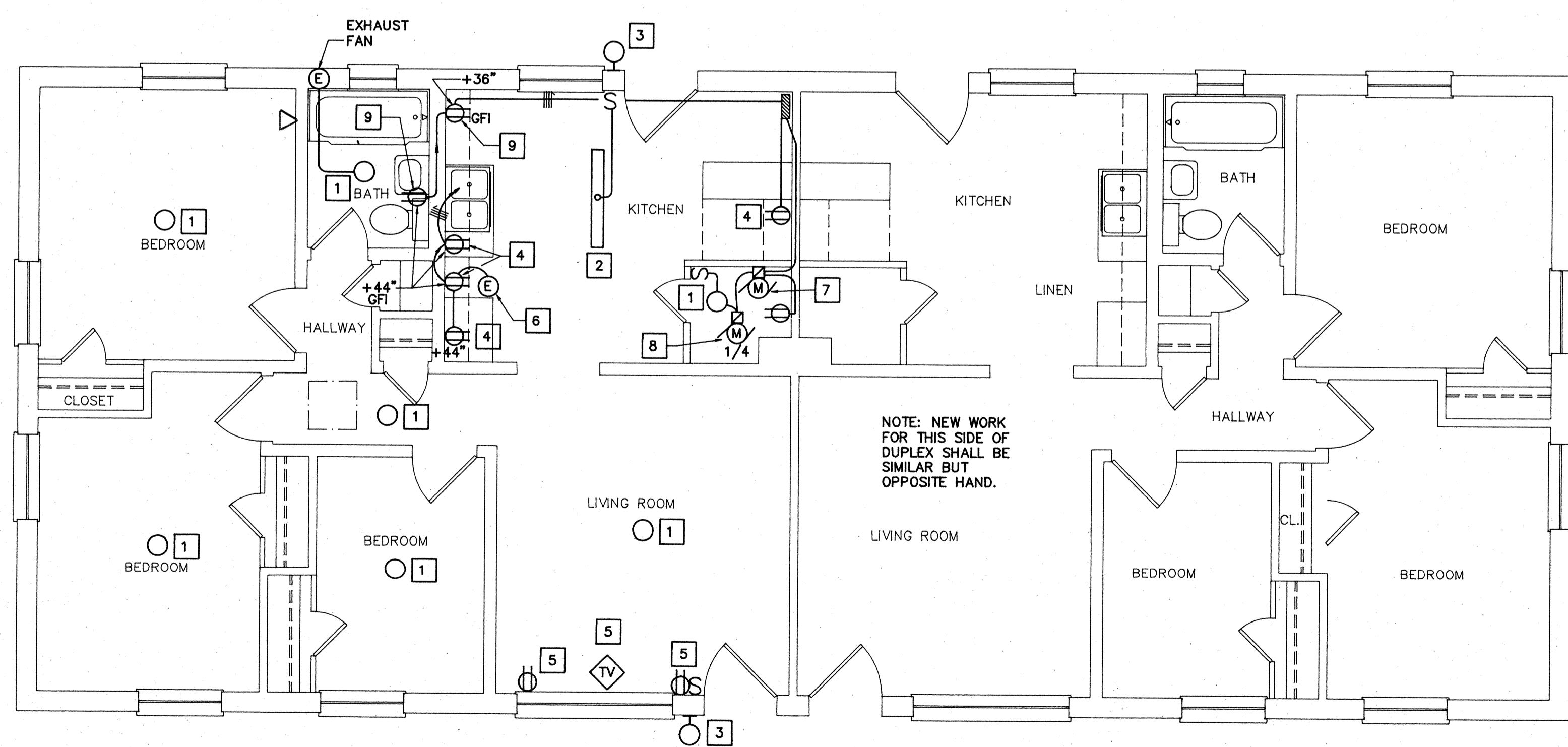
**BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK)**





**FLOOR PLAN - BUILDING D3 (DEMOLITION)**

SCALE: 1/4" = 1'-0"



**FLOOR PLAN - BUILDING D3 (NEW WORK)**

SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES**

1. REMOVE LIGHT FIXTURE. EXISTING CIRCUIT TO REMAIN FOR NEW LIGHT FIXTURE INSTALLATION.
2. REMOVE LIGHT FIXTURE WITH ASSOCIATED CONDUIT AND WIRING.
3. RELOCATE LIGHT FIXTURE. EXTEND EXISTING CIRCUIT AS NECESSARY. SEE NEW WORK FOR LOCATION.
4. REMOVE LIGHT FIXTURE WITH ASSOCIATED SWITCH. EXISTING CIRCUIT TO REMAIN FOR NEW PHOTOCELL CONTROL LIGHT FIXTURE.
5. EXISTING PANEL TO REMAIN. REMOVE LEAD BASE PAINT. SEE ABATEMENT NOTE.
6. REMOVE RECEPTACLE WITH ASSOCIATED CONDUIT AND WIRING. RE-USE EXISTING CIRCUIT TO SERVE NEW RECEPTACLES.
7. REMOVE WIRING DEVICE TO FACILITATE ARCHITECTURAL WORK. RE-INSTALL NEW WIRING DEVICE AFTER ARCHITECTURAL WORK IS COMPLETED. PROVIDE EXTENSION RING AS NECESSARY. SEE GENERAL NOTES.
8. REMOVE ALL SURFACE MOUNTED CONDUIT AND RACEWAY. REINSTALL NEW CONCEALED CONDUIT OR SURFACE MOUNTED RACEWAY (WIREMOLD). SEE GENERAL NOTE 7.
9. REMOVE SURFACE MOUNTED WIRING DEVICE. EXISTING CIRCUIT TO REMAIN. SEE NEW WORK NOTE 5.
10. REMOVE JUNCTION BOX WITH ASSOCIATED CONDUIT & WIRING.
11. REMOVE LIGHT SWITCH WITH ASSOCIATED CONDUIT AND WIRING.
12. REMOVE SWITCH AND WIRING FOR EXISTING HEATING UNIT. RE-USE EXISTING CIRCUIT FOR NEW HEATING SYSTEM.
13. REMOVE TEL. OUTLET TO FACILITATE ARCHITECTURAL WORK. RE-INSTALL AFTER ARCHITECTURAL WORK IS COMPLETE. EXTEND EXISTING WIRING AS NECESSARY.
14. REMOVE 120V SMOKE DETECTOR TO FACILITATE ARCHITECTURAL WORK. RE-INSTALL AFTER ARCHITECTURAL WORK IS COMPLETE.

**NEW WORK NOTES**

1. PROVIDE COMPACT FLUORESCENT TYPE LIGHT FIXTURE WITH 3-13W LAMPS, EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. C39LP. CONNECT TO EXISTING CIRCUIT. SEE DEMOLITION NOTE 1.
2. EXISTING LIGHT FIXTURE AT NEW LOCATION SEE DEMOLITION NOTE 3.
3. PROVIDE COMPACT FLUORESCENT TYPE, PHOTOCELL CONTROLLED LIGHT FIXTURE WITH 1-13W LAMP, FIXTURE SHALL BE EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. SWP13. CONNECT TO EXISTING CIRCUIT SEE DEMOLITION NOTE 4.
4. PROVIDE FLUSH MOUNTED RECEPTACLE. CONNECT TO EXISTING KITCHEN RECEPTACLE CIRCUIT IN EXISTING PANEL.
5. PROVIDE FLUSH MOUNTED WIRING DEVICES, CONNECT TO EXISTING CIRCUIT SEE DEMOLITION NOTE 9.
6. PROVIDE ELECTRICAL CONNECTION TO NEW RANGEHOOD.
7. PROVIDE ELECTRICAL CONNECTION TO HOT WATER CIRCULATING PUMP.
8. PROVIDE ELECTRICAL CONNECTION TO AIR HANDLING UNIT.
9. PROVIDE FLUSH MOUNTED RECEPTACLE. CONNECT TO EXISTING PANEL. PROVIDE 20A, 1P CIRCUIT BREAKER IN THE EXISTING PANEL.

**GENERAL NOTES**

1. PROVIDE ALL ELECTRICAL DEMOLITION WORK NECESSARY TO INSTALL NEW WORK. ELECTRICAL CONTRACTOR SHALL REROUTE AND RECONNECT ANY CIRCUITS THAT WILL REMAIN IN USE BUT INTERFERE WITH NEW CONSTRUCTION.
2. ALL EXISTING CONDUITS THAT WILL NOT BE REUSED SHALL BE REMOVED WHERE THEY WILL BE EXPOSED AFTER COMPLETION OF THE CONSTRUCTION. ALL OTHERS MAY BE ABANDONED IN WALLS ONLY. CONTRACTOR SHALL REMOVE ALL WIRING FROM ABANDONED CONDUITS, DISCONNECT FROM ALL POWER SOURCES AND PROVIDE BLANK PLATES ON ALL ABANDONED OUTLETS. CUT-OFF ABANDONED CONDUIT 2" BELOW FINISHED FLOOR AND GROUT FLUSH.
3. MAINTAIN CONTINUITY OF ALL EXISTING CIRCUITS TO REMAIN OR PORTIONS THEREOF AFFECTED BY NEW WORK.
4. ALL MATERIALS REMOVED UNDER DEMOLITION (AND NOT TO BE RELOCATED) SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED COMPLETELY FROM THE SITE.
5. CONTRACTOR SHALL EXERCISE CARE IN REMOVING DEMOLITION ITEMS AND SHALL REPAIR OR REPLACE AT HIS COST ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION AND EQUIPMENT TO REMAIN.
6. DRAWINGS ARE BASED ON EXISTING PLANS AND FIELD INVESTIGATION WITHOUT DEMOLITION. CONTRACTOR SHALL VISIT THE EXISTING BUILDING AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND SHALL EXAMINE ALL RELATED DRAWINGS TO AVOID CONFLICTS.
7. ALL CONDUIT SHALL BE CONCEALED AND WIRING DEVICES FLUSH WHERE PRACTICABLE. COORDINATE WITH ARCHITECTURAL WORK.
8. SURFACE MOUNTED RACEWAY & WIRING DEVICES SHALL MATCH ADJACENT SURFACE COLOR.
9. SEE LEGEND ON SHEET E-4.
10. PROVIDE ONE TELEPHONE OUTLET IN THE KITCHEN AND ONE IN THE MASTER BEDROOM. COORDINATE CONNECTION AND WIRING WITH THE AUTHORITIES.

**ABATEMENT NOTE**

ELECTRICAL EXPOSED AND PAINTED CONDUIT AND DEVICES HAVE BEEN TESTED AND ARE KNOWN TO CONTAIN LEAD BASED PAINT. ALL ELECTRICAL EXPOSED CONDUIT AND DEVICES SHALL BE HANDLED IN ACCORDANCE WITH SPECIFICATION SECTION 02090 BY THE ABATEMENT CONTRACTOR.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS NEWPORT NEWS, VA

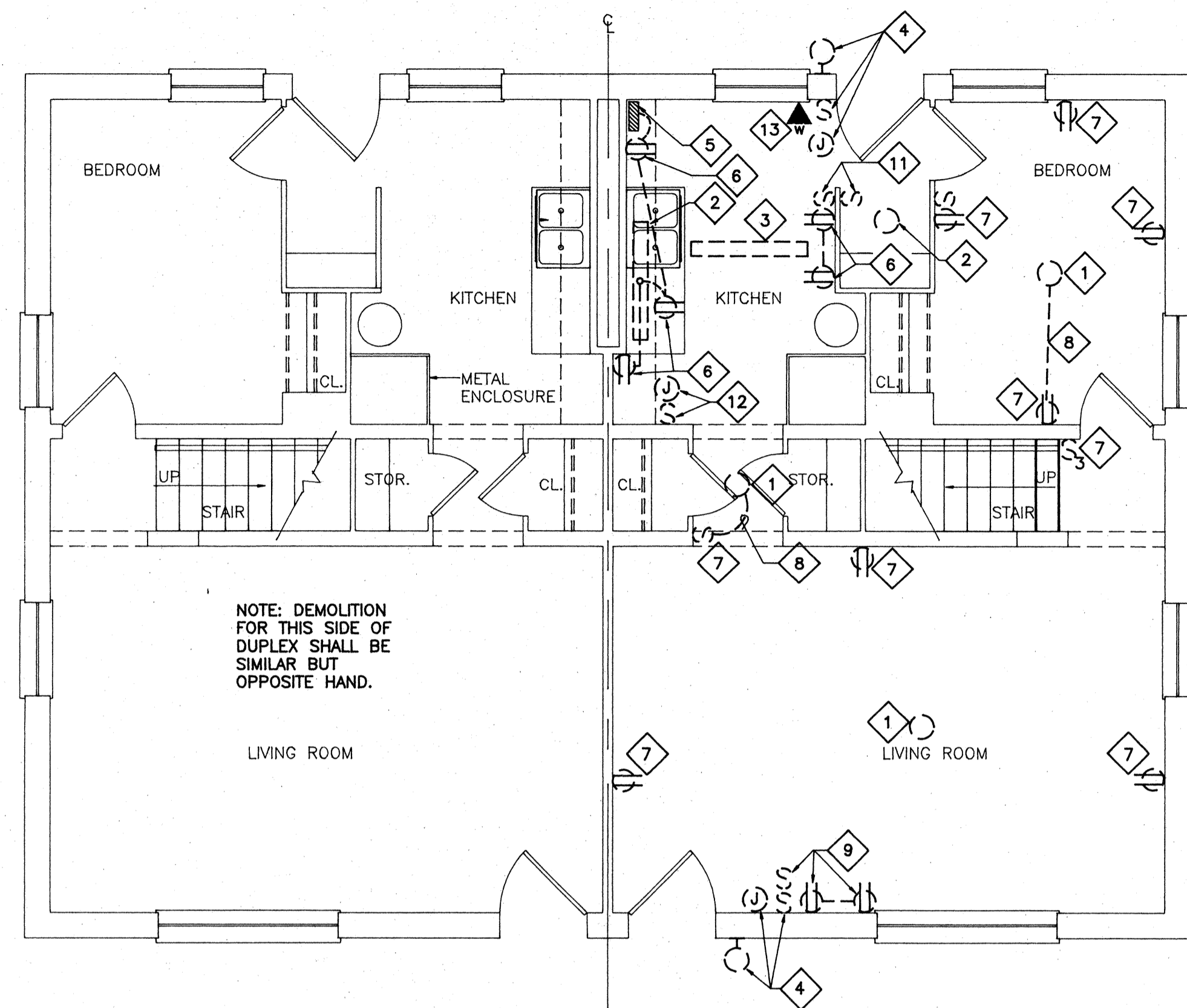


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BUILDING TYPE D3 - FLOOR PLANS (DEMOLITION & NEW WORK)

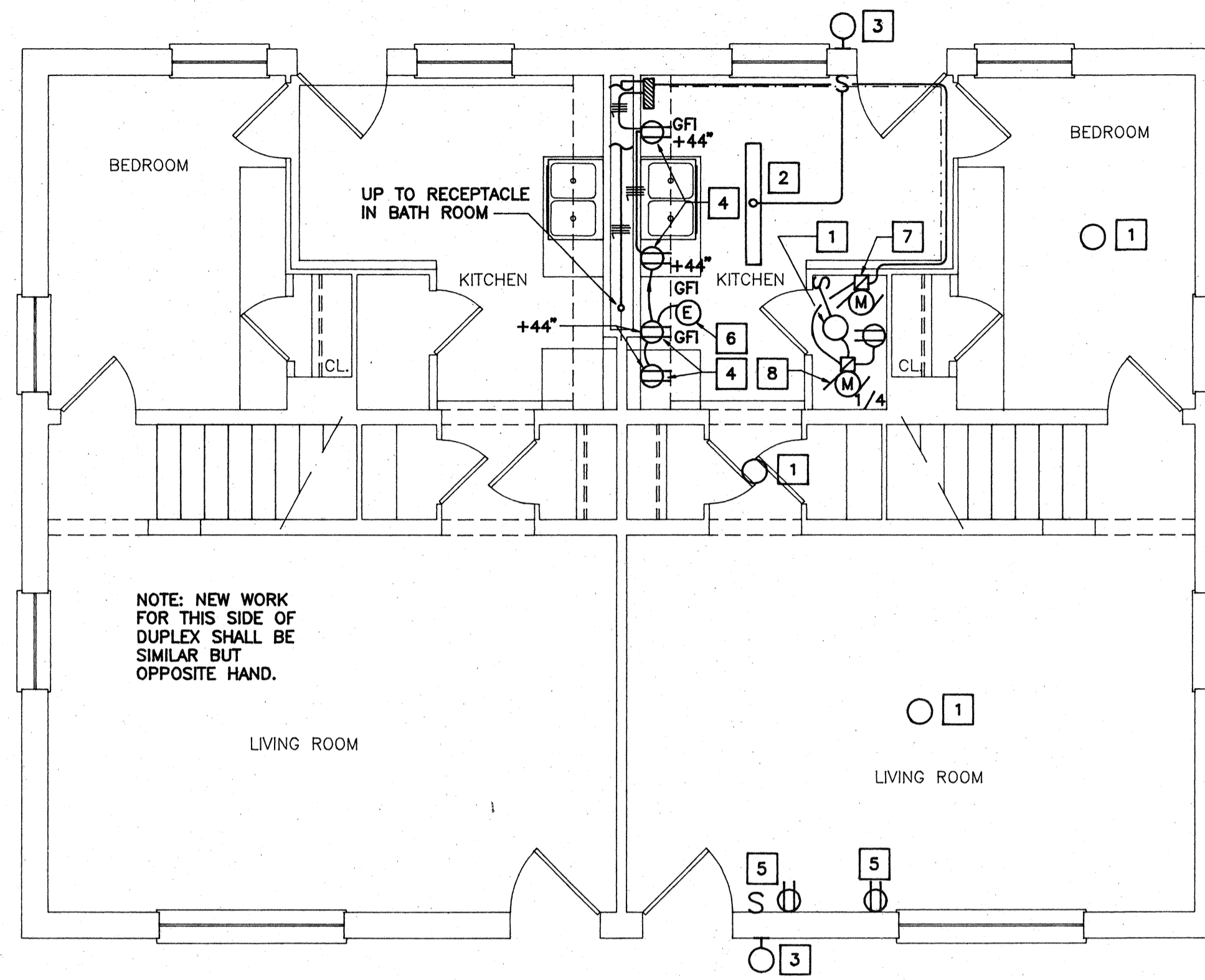
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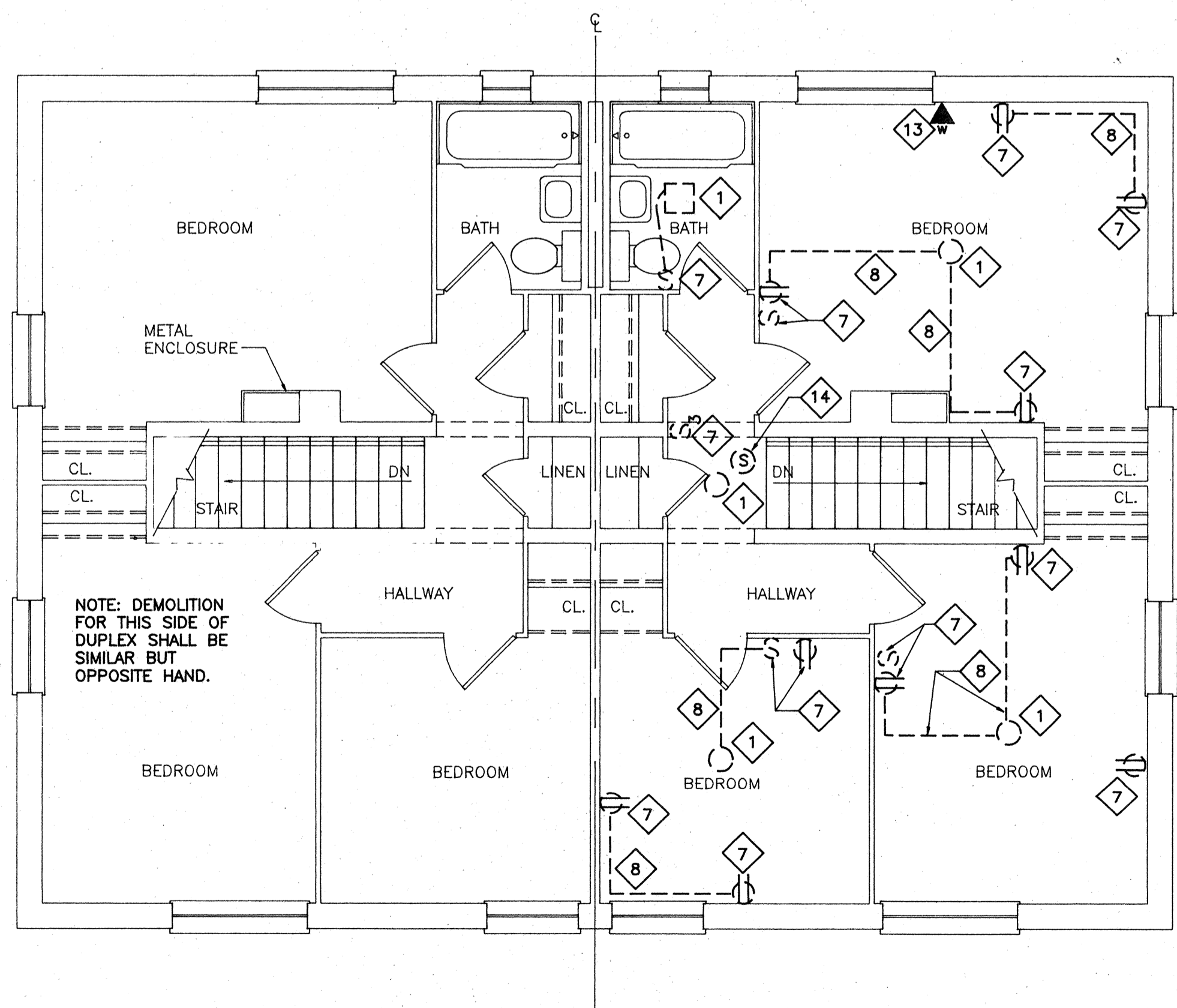
**FIRST FLOOR PLAN - BLDG. D4 (DEMOLITION)**

SCALE: 1/4" = 1'-0"



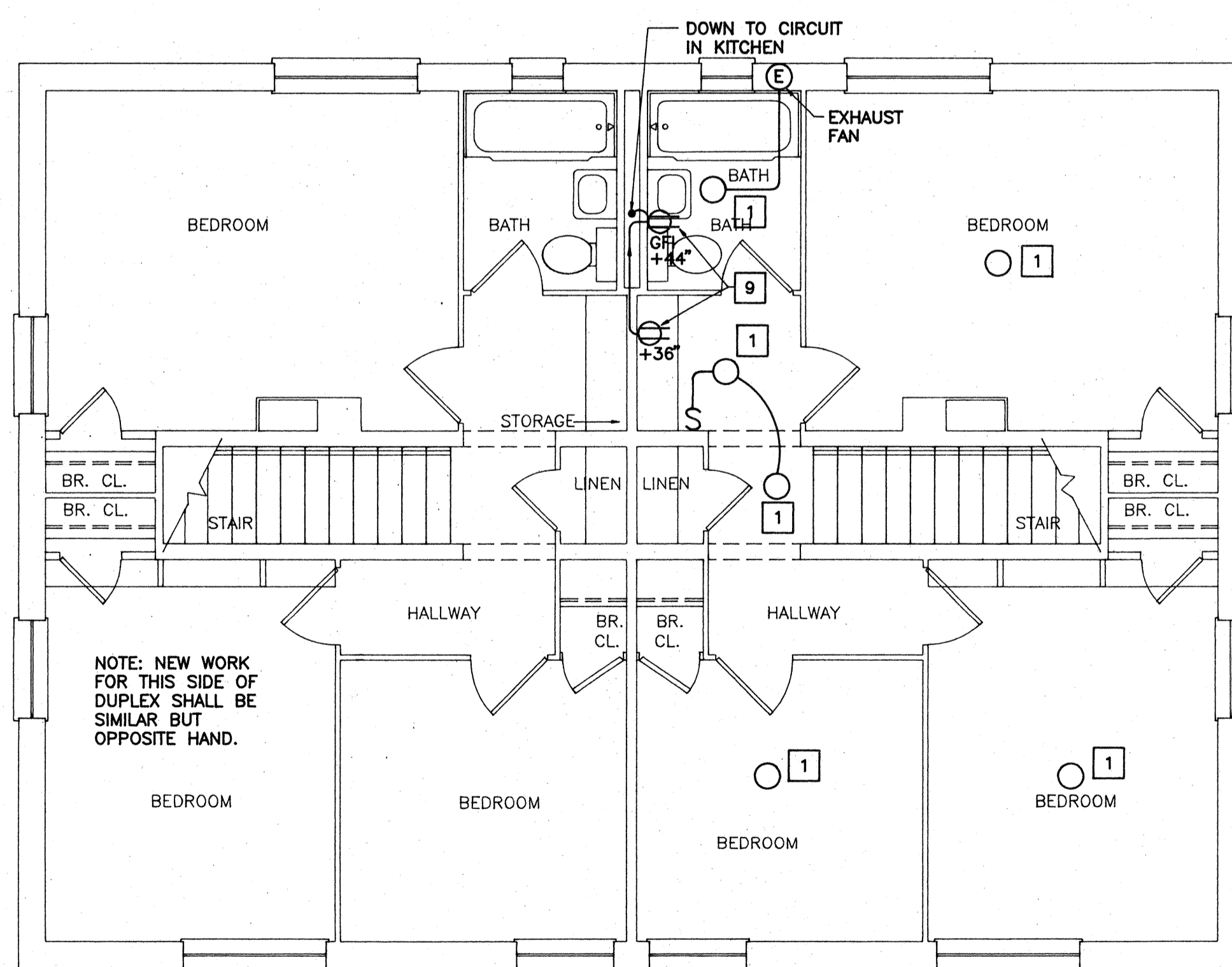
**FIRST FLOOR PLAN - BLDG. D4 (NEW WORK)**

SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN - BLDG. D4 (DEMOLITION)**

SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN - BLDG. D4 (NEW WORK)**

SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES**

1. REMOVE LIGHT FIXTURE. EXISTING CIRCUIT TO REMAIN FOR NEW LIGHT FIXTURE INSTALLATION.
2. REMOVE LIGHT FIXTURE WITH ASSOCIATED CONDUIT AND WIRING.
3. RELOCATE LIGHT FIXTURE. EXTEND EXISTING CIRCUIT AS NECESSARY. SEE NEW WORK FOR LOCATION.
4. REMOVE LIGHT FIXTURE WITH ASSOCIATED SWITCH. EXISTING CIRCUIT TO REMAIN FOR NEW PHOTOCELL CONTROL LIGHT FIXTURE.
5. EXISTING PANEL TO REMAIN. REMOVE LEAD BASE PAINT. SEE ABATEMENT NOTE.
6. REMOVE RECEPTACLE WITH ASSOCIATED CONDUIT AND WIRING. RE-USE EXISTING CIRCUIT TO SERVE NEW RECEPTACLES.
7. REMOVE WIRING DEVICE TO FACILITATE ARCHITECTURAL WORK. RE-INSTALL NEW WIRING DEVICE AFTER ARCHITECTURAL WORK IS COMPLETED. PROVIDE EXTENSION RING AS NECESSARY. SEE GENERAL NOTES THIS SHEET.
8. REMOVE ALL SURFACE MOUNTED CONDUIT AND RACEWAY. REINSTALL NEW CONCEALED CONDUIT OR SURFACE MOUNTED RACEWAY (WIREMOLD). SEE GENERAL NOTE 7 THIS SHEET.
9. REMOVE SURFACE MOUNTED WIRING DEVICE. EXISTING CIRCUIT TO REMAIN. SEE NEW WORK NOTE 5.
10. REMOVE JUNCTION BOX WITH ASSOCIATED CONDUIT & WIRING.
11. REMOVE LIGHT SWITCH WITH ASSOCIATED CONDUIT AND WIRING.
12. REMOVE SWITCH AND WIRING FOR EXISTING HEATING UNIT. RE-USE EXISTING CIRCUIT FOR NEW HEATING SYSTEM.
13. REMOVE TEL. OUTLET TO FACILITATE ARCHITECTURAL WORK. RE-INSTALL AFTER ARCHITECTURAL WORK IS COMPLETE. EXTEND EXISTING WIRING AS NECESSARY.
14. REMOVE 120V SMOKE DETECTOR TO FACILITATE ARCHITECTURAL WORK. RE-INSTALL AFTER ARCHITECTURAL WORK IS COMPLETE.

**NEW WORK NOTES**

1. PROVIDE COMPACT FLUORESCENT TYPE LIGHT FIXTURE WITH 3-13W LAMPS, EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. C39LP. CONNECT TO EXISTING CIRCUIT. SEE DEMOLITION NOTE 1.
2. EXISTING LIGHT FIXTURE AT NEW LOCATION SEE DEMOLITION NOTE 3.
3. PROVIDE COMPACT FLUORESCENT TYPE, PHOTOCELL CONTROLLED LIGHT FIXTURE WITH 1-13W LAMP, FIXTURE SHALL BE EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. SWP13. CONNECT TO EXISTING CIRCUIT SEE DEMOLITION NOTE 4.
4. PROVIDE FLUSH MOUNTED RECEPTACLE. CONNECT TO EXISTING KITCHEN RECEPTACLE CIRCUIT IN EXISTING PANEL.
5. PROVIDE FLUSH MOUNTED WIRING DEVICES, CONNECT TO EXISTING CIRCUIT SEE DEMOLITION NOTE 9.
6. PROVIDE ELECTRICAL CONNECTION TO NEW RANGEHOOD.
7. PROVIDE ELECTRICAL CONNECTION TO HOT WATER CIRCULATING PUMP.
8. PROVIDE ELECTRICAL CONNECTION TO AIR HANDLING UNIT.
9. PROVIDE FLUSH MOUNTED RECEPTACLE. CONNECT TO EXISTING PANEL. PROVIDE 20A, 1P CIRCUIT BREAKER IN THE EXISTING PANEL.

**GENERAL NOTES**

1. PROVIDE ALL ELECTRICAL DEMOLITION WORK NECESSARY TO INSTALL NEW WORK. ELECTRICAL CONTRACTOR SHALL REROUTE AND RECONNECT ANY CIRCUITS THAT WILL REMAIN IN USE BUT INTERFERE WITH NEW CONSTRUCTION.
2. ALL EXISTING CONDUITS THAT WILL NOT BE REUSED SHALL BE REMOVED WHERE THEY WILL BE EXPOSED AFTER COMPLETION OF THE CONSTRUCTION. ALL OTHERS MAY BE ABANDONED IN WALLS ONLY. CONTRACTOR SHALL REMOVE ALL WIRING FROM ABANDONED CONDUITS, DISCONNECT FROM ALL POWER SOURCES AND PROVIDE BLANK PLATES ON ALL ABANDONED OUTLETS. CUT-OFF ABANDONED CONDUIT 2" BELOW FINISHED FLOOR AND GROUT FLUSH.
3. MAINTAIN CONTINUITY OF ALL EXISTING CIRCUITS TO REMAIN OR PORTIONS THEREOF AFFECTED BY NEW WORK.
4. ALL MATERIALS REMOVED UNDER DEMOLITION (AND NOT TO BE RELOCATED) SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED COMPLETELY FROM THE SITE.
5. CONTRACTOR SHALL EXERCISE CARE IN REMOVING DEMOLITION ITEMS AND SHALL REPAIR OR REPLACE AT HIS COST ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION AND EQUIPMENT TO REMAIN.
6. DRAWINGS ARE BASED ON EXISTING PLANS AND FIELD INVESTIGATION WITHOUT DEMOLITION. CONTRACTOR SHALL VISIT THE EXISTING BUILDING AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND SHALL EXAMINE ALL RELATED DRAWINGS TO AVOID CONFLICTS.
7. ALL CONDUIT SHALL BE CONCEALED AND WIRING DEVICES FLUSH WHERE PRACTICABLE. COORDINATE WITH ARCHITECTURAL WORK.
8. SURFACE MOUNTED RACEWAY & WIRING DEVICES SHALL MATCH ADJACENT SURFACE COLOR.
9. SEE LEGEND ON SHEET E-4.
10. PROVIDE ONE TELEPHONE OUTLET IN THE KITCHEN AND ONE IN THE MASTER BEDROOM. COORDINATE CONNECTION AND WIRING WITH THE AUTHORITIES.

**ABATEMENT NOTE**

ELECTRICAL EXPOSED AND PAINTED CONDUIT AND DEVICES HAVE BEEN TESTED AND ARE KNOWN TO CONTAIN LEAD BASED PAINT. ALL ELECTRICAL EXPOSED CONDUIT AND DEVICES SHALL BE HANDLED IN ACCORDANCE WITH SPECIFICATION SECTION 02090 BY THE ABATEMENT CONTRACTOR.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS NEWPORT NEWS, VA

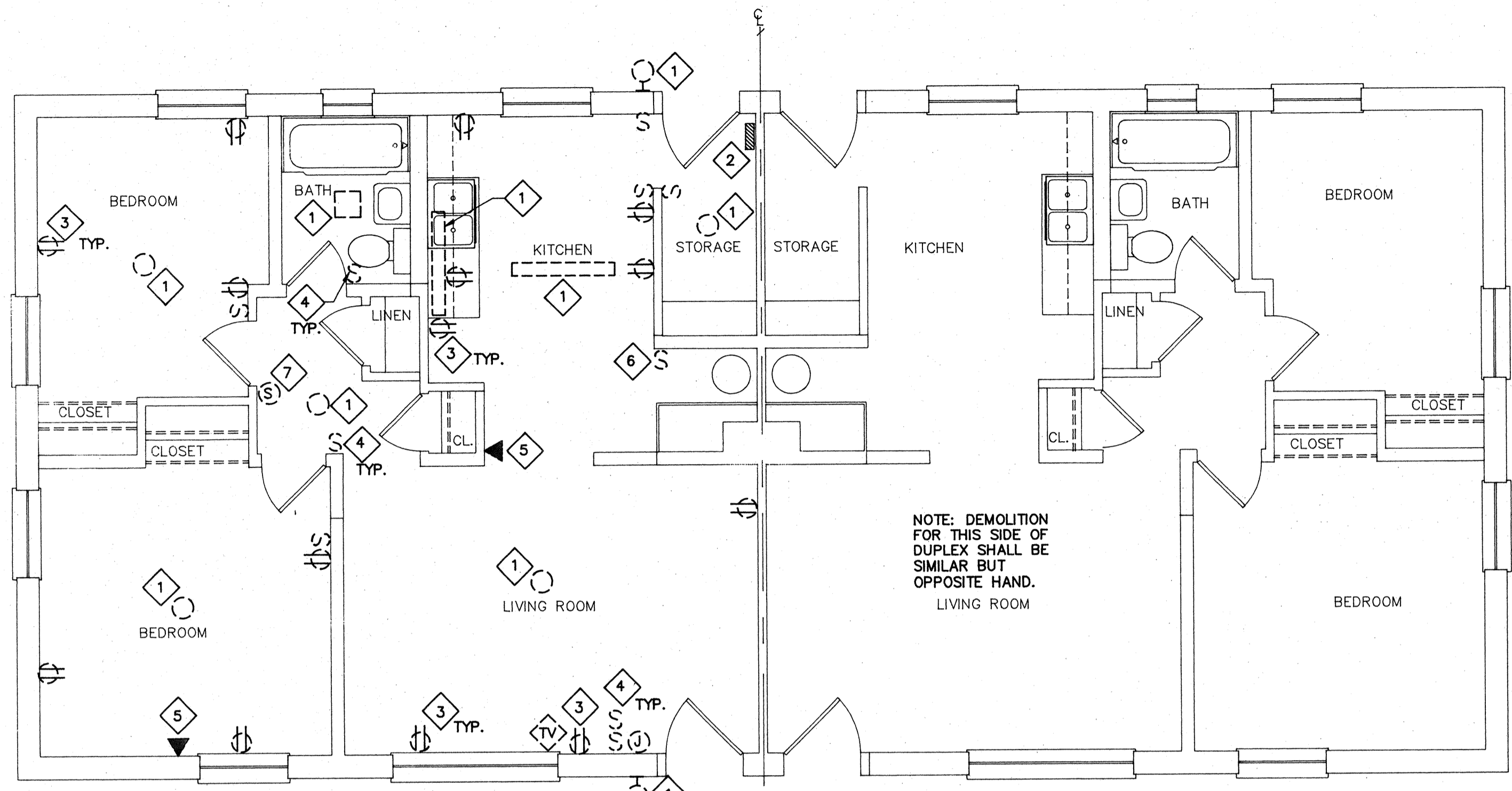


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**BUILDING TYPE D4 - FLOOR PLANS (DEMOLITION & NEW WORK)**

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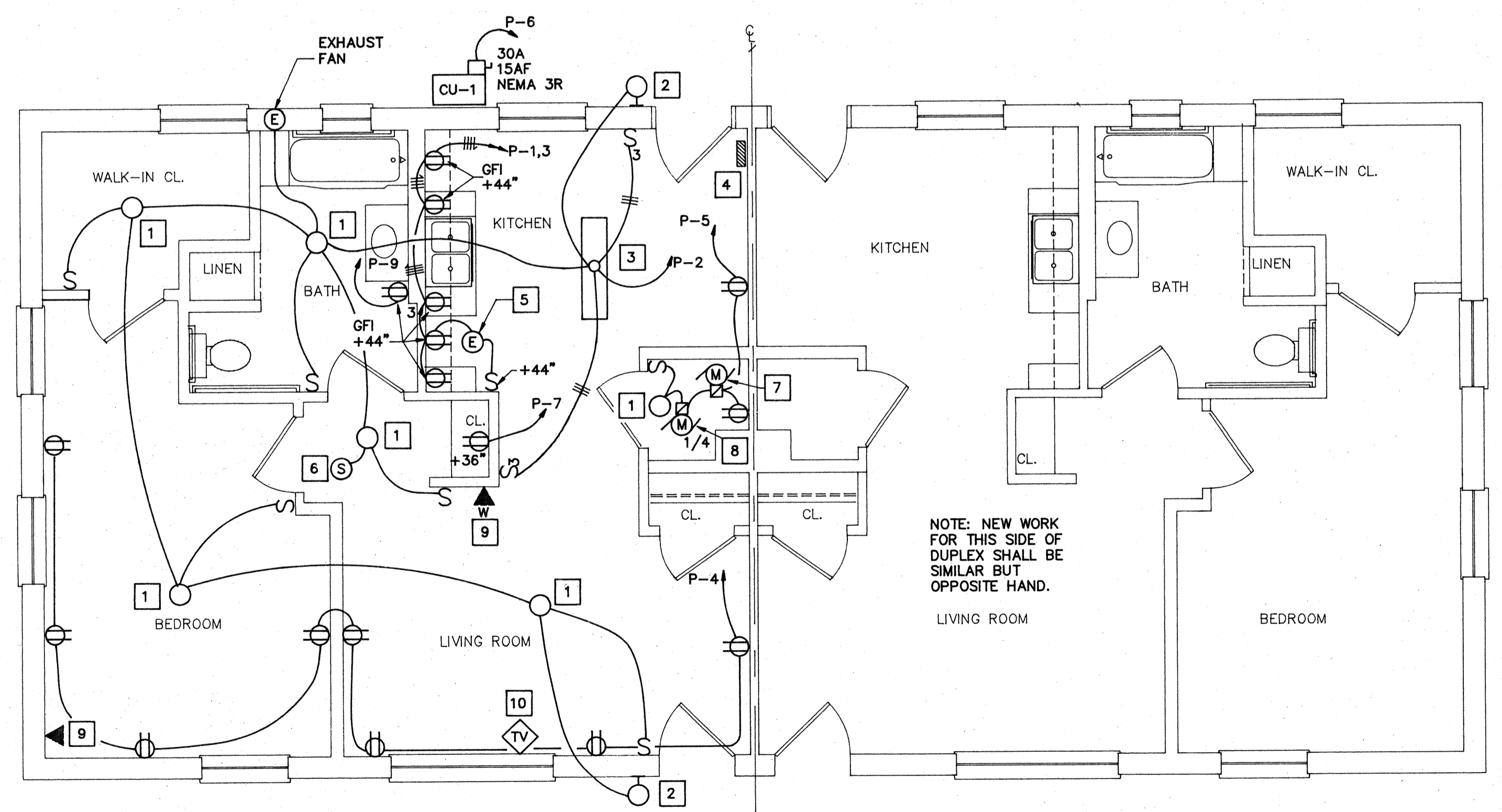


| PANELBOARD            |      | SCHEDULE |   |   |          |      |             |
|-----------------------|------|----------|---|---|----------|------|-------------|
| DESCRIPTION           | BKR. | CKT. NO. | A | B | CKT. NO. | BKR. | DESCRIPTION |
| KITCHEN RECEPTACLE    |      | 1        | ● | ● | 2        | 15   | LIGHTS      |
| HEAT                  | 15   | 3        | ● | ● | 4        | 15   | RECEPTACLE  |
| * WASHING MACHINE     |      | 5        | ● | ● | 6        | 20   | CU-1        |
| * BATHROOM RECEPTACLE |      | 7        | ● | ● | 8        |      |             |
| SPACE                 |      | 9        | ● | ● | 10       |      | SPACE       |
|                       |      | 11       | ● | ● | 12       |      |             |

NOTE: ALL BRANCH CIRCUIT BREAKERS ARE 20A-1P, U.O.N.  
 BREAKER MINIMUM INTERRUPTING CAPACITY 10,000 AMPS SYMM. PANEL: P TYPE: EXISTING  
 MAINS: 100 A MLO  
 VOLTAGE: 120/240V, 1 PHASE, 3 WIRE, SN  
 MOUNTING: SURFACE  
 LOCATION: KITCHEN  
 \* PROVIDE 20A, 1P CIRCUIT BREAKER

FLOOR PLAN - BUILDING D2 / 1BR HANDICAPPED CONVERSION (DEMOLITION)

SCALE: 1/4" = 1'-0"



FLOOR PLAN - BUILDING D2 / 1BR HANDICAPPED CONVERSION (NEW WORK)

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

1. REMOVE LIGHT FIXTURE WITH ASSOCIATED CONDUIT AND WIRING.
2. EXISTING PANEL TO REMAIN. REMOVE LEAD BASE PAINT. SEE ABATEMENT NOTE.
3. REMOVE EXISTING RECEPTACLE WITH ASSOCIATED CONDUIT AND WIRING.
4. REMOVE LIGHT SWITCH WITH ASSOCIATED CONDUIT AND WIRING.
5. REMOVE TELEPHONE OUTLET WITH ASSOCIATED WIRING. TELEPHONE SERVICE TO REMAIN.
6. REMOVE EXISTING SWITCH WITH ASSOCIATED CONDUIT & WIRING FOR EXISTING HEAT UNIT.
7. REMOVE SMOKE DETECTOR WITH ASSOCIATED WIRING.
8. REMOVE TV OUTLET. EXISTING SERVICE TO REMAIN.

NEW WORK NOTES

1. PROVIDE COMPACT FLUORESCENT TYPE LIGHT FIXTURE WITH 3-13W LAMPS, EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. C39LP.
2. PROVIDE COMPACT FLUORESCENT WITH 1-13W LAMP. FIXTURE SHALL BE EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. SWP13. SEE GENERAL NOTE 10.
3. INSTALL SURFACE MOUNTED 2 LAMP, 4 FT. FLUORESCENT LIGHT FIXTURE. FIXTURE SHALL BE EQUAL TO MIDWEST CAT. NO. F-92-40R-A.
4. EXISTING 100A, MLO, 120/240V, 1 PHASE, 3 WIRE. SEE PANELBOARD SCHEDULE THIS SHEET.
5. PROVIDE ELECTRICAL CONNECTION TO RANGEHOOD.
6. CONNECT SMOKE DETECTOR AHEAD OF SWITCH.
7. PROVIDE ELECTRICAL CONNECTION TO HOT WATER CIRCULATING PUMP.
8. PROVIDE ELECTRICAL CONNECTION TO AIR HANDLING UNIT.
9. CONNECT TO EXISTING TELEPHONE SERVICE.
10. PROVIDE FLUSH MOUNTED TV OUTLET. CONNECT TO EXISTING SERVICE.

GENERAL NOTES

1. PROVIDE ALL ELECTRICAL DEMOLITION WORK NECESSARY TO INSTALL NEW WORK. ELECTRICAL CONTRACTOR SHALL REROUTE AND RECONNECT ANY CIRCUITS THAT WILL REMAIN IN USE BUT INTERFERE WITH NEW CONSTRUCTION.
2. ALL EXISTING CONDUITS THAT WILL NOT BE REUSED SHALL BE REMOVED WHERE THEY WILL BE EXPOSED AFTER COMPLETION OF THE CONSTRUCTION. ALL OTHERS MAY BE ABANDONED IN WALLS ONLY. CONTRACTOR SHALL REMOVE ALL WIRING FROM ABANDONED CONDUITS, DISCONNECT FROM ALL POWER SOURCES AND PROVIDE BLANK PLATES ON ALL ABANDONED OUTLETS. CUT-OFF ABANDONED CONDUIT 2" BELOW FINISHED FLOOR AND GROUT FLUSH.
3. MAINTAIN CONTINUITY OF ALL EXISTING CIRCUITS TO REMAIN OR PORTIONS THEREOF AFFECTED BY NEW WORK.
4. ALL MATERIALS REMOVED UNDER DEMOLITION (AND NOT TO BE RELOCATED) SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED COMPLETELY FROM THE SITE.
5. CONTRACTOR SHALL EXERCISE CARE IN REMOVING DEMOLITION ITEMS AND SHALL REPAIR OR REPLACE AT HIS COST ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION AND EQUIPMENT TO REMAIN.
6. DRAWINGS ARE BASED ON EXISTING PLANS AND FIELD INVESTIGATION WITHOUT DEMOLITION. CONTRACTOR SHALL VISIT THE EXISTING BUILDING AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND SHALL EXAMINE ALL RELATED DRAWINGS TO AVOID CONFLICTS.
7. ALL CONDUIT SHALL BE CONCEALED AND WIRING DEVICES FLUSH.
8. SEE LEGEND ON SHEET E-4.
9. MOUNTING HEIGHT FOR LIGHT SWITCHES, RECEPTACLES AND TELEPHONE OUTLETS, SHALL BE PER ANSI A 117.1 SECTION 4.27.

ABATEMENT NOTE

ELECTRICAL EXPOSED AND PAINTED CONDUIT AND DEVICES HAVE BEEN TESTED AND ARE KNOWN TO CONTAIN LEAD BASED PAINT. ALL ELECTRICAL EXPOSED CONDUIT AND DEVICES SHALL BE HANDLED IN ACCORDANCE WITH SPECIFICATION SECTION 02090 BY THE ABATEMENT CONTRACTOR.



COMPREHENSIVE RENOVATION OF VA 3-2 MARSHALL COURTS NEWPORT NEWS, VA



Designed: PG  
 Drawn: DPM  
 Checked: HDM  
 Scale: AS NOTED

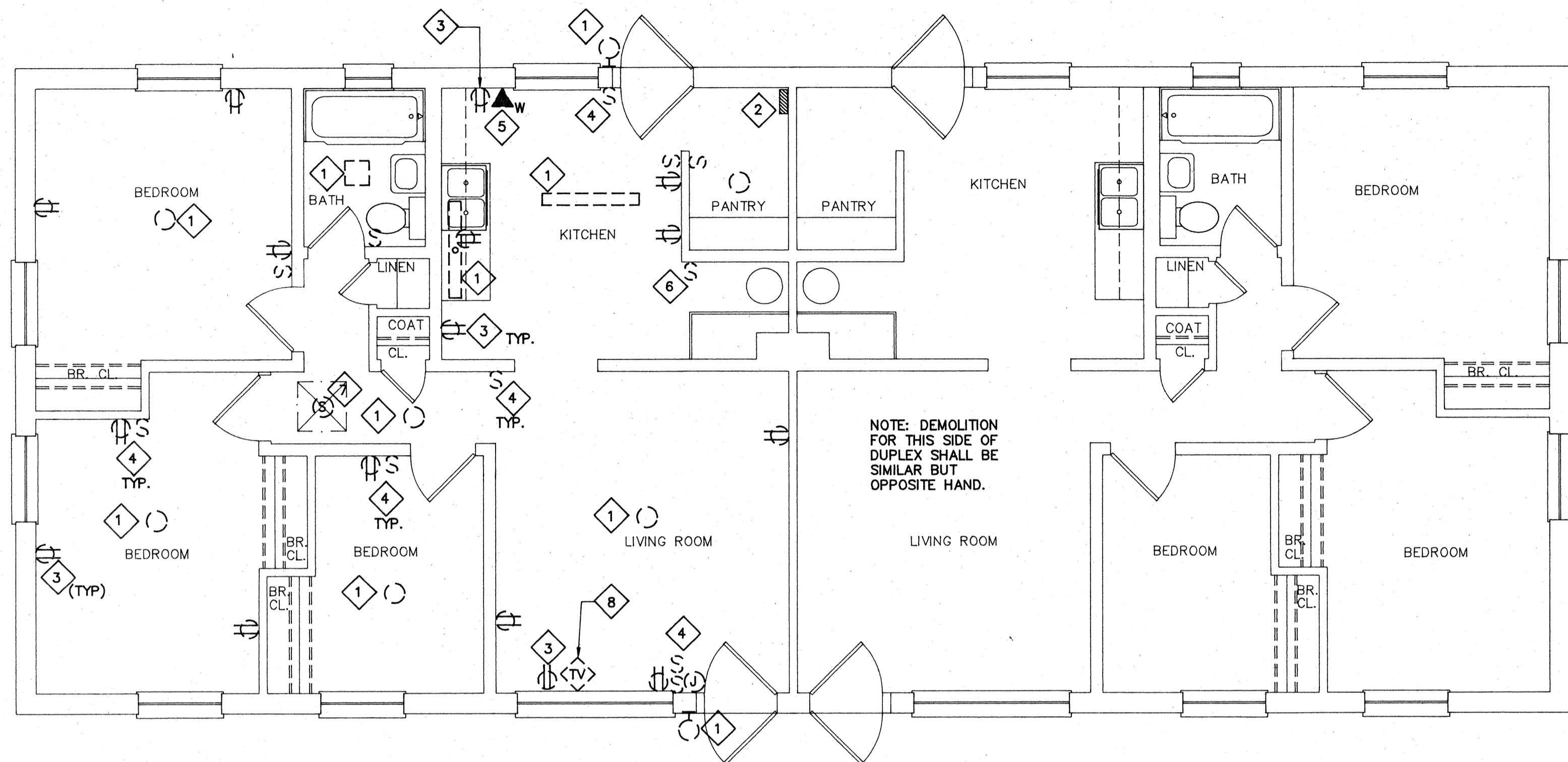
Date: JANUARY 31, 1992

File No:  
 Project No: 90006

BUILDING TYPE D2 - FLOOR PLANS (DEMOLITION & NEW WORK / HANDICAPPED CONVERSION)

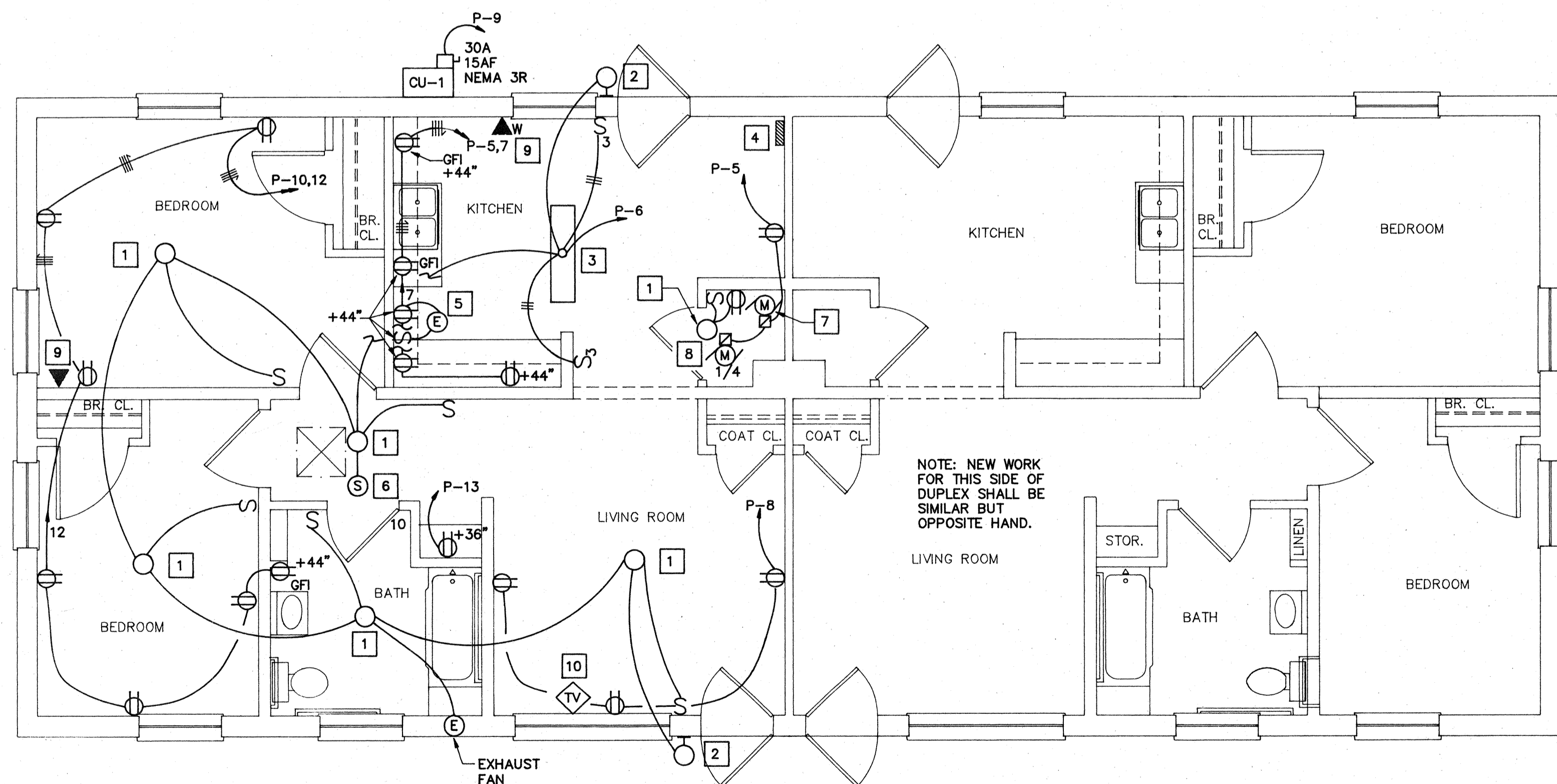
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FLOOR PLAN - BUILDING D3 - HANDICAPPED CONVERSION (DEMOLITION)

SCALE: 1/4" = 1'-0"



FLOOR PLAN - BUILDING D3 - HANDICAPPED CONVERSION (NEW WORK)

SCALE: 1/4" = 1'-0"

| PANELBOARD         |      | SCHEDULE |             |
|--------------------|------|----------|-------------|
| DESCRIPTION        | BKR. | CKT. NO. | DESCRIPTION |
| MAIN               | 100  | 1        | SPACE       |
|                    |      | 3        |             |
| KITCHEN RECEPTACLE |      | 5        | LIGHTS      |
| CU-1               | 20   | 9        | RECEPTACLES |
|                    |      | 11       |             |
| WASHING MACHINE    |      | 13       | HEAT        |
| SPACE              |      | 15       | SPACE       |

NOTE: ALL BRANCH CIRCUIT BREAKERS ARE 20A-1P, U.O.N.  
 BREAKER MINIMUM INTERRUPTING CAPACITY 10,000 AMPS SYMM. PANEL: P  
 MAINS: 100 A MCB VOLTAGE: 120/240V, 1 PHASE, 3 WIRE, SN TYPE: EXISTING  
 MOUNTING: SURFACE LOCATION: KITCHEN

\* PROVIDE 20A, 1P CIRCUIT BREAKER.

DEMOLITION NOTES

1. REMOVE LIGHT FIXTURE WITH ASSOCIATED CONDUIT AND WIRING.
2. EXISTING PANEL TO REMAIN. REMOVE LEAD BASE PAINT. SEE ABATEMENT NOTE.
3. REMOVE EXISTING RECEPTACLE WITH ASSOCIATED CONDUIT AND WIRING.
4. REMOVE LIGHT SWITCH WITH ASSOCIATED CONDUIT AND WIRING.
5. REMOVE TELEPHONE OUTLET WITH ASSOCIATED WIRING. TELEPHONE SERVICE TO REMAIN.
6. REMOVE EXISTING SWITCH WITH ASSOCIATED CONDUIT & WIRING FOR EXISTING HEAT UNIT.
7. REMOVE SMOKE DETECTOR WITH ASSOCIATED WIRING.
8. REMOVE TV OUTLET. EXISTING SERVICE TO REMAIN.

NEW WORK NOTES

1. PROVIDE COMPACT FLUORESCENT TYPE LIGHT FIXTURE WITH 3-13W LAMPS, EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. C39LP.
2. PROVIDE COMPACT FLUORESCENT WITH 1-13W LAMP, FIXTURE SHALL BE EQUAL TO LIGHTWAY INDUSTRIES CAT. NO. SWP13.
3. INSTALL SURFACE MOUNTED 2 LAMP, 4 FT. FLUORESCENT LIGHT FIXTURE. FIXTURE SHALL BE EQUAL TO MIDWEST CAT. NO. F-92-40R-A.
4. EXISTING 100A, MCB, 120/240V, 1 PHASE, 3 WIRE. SEE PANELBOARD SCHEDULE THIS SHEET.
5. PROVIDE ELECTRICAL CONNECTION TO RANGEHOOD.
6. CONNECT SMOKE DETECTOR AHEAD OF SWITCH.
7. PROVIDE ELECTRICAL CONNECTION TO HOT WATER CIRCULATING PUMP.
8. PROVIDE ELECTRICAL CONNECTION TO AIR HANDLING UNIT.
9. CONNECT TO EXISTING TELEPHONE SERVICE.
10. PROVIDE FLUSH MOUNTED TV OUTLET. CONNECT TO EXISTING SERVICE.

GENERAL NOTES

1. PROVIDE ALL ELECTRICAL DEMOLITION WORK NECESSARY TO INSTALL NEW WORK. ELECTRICAL CONTRACTOR SHALL REROUTE AND RECONNECT ANY CIRCUITS THAT WILL REMAIN IN USE BUT INTERFERE WITH NEW CONSTRUCTION.
2. ALL EXISTING CONDUITS THAT WILL NOT BE REUSED SHALL BE REMOVED WHERE THEY WILL BE EXPOSED AFTER COMPLETION OF THE CONSTRUCTION. ALL OTHERS MAY BE ABANDONED IN WALLS ONLY. CONTRACTOR SHALL REMOVE ALL WIRING FROM ABANDONED CONDUITS, DISCONNECT FROM ALL POWER SOURCES AND PROVIDE BLANK PLATES ON ALL ABANDONED OUTLETS. CUT-OFF ABANDONED CONDUIT 2" BELOW FINISHED FLOOR AND GROUT FLUSH.
3. MAINTAIN CONTINUITY OF ALL EXISTING CIRCUITS TO REMAIN OR PORTIONS THEREOF AFFECTED BY NEW WORK.
4. ALL MATERIALS REMOVED UNDER DEMOLITION (AND NOT TO BE RELOCATED) SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED COMPLETELY FROM THE SITE.
5. CONTRACTOR SHALL EXERCISE CARE IN REMOVING DEMOLITION ITEMS AND SHALL REPAIR OR REPLACE AT HIS COST ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION AND EQUIPMENT TO REMAIN.
6. DRAWINGS ARE BASED ON EXISTING PLANS AND FIELD INVESTIGATION WITHOUT DEMOLITION. CONTRACTOR SHALL VISIT THE EXISTING BUILDING AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND SHALL EXAMINE ALL RELATED DRAWINGS TO AVOID CONFLICTS.
7. ALL CONDUIT SHALL BE CONCEALED AND WIRING DEVICES FLUSH. COORDINATE WITH ARCHITECTURAL WORK.
8. SEE LEGEND ON SHEET E-4.
9. MOUNTING HEIGHT FOR LIGHT SWITCHES, RECEPTACLES, AND TELEPHONE OUTLETS, SHALL BE PER ANSI A 117.1 SECTION 4.27.

ABATEMENT NOTE

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